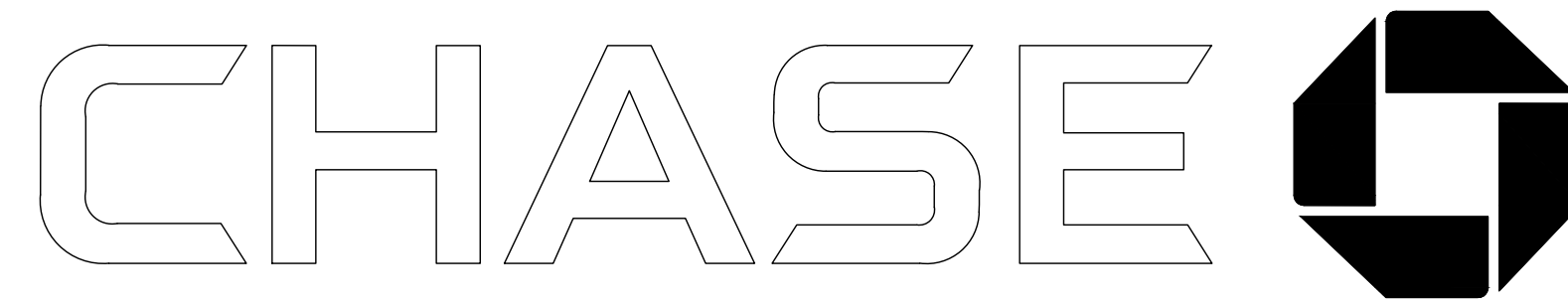


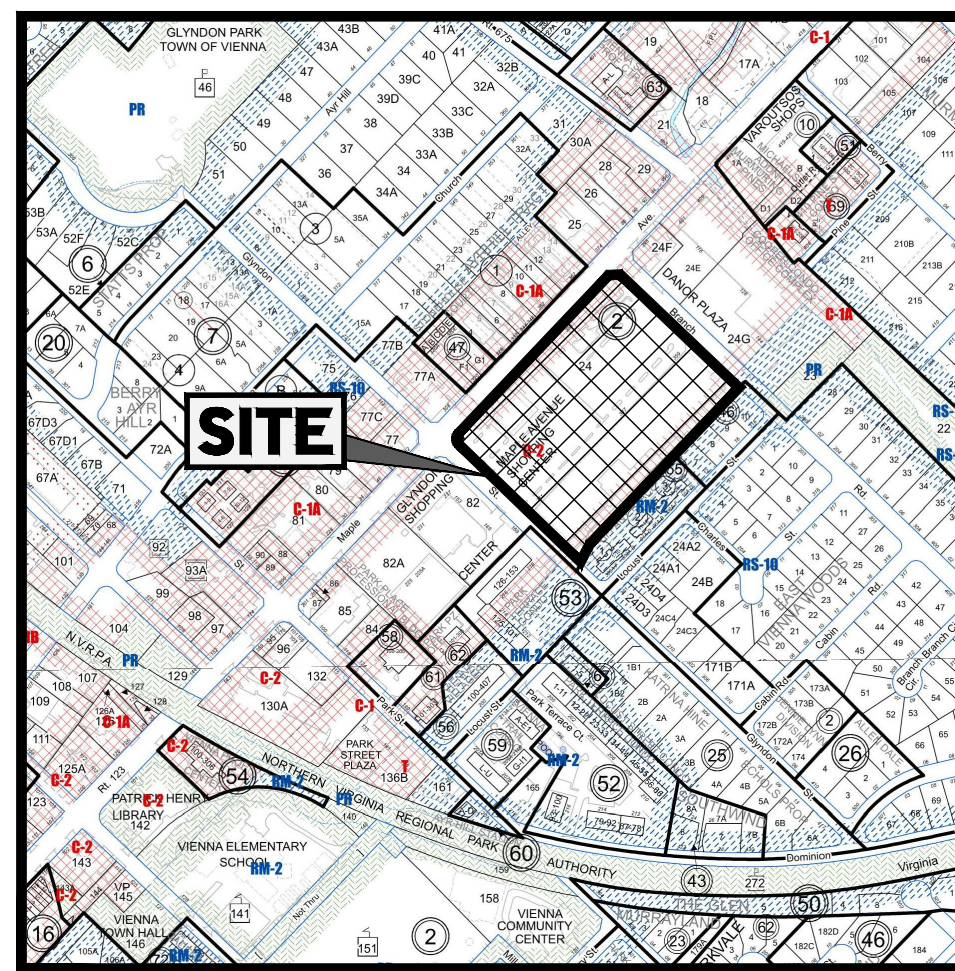
SITE PLAN DOCUMENTS

FOR



BANK VIENNA PROPOSED FINANCIAL INSTITUTION W/ DRIVE-THRU

LOCATION OF SITE
315 MAPLE AVE E, TOWN OF VIENNA,
VIRGINIA
TAX MAP #: 0382-02-0024



LOCATION MAP
SCALE: 1" = 100'
PLAN REFERENCE:

Copyright
FAIRFAX COUNTY MAPPER
REVISED: 01-01-2020

OWNER

GRI MAPLE AVENUE, LLC
7200 WISCONSIN AVENUE, SUITE 600
BETHESDA, MD 20814

DEVELOPER

OTJ ARCHITECTS
555 11TH STREET, NW, SUITE 200
WASHINGTON, DC 20004
CONTACT: AARON WEST
PHONE: (202) 621-1392

PREPARED BY



CONTACT:

12825 WORLDGATE DR. SUITE 700
HERNDON, VIRGINIA 20170
Phone: (703) 709-9500
Fax: (703) 709-9501
VA@BohlerEng.com
TRAVIS D'AMICO, P.E.

- NOTE:
1. GEOTECHNICAL REPORT WILL BE REQUIRED IF CLASS II OR CLASS IVA SOILS EXIST ON SITE.
 2. PROPOSED SANITARY SEWER WILL CONNECT TO THE EXISTING SANITARY SEWER MAIN. WASTEWATER TREATMENT PLANT FOR THIS SITE IS BLUEMONT PLAINS TREATMENT AREA.

PLAN REFERENCES AND CONTACTS

REFERENCES

- **BOUNDARY & TOPOGRAPHIC SURVEY:**
BOHLER
12825 WORLDGATE DRIVE
HERNDON, VA 20170
DATED: 07/16/20
SS020289
ELEVATIONS: VCS NAD83/93NF
- **GEOTECHNICAL INVESTIGATION REPORT:**
TBD
- **ARCHITECTURAL PLAN:**
OTJ ARCHITECTS
555 11TH STREET NW, SUITE 200
WASHINGTON, D.C. 20004
DATED: 11/09/2019
- **GOVERNING AGENCIES**
- **DEPARTMENT OF PLANNING AND ZONING**
127 CENTER STREET S
VIENNA, VIRGINIA 22180
PHONE: (703) 255-0341
EMAIL: DPZ@VIENNA.VA.GOV
- **FIRE DEPARTMENT**
CONTACT - POSITION
VIENNA VOLUNTEER FIRE DEPARTMENT
400 CENTER STREET SOUTH
VIENNA, VA 22180
PHONE: (703) 938-2242
- **UTILITIES**
- **ELECTRIC**
DOMINION VIRGINIA POWER
BOB REININGER
11133 MAIN STREET
FAIRFAX, VA 22030
PHONE: (703) 934-2594
- **CABLE**
COMCAST
LA REASON
4391 DALE BOULEVARD
WOODBRIDGE, VA 22193
PHONE: (703) 789-9351
- **TELEPHONE**
VERIZON
LLOYD ROBBINS
22001 LOVDOWN COUNTY PKWY
ASHBURN, VA 20174
PHONE: (703) 898-6484
- **GAS**
WASHINGTON GAS
PAT ESTRADA-PALMA
6801 INDUSTRIAL ROAD
SPRINGFIELD, VA 22151
PHONE: (703) 750-5657
- **WATER**
DEPARTMENT OF PUBLIC WORKS
REBECCA GREENBERG
127 CENTER STREET SOUTH
VIENNA, VA 22180
PHONE: (703) 750-565
- **ROW JURISDICTION**
- **VDOT**
4975 ALLIANCE DRIVE
FAIRFAX, VA 22030
PHONE: 1-(800) 367-7623

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

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GENERAL NOTES AND LEGEND	C-103
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PROJECT NARRATIVE

THE SITE PLAN IS FOR A FINANCIAL INSTITUTION PROPOSED ON 315 MAPLE AVENUE IN THE TOWN OF VIENNA, TAX MAP #0382-02-0024. THE EXISTING BUILDING AND ASSOCIATED INFRASTRUCTURE IS TO BE DEMOLISHED. THE LAYOUT OF THE LOT IS TO BE REARRANGED TO ACCOMMODATE A PROPOSED BANK DRIVE-THRU ATM AND ASSOCIATED UTILITIES, LANDSCAPING AND STORMWATER MANAGEMENT FACILITIES.

FIRE MARSHAL NOTES

AVAILABLE FIRE FLOW TBD (GAL./MIN.)

SOURCE OF FIRE FLOW INFO. TBD

TYPE OF CONSTRUCTION - USBC IB

USE GROUP CLASSIFICATION - USBC (B) BUSINESS

BUILDING HEIGHT 21.5 (FT.)

BUILDING TO BE FULLY SPRINKLERED YES NO

IF YES, CHECK APPROPRIATE STANDARD: NFPA 13 ; NFPA 13D ; NFPA 13R

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORKS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND CODES.

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LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	05/20/2021	REV PER TOWN COMMENTS	SC TD

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PROJECT No.: S202089
DRAWN BY: SC
CHECKED BY: CM
DATE: 06/04/2021
CAD ID: SSD-0

PROP. SITE PLAN DOCUMENTS

FOR

CHASE

PROPOSED
FINANCIAL INSTITUTION
W/ DRIVE-THRU
315 MAPLE AVE E
TOWN OF VIENNA,
VIRGINIA
TAX MAP #: 0382-02-0024

BOHLER

12825 WORLDGATE DR. SUITE 700
HERNDON, VIRGINIA 20170
Phone: (703) 709-9500
Fax: (703) 709-9501
VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
TRAVIS W. D'AMICO
Lic. No. 048497
06/04/2021
PROFESSIONAL ENGINEER

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101

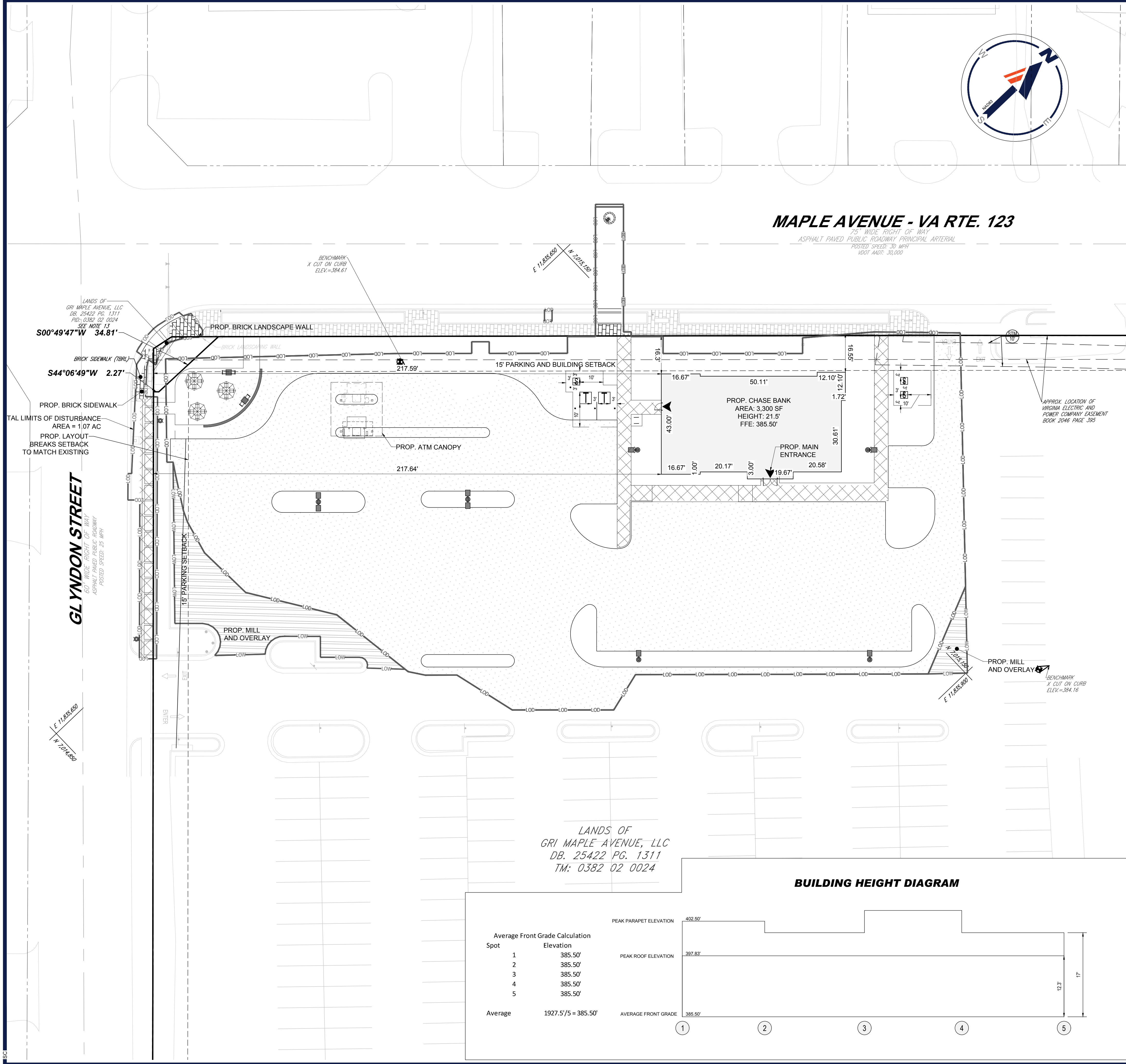
REVISION 1 - 05/20/2021

JUN 04, 2021 11:03:52 AM C:\DRAWINGS\PLAN SETS\S202089-SSD-1-1-1\LAYOUT-C-101 COVER



MAPLE AVENUE - VA RTE. 123

75' WIDE RIGHT OF WAY
 ASPHALT PAVED PUBLIC ROADWAY PRINCIPAL ARTERIAL
 POSTED SPEED: 30 MPH
 100' ADT: 30,000



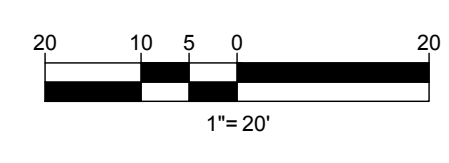
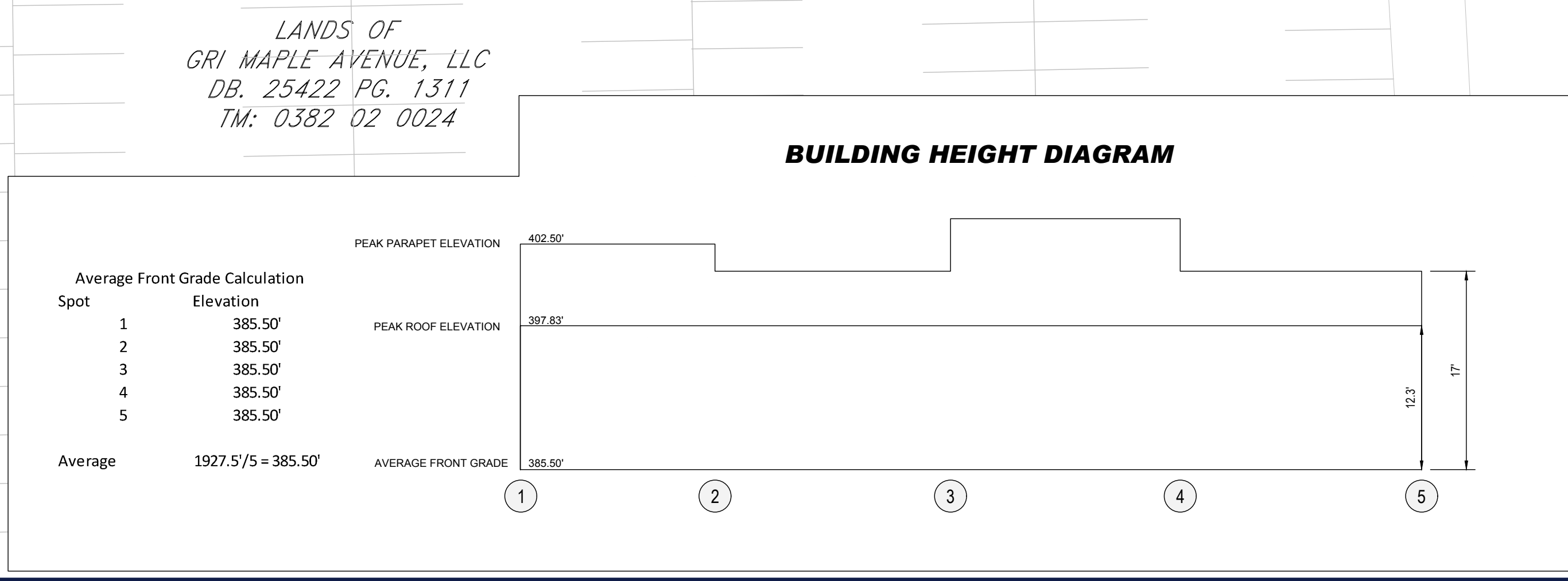
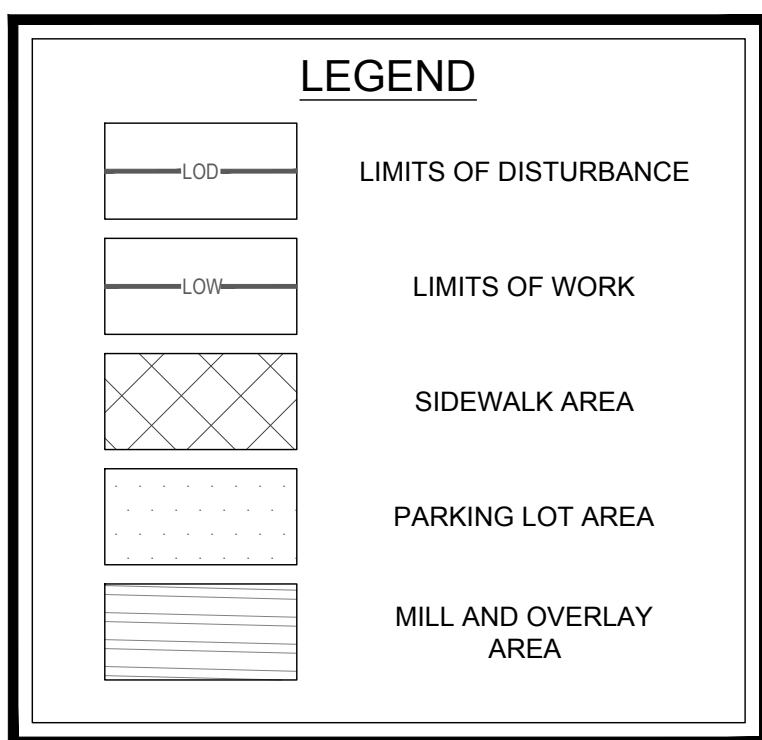
BULK REQUIREMENTS (C-2 ZONING ORDINANCE):	ALLOWED/REQUIRED	PROVIDED
MIN. LOT AREA	1 ACRE MIN	10.43 AC. (EXISTING)
MIN. BUILDING SETBACK		
FRONT SETBACK (MAPLE AVE E)	15' MIN	16.3'
SIDE SETBACK (GLYNDON ST)	15' MIN	217.59'
SIDE SETBACK (NORTHEAST)	8'	493.57'
REAR SETBACK (SOUTHEAST)	25'	511.78'
MIN. PARKING SETBACK (ALL DIMS TO BACK OF CURB)		
FRONT SETBACK (MAPLE AVE E)	15' MIN	15.72'
SIDE SETBACK (GLYNDON ST)	15' MIN	7.24' (EX.)
SIDE SETBACK (NORTHEAST)	8'	441.97'
REAR SETBACK (SOUTHEAST)	8'	409.62'
PARKING REQUIREMENTS		
1 SPACE PER 200 SQUARE FEET OF FLOOR AREA PLUS SUFFICIENT SPACE FOR 10 STACKING SPACES FOR FIRST DRIVE-THROUGH WINDOW AND 5 SPACES FOR EACH ADDITIONAL WINDOW	17 SPACES REQUIRED**	71 SPACES
66 SPACES EXISTING		
ADA PARKING REQUIREMENTS		
1 VAN ADA 6 ADA SPACES	4	4 SPACE (INCLUDES 1 VAN)
MIN. PARKING SPACE DIMENSIONS	9' X 18' MIN	9'10" X 20'
MIN. DRIVE AISLE	23' MIN	23'***
MAX. BUILDING HEIGHT	35' MAX	22'
LOADING SPACE REQUIREMENTS	1 SPACES	1 SPACE

SHOPPING CENTER OVERALL PARKING TABULATION:

REQUIRED:		
RETAIL:	104,015 X 1 SP/200 SF	= 520.08 SPACES
RESTAURANT:	48 SEATS X 1 SP/4 SEATS	= 12 SPACES
EXISTING BANK PAD:	2,354 X 1 SP/200 SF	= 11.77 SPACES
PROPOSED BANK PAD:	3,300 X 1 SP/200 SF	= 16.50 SPACES
	10 STACKING	
	TOTAL REQUIRED	= 562 SPACES
PROVIDED:		
EXISTING:	563 SPACES	
ADDED:	5 SPACES	
PROPOSED TOTAL:	568 SPACES	

Lot Coverage Calculation

Building Area	3300 sf
Sidewalk Area	1700 sf
Parking Lot	29870 sf
Total	34870 sf
Site Area	45565 sf
Lot Coverage	34870/45565 = 77%



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 SUSTAINABLE DESIGN
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PROJECT No.: S202089
 DRAWN BY: SC
 CHECKED BY: CM
 DATE: 06/04/2021
 CAD ID: ZCP-1

PROP. SITE PLAN DOCUMENTS
 FOR

PROPOSED FINANCIAL INSTITUTION W/ DRIVE-THRU
 315 MAPLE AVE E
 TOWN OF VIENNA, VIRGINIA
 TAX MAP # 0382-02-0024

12825 WORLDGATE DR. SUITE 700
 HERNDON, VIRGINIA 20170
 Phone: (703) 709-9500
 Fax: (703) 709-9501
 VA@BohlerEng.com

SHEET TITLE:
ZONING COMPLIANCE PLAN

SHEET NUMBER:
C-104

REVISION 1 - 05/20/2021



LANDS N/F
 STONEHOUSE COURT OWNERS
 ASSOCIATION LTD
 DB. 05299 PG. 0445
 TM: 0382 47 61
 USE: PRIVATE OPEN SPACE

LANDS N/F
 CHAHEL MIDTOWN INC
 DB. 19395 PG. 0908
 TM: 0382 02 0077

LANDS N/F
 COMMERCE BANK NA
 DB. 18474 PG. 1999
 TM: 0382 02 0077A
 USE: FINANCE, INSURANCE,
 REAL ESTATE SERVICES

LANDS N/F
 VIXX LLC
 DB. 25030 PG. 2145
 TM: 0382 47 61
 USE: CLUSTER OFFICE

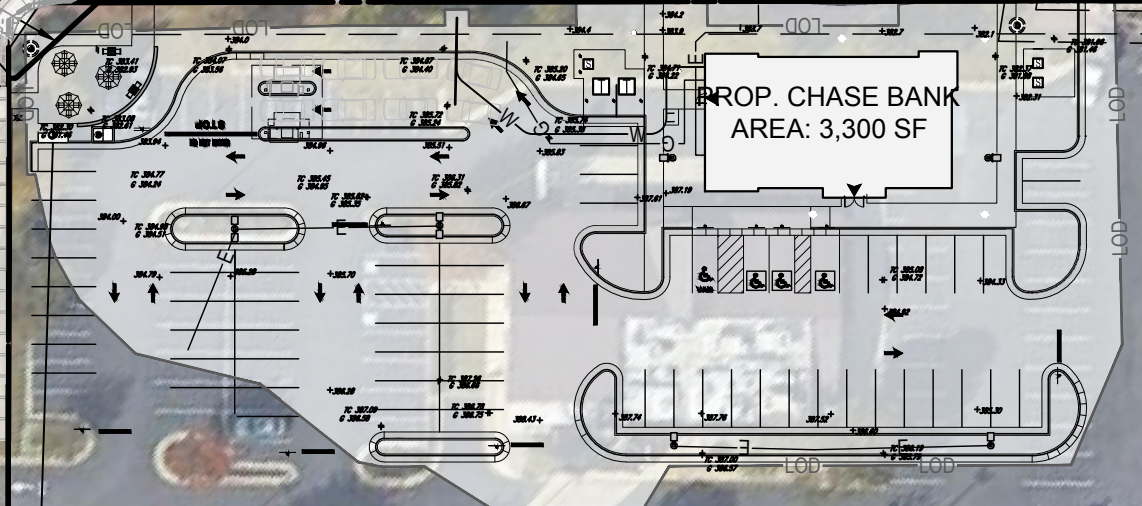
MAPLE AVENUE - VA RTE. 123

MAPLE AVENUE - VA RTE. 123

S00°49'47"W 34.81'
 S44°06'43"W 2.27'

S86°10'04"W 35.70'

LANDS N/F
 ZAFREN FRANK
 DB. 01639 PG. 0363
 TM: 0382 02 0082



APPROX. LOCATION
 OF
 UTILITY
 LOCATIONS
 AND
 POWER
 COMPANY
 EASEMENT
 BOOK
 2046
 PAGE
 359

LANDS N/F
 ORLICH P DANIEL
 DB. 02309 PG. 0553
 TM: 0382 02 0024E
 USE: NEIGHBORHOOD CENTER

GLYNDON STREET

LANDS N/F
 FORMOSA EIRIDA
 FRANCISCO
 DB. 26094 PG. 1511
 TM: 0382 46 0008
 ZONE: RS-10
 USE: SINGLE FAMILY,
 DETACHED

LANDS N/F
 BANAGAN MIGUEL P
 DB. 07632 PG. 0070
 TM: 0382 46 0010
 ZONE: RS-10
 USE: SINGLE FAMILY,
 DETACHED

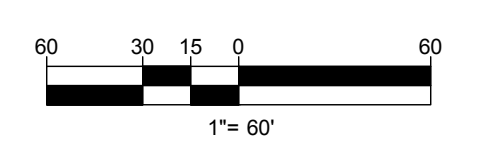
LANDS N/F
 PAEZ JUSTO PASTOR
 FERNANDEZ
 DB. 26173 PG. 2142
 TM: 0382 55010005
 ZONE: RM-2
 USE: MULTIPLEX IN
 CONDOMINIUM
 DEVELOPMENT

LANDS N/F
 AMANBEKOVA ELMIRA
 DB. 24865 PG. 0671
 TM: 0382 55020012
 ZONE: RM-2
 USE: MULTIPLEX IN
 CONDOMINIUM
 DEVELOPMENT

LANDS N/F
 ANDERSON ANGELA
 DB. 09890 PG. 1978
 TM: 0382 55030022
 ZONE: RM-2
 USE: MULTIPLEX IN
 CONDOMINIUM
 DEVELOPMENT

LANDS N/F
 BOUZAHER AZIZ TR
 DB. 24685 PG. 0084
 TM: 0382 46 0007
 ZONE: RS-10
 USE: SINGLE FAMILY,
 DETACHED

LANDS N/F
 REMONDINO JOSEPH A
 DB. 21221 PG. 1774
 TM: 0382 46 0009
 ZONE: RS-10
 USE: SINGLE FAMILY,
 DETACHED



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PROJECT No.: S202089
 DRAWN BY: SC
 CHECKED BY: CM
 DATE: 06/04/2021
 CAD ID: SSP-0

PROJECT:
PROP. SITE PLAN DOCUMENTS
 FOR

 PROPOSED
 FINANCIAL INSTITUTION
 W/ DRIVE-THRU
 315 MAPLE AVE E
 TOWN OF VIENNA,
 VIRGINIA
 TAX MAP # 0382-02-0024

BOHLER
 12825 WORLDGATE DR. SUITE 700
 HERNDON, VIRGINIA 20170
 Phone: (703) 709-9500
 Fax: (703) 709-9501
 VA@BohlerEng.com

SHEET TITLE:
PROPERTY MAP

SHEET NUMBER:
C-201

REVISION 1 - 05/20/2021

LANDS N/F
 COMMERCE BANK NA
 DB. 18474 PG. 1999
 TM: 0382 02 0077A
 USE: FINANCE, INSURANCE,
 REAL ESTATE SERVICES

LANDS N/F
 STONEHOUSE COURT OWNERS,
 ASSOCIATION LTD
 DB. 05299 PG. 0445
 TM: 0382 47 G1
 USE: PRIVATE OPEN SPACE

LANDS N/F
 VIXX LLC
 DB. 25030 PG. 2145
 TM: 0382 47 F1
 USE: CLUSTER OFFICE

LANDS N/F
 JDC 328 MAPLE LLC
 DB. 24848 PG. 1266
 TM: 0382 07010004
 USE: PERSONAL SERVICES

LANDS N/F
 UNITED RENTAL PROPERTIES LLC
 DB. 26042 PG. 0370
 TM: 0382 07010011
 USE: CARRY-OUT W/ SEATING

MAPLE AVENUE - VA RTE. 123



EXISTING CONDITIONS/DEMOLITION NOTES:

- THE SURVEYED AREA IS PART OF THE LANDS OF GRI MAPLE AVENUE, LLC AS RECORDED IN DEED BOOK 25422 PAGE 1311, AMONG THE LANDS OF THE TOWN OF VIENNA, FAIRFAX COUNTY, VIRGINIA, AND HAVING A MAP OF 0382 02 0024 PER THE DEPARTMENT OF ASSESSMENTS.
- NO RESOURCE PROTECTION AREAS, WETLANDS OR FLOOD PLAINS ARE KNOWN TO EXIST ON-SITE. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, FAIRFAX COUNTY, VIRGINIA AND INCORPORATED AREAS, PANEL 145 OF 450", MAP NUMBER S1069C0415E, WITH A MAP EFFECTIVE DATE OF SEPTEMBER 17, 2010.
- SEE COVER SHEET FOR PLAN REFERENCES FOR ALL EXISTING INFORMATION DEPICTED HEREON. EXISTING INFORMATION SHOWN IS BASED ON AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY BOHLER ENTITLED, "ALTA/NSPS LAND TITLE SURVEY, OTJ CHASE, 315 MAPLE AVENUE EAST, HUNTER MILL, OWN OF VIENNA, FAIRFAX COUNTY, VIRGINIA," DATED JULY 16, 2020.
- ELEVATIONS PROVIDED BY THE SITE SURVEY ARE BASED ON NGVD20 DATUM DETERMINED GPS OBSERVATIONS AND TIED TO THE VDOT BENCHMARK NO. HV8501 WITH PUBLISHED NAVD 88 ELEVATION OF 120.58 FEET.
- ANY REQUIRED BORROW AND HAUL REQUIRED SHALL BE FROM AN APPROVED LOCATION.
- REFER TO THE EROSION AND SEDIMENT PLAN FOR THE SEQUENCE OF CONSTRUCTION. SEE SHEET C-601 TO C-602.
- ALL EXISTING UTILITY INFORMATION NOT SHOWN ON SHEET C-201 HAS BEEN GATHERED BY A COMBINATION OF GIS INFORMATION PROVIDED BY THE TOWN OF VIENNA AND FAIRFAX COUNTY AND/OR FIELD VERIFIED BY THE DESIGNING ENGINEER. CONTRACTOR TO NOTIFY BOHLER IMMEDIATELY IF ANY EXISTING CONDITION INFORMATION SHOWN ON THIS PLAN DOES NOT MATCH CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY BOHLER ENGINEERING IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION PLANS AND THE ACTUAL FIELD CONDITIONS.
- NO GROUND WATER WELLS ARE KNOWN TO EXIST ON SITE.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- CONTRACTOR TO VERIFY EXISTING WATER METER PRIOR TO DEMOLITION. 1.5" WATER METER AND 2" WATER SERVICE LINE REQUIRED. IF EXISTING METER IS A 1.5" METER AND EXISTING WATER LINE IS A 2" LINE, WATER LINE TO REMAIN. EXISTING METER TO BE REMOVED AND REPLACED IF IT IS NOT A 1.5" METER.
- BENCHMARK TO BE RESET TO PROPOSED GRADE.
- TERMS, PROVISIONS, CONDITIONS AND EASEMENTS SET FORTH IN THAT CERTAIN AGREEMENT BY AND BETWEEN KAUFMANN COMPANY AND VIRGINIA ELECTRIC AND POWER COMPANY, AND RECORDED IN DEED BOOK 2046 AT PAGE 93; DO NOT AFFECT THE LEASE AREA. AFFECT THE SURVEYED AREA AND THE REMAINDER PARCEL. APPROXIMATE EASEMENT LOCATION IS SHOWN.
- STRUCTURE TO REMAIN, RIM TO BE ADJUSTED AND RESET TO FINISHED GRADE.

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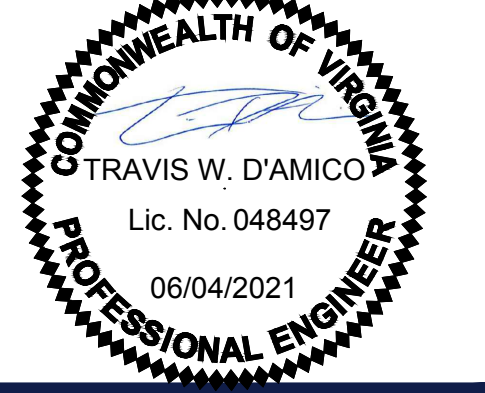
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PROP. SITE PLAN DOCUMENTS
 FOR

CHASE
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 315 MAPLE AVE E
 TOWN OF VIENNA, VIRGINIA
 TAX MAP # 0382-02-0024

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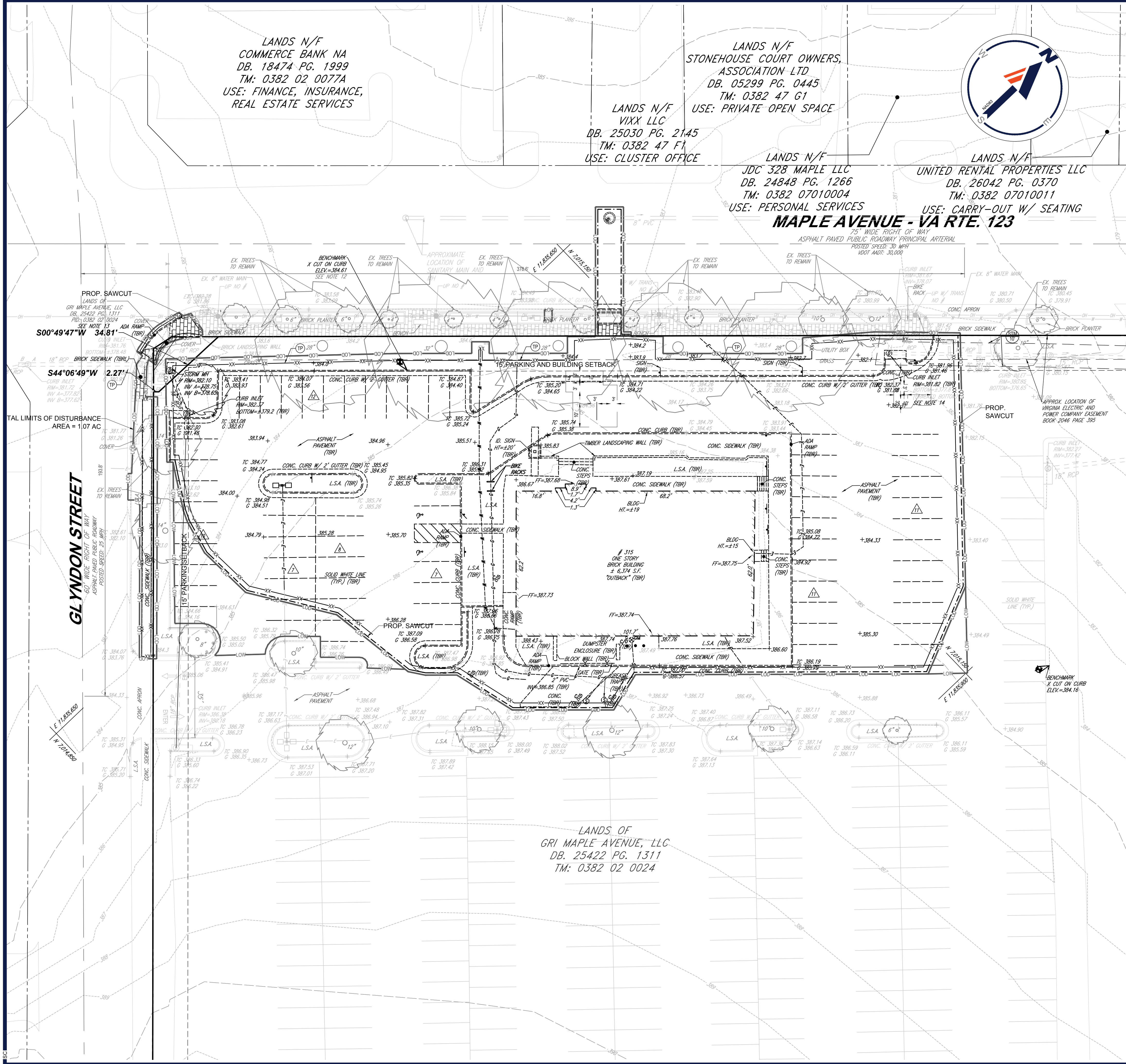
12825 WORLDGATE DR. SUITE 700
 HERNDON, VIRGINIA 20170
 Phone: (703) 709-9500
 Fax: (703) 709-9501
 VA@BohlerEng.com



DEMOLITION PLAN

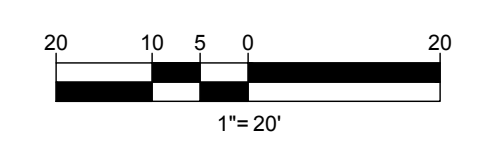
SHEET NUMBER:
C-204

REVISION 1 - 05/20/2021



LEGEND

- LIMITS OF DISTURBANCE
- - - PROP. SAWCUT
- XX XX PROP. SUPER SILT FENCE TO BE USED AS TREE PROTECTION



Jun 04, 2021
 H:\2020\202089\DRAWINGS\PLAN SETS\S202089-SSP-1-LAYOUT-C-204 - DEMOLITION PLAN

MAPLE AVENUE - VA RTE. 123

75' WIDE RIGHT OF WAY
ASPHALT PAVED PUBLIC ROADWAY PRINCIPAL ARTERIAL
POSTED SPEED: 30 MPH
VDOT ADT: 30,000

GLYNDON STREET
ASPHALT PAVED PUBLIC ROADWAY
POSTED SPEED: 25 MPH

TREE PRESERVATION NOTES

1. A PRE-CONSTRUCTION MEETING WITH THE TOWN OF VIENNA'S URBAN ARBORIST SHALL BE HELD ONSITE PRIOR TO THE ESTABLISHMENT OF PERIMETER CONTROLS SO THAT THE ARBORIST CAN EXPLAIN PROTECTION MEASURES TO OPERATORS, CONSTRUCTION SUPERVISORS, AND/OR CONTRACTOR'S REPRESENTATIVES.
2. CONTRACTOR SHALL STAKE CLEARING LIMITS ONSITE IN ORDER TO FACILITATE LOCATION FOR TRENCHING AND FENCING INSTALLATION FOR TREE PROTECTION.
3. NO CLEARING OR GRADING SHALL BEGIN IN AREAS WHERE TREE PRESERVATION MEASURES HAVE NOT BEEN COMPLETED.
4. THE USE OF HEAVY EQUIPMENT IS STRICTLY PROHIBITED WITHIN TREE PRESERVATION AREAS, INCLUDING FOR THE PURPOSE OF REMOVING UNWANTED TREES STRUCTURES, PADS, GRADING, SODDING, ETC. ANY STRUCTURE WITHIN THE TREE PRESERVATION AREA SHALL BE REMOVED BY HAND.
5. THE SEQUENCE FOR TREE PRESERVATION MEASURES, IF REQUIRED, SHALL BE IN THIS ORDER: ROOT PRUNING, TREE PROTECTION FENCING, TREE PRUNING AND CHEMICAL TREATMENT, AERATION SYSTEMS INSTALLED. THESE MEASURES SHALL BE DIRECTED IN THE FIELD BY THE CONSTRUCTION SUPERVISOR.
6. TREE PROTECTION FENCING SHALL BE MAINTAINED BY THE CONTRACTOR THROUGH DURATION OF CONSTRUCTION. NO ALTERATION SHALL OCCUR WITHOUT PRIOR APPROVAL BY A TOWN REPRESENTATIVE.
7. CRITICAL ROOT ZONE SHALL BE DEFINED AS 1.5' RADIUS PER 1" OF DBH (DIAMETER AT BREAST HEIGHT), WHICH SHALL BE MEASURED AT A HEIGHT OF 4.5' FROM HIGHEST POINT OF GROUND AT BASE OF TRUNK.
8. FOR A TREE TO COUNT FOR CANOPY COVERAGE CREDITS, NO MORE THAN 30% OF THE RESPECTIVE TREE'S CRITICAL ROOT ZONE SHALL BE IMPACTED BY CONSTRUCTION ACTIVITIES, INCLUDING BUT NOT LIMITED TO: TRENCHING, GRADING, DIGGING, CUTTING, FILLING, ETC.
9. PROTECTION PROVIDED SHALL CONSIST OF FENCING AROUND THE TREE TO THE DRIP LINE, AND ENCLOSED AREAS SHALL BE KEPT FREE OF ALL SOIL, EQUIPMENT, AND CONSTRUCTION MATERIAL STORAGE, WHICH INCLUDES FINAL GRADING AND LANDSCAPING EFFORTS.
10. ROOT PRUNING REQUIREMENTS: UNLESS OTHERWISE INSTRUCTED BY THE TOWN'S ARBORISTS, ROOT PRUNING MUST BE PERFORMED WHEN LIMITS OF DISTURBANCE FALL WITHIN CRITICAL ROOT ZONE OF TREES TO BE SAVED. ROOTS SHALL BE PRUNED TO A MINIMUM DEPTH OF 12' AT OR BEFORE THE LIMITS OF DISTURBANCE BY USING A ROOT PRUNING MACHINE OR VIBRATORY PLOW.
11. WHEN APPLICABLE, TRENCHLESS SILT FENCE SHALL BE USED FOR EROSION AND SEDIMENT CONTROL IN ORDER TO BETTER PROTECT AND PRESERVE ADJACENT-NEIGHBORING TREES THAT MAY BE IMPACTED BY CONSTRUCTION ACTIVITIES.
12. TREES THAT ARE DETERMINED BY THE TOWN ARBORIST TO BE IN 'POOR' CONDITION SHALL NOT COUNT TOWARD CANOPY COVERAGE CALCULATIONS.
13. ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH CURRENT AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 PRUNING STANDARDS. SPIKES SHALL NOT BE USED TO CLIMB LIVE TREES UNLESS THE TREE IS BEING REMOVED.

TREE PRESERVATION LEGEND

- EXISTING DRIP LINE TO BE REMOVED
- EXISTING DRIP LINE TO REMAIN
- CRITICAL ROOT ZONE (CRZ)
- LIMITS OF DISTURBANCE
- SUPER SILT FENCE
- TREE PROTECTION FENCE
- CONSTRUCTION FENCE
- TREE PRESERVATION SIGNS SPACED 50' APART
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

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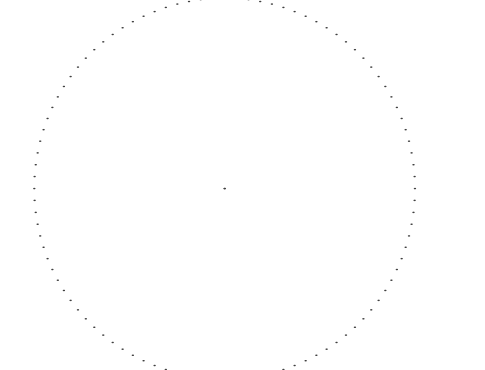
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PROJECT No.: S202089
DRAWN BY: SC
DATE: 06/04/2021
CAD ID: LSP-0

PROP. SITE PLAN DOCUMENTS
FOR
CHASE

PROPOSED FINANCIAL INSTITUTION W/ DRIVE-THRU
315 MAPLE AVE E
TOWN OF VIENNA, VIRGINIA
TAX MAP #: 0382-02-0024

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12825 WORLDGATE DR. SUITE 700
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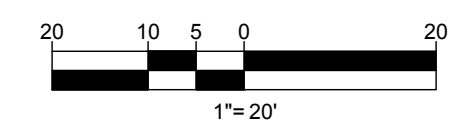
SHEET TITLE:
TREE INVENTORY AND PRESERVATION PLAN

SHEET NUMBER:
C-701

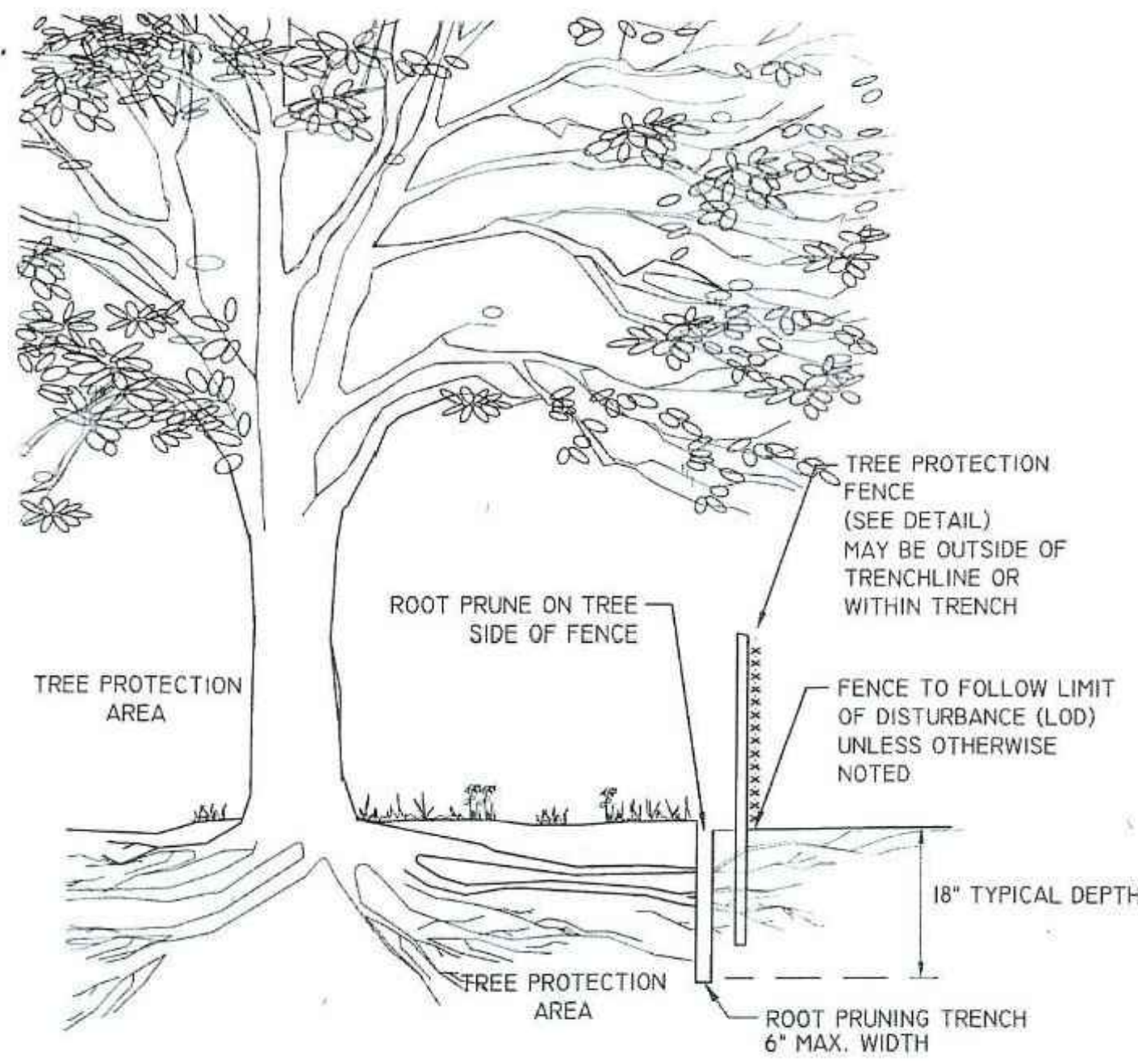
REVISION 1 - 05/20/2021

OTJ Chase Bank 315 Maple Ave E, Town of Vienna
Tree Condition Analysis Performed by Nicholas Georgas, ISA Certified Arborist MA-5061A on 08/12/2020

#	COMMON NAME	BOTANICAL NAME	CONDITION RATING	CIRCUMFERENCE	DIAMETER (DBH)	DIAMETER (DBH)	CRITICAL ROOT ZONE (CRZ)	REMOVE	NATIVE	COMMENTS	TREE PROTECTION FENCE	MULCH	FERTILIZE	CROWN PRUNING	REMOVE VINES	WATER DURING CONSTRUCTION	HAND REMOVE
			%	INCHES	INCHES	FEET	FEET										
1362	Japanese Zelkova	Zelkova serrata	85%	27.00"	8.60"	0.72'	13'			Crown dieback							
1363	Bradford Pear	Pyrus calleryana	70%	26.06"	8.30"	0.69'	13'			Low branching angle, Major lichen growth							
1364	Little-leaf Linden	Tilia cordata	65%	62.80"	20.00"	1.67'	30'		X	Minor Dieback, Low branching angle, Major lichen growth							
1365	Little-leaf Linden	Tilia cordata	75%	45.84"	14.60"	1.22'	22'		X	Low branching angle, Minor lichen growth							
1366	Hornbeam	Carpinus betulus 'Fastigiata'	90%	37.37"	11.90"	0.99'	18'		X	Low branching angle							
1367	Trident Maple	Acer buergerianum	85%	25.43"	8.10"	0.68'	13'										
1368	Trident Maple	Acer buergerianum	80%	18.84"	6.00"	0.50'	9'										
1369	Acer rubrum	Red Maple	70%	54.64"	17.40"	1.45'	27'		X	Cutback, Dieback, Lichen growth							
1370	Trident Maple	Acer buergerianum	80%	27.95"	8.90"	0.74'	14'										
1371	Trident Maple	Acer buergerianum	75%	18.53"	5.90"	0.49'	9'			Thin crown, Trunk scar							
1372	Acer rubrum	Red Maple	70%	87.92"	28.00"	2.33'	42'		X	Dieback, Codominant leader, Lichen growth							
1373	Trident Maple	Acer buergerianum	75%	23.24"	7.40"	0.62'	12'			Codominant leader							
1374	Trident Maple	Acer buergerianum	80%	19.15"	6.10"	0.51'	10'										
1375	Acer rubrum	Red Maple	70%	56.52"	18.00"	1.50'	27'		X	Cutback, Dieback, Lichen growth							
1376	Trident Maple	Acer buergerianum	70%	20.72"	6.60"	0.55'	10'			Major lichen growth, Possible chlorosis, Dieback							
1377	Trident Maple	Acer buergerianum	60%	17.90"	5.70"	0.48'	9'			Trunk scar, Lichen growth, Thin crown, Dieback							
1378	Acer rubrum	Red Maple	65%	69.08"	22.00"	1.83'	33'		X	Codominant leader, Major dieback, Cutback, Lichen growth							
1379	Trident Maple	Acer buergerianum	65%	12.87"	4.10"	0.34'	7'			Trunk scar, Lichen growth, Dieback							
1380	Acer rubrum	Red Maple	70%	57.78"	18.40"	1.53'	28'		X	Major lichen growth, Cut back							
1381	Trident Maple	Acer buergerianum	75%	21.04"	6.70"	0.56'	11'			Trunk scar, Lichen growth							
1382	Trident Maple	Acer buergerianum	85%	28.89"	9.20"	0.77'	14'										
1383	Acer rubrum	Red Maple	75%	26.38"	8.40"	0.70'	13'		X	Codominant leader, Lichen growth							
1384	Trident Maple	Acer buergerianum	80%	21.35"	6.80"	0.57'	11'			Trunk scar							
1385	Acer rubrum	Red Maple	75%	23.24"	7.40"	0.62'	12'		X	Lichen growth, Dieback							
1386	Japanese Zelkova	Zelkova serrata	75%	29.52"	9.40"	0.78'	15'			Lichen growth, Minor dieback, Weak branching angle							
1387	Japanese Zelkova	Zelkova serrata	80%	22.29"	7.10"	0.59'	11'			Lichen growth, Weak branching angle							
1388	Japanese Zelkova	Zelkova serrata	90%	34.85"	11.10"	0.93'	17'			Weak branching angle							
1389	Japanese Zelkova	Zelkova serrata	70%	21.04"	6.70"	0.56'	11'			Trunk scar, Weak branching angle, Die back							
1390	Pin Oak	Quercus palustris	90%	43.65"	13.90"	1.16'	21'		X	Limbed up							
1391	Little-leaf Linden	Tilia cordata	70%	63.11"	20.10"	1.68'	31'		X	Codominant leader, Lichen, Low branching angle							



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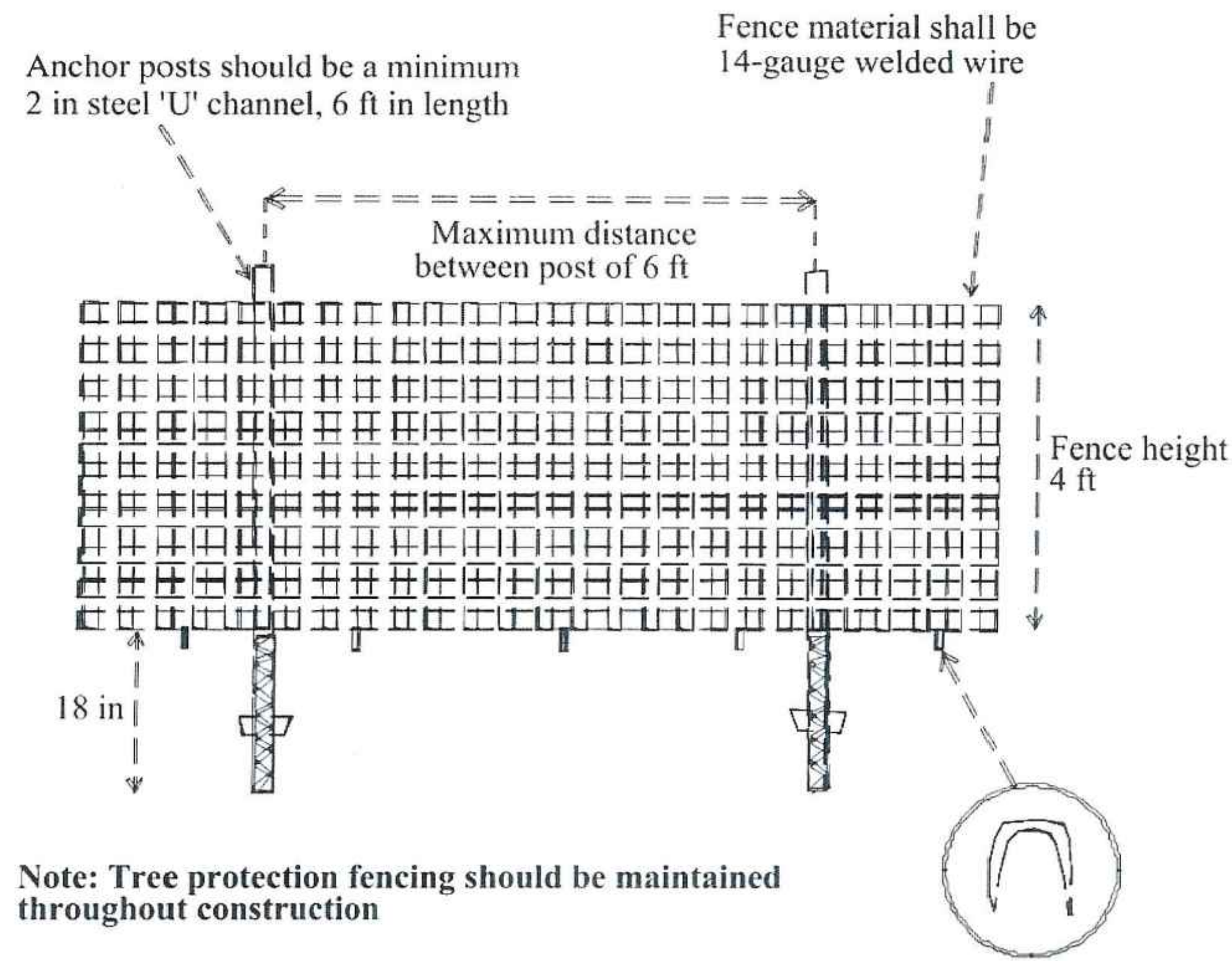


NOTES

1. ROOT PRUNING SHALL BE DONE WITH A TRENCHER OR VIBRATORY PLOW TO A DEPTH OF 18". ROOTS OVER 1.5" IN DIAMETER SHALL HAVE A CLEAN CUT MADE BY A CLEAN SAW ON THE SURFACE OF THE ROOT, WHICH IS STILL ATTACHED TO THE TREE. DO NOT PAINT THE CUT ROOT END. IF EXCAVATION IS FOR INSTALLATION OF UNDERGROUND UTILITIES, LEAVE THE ROOT INTACT AND THREAD THE LINES UNDERNEATH.
2. ROOT PRUNING SHALL TAKE PLACE PRIOR TO ANY CLEARING AND GRADING. EXACT LOCATION OF TREE PROTECTION AREAS SHALL BE STAKED OR FLAGGED PRIOR TO TRENCHING.
3. ROOT PRUNING SHALL BE CONDUCTED WITH THE SUPERVISION OF A CERTIFIED ARBORIST.
4. BACKFILL THE ROOT-PRUNING TRENCH WITH EXCAVATED SOIL AND MULCH AND MARK LOCATION FOR FUTURE REFERENCE. SILT FENCE MAY BE INSTALLED IN TRENCH PRIOR TO BACKFILLING AS LONG AS THE TRENCH IS NOT OPEN FOR LONGER THAN 48 HOURS WITHOUT WATERING.
5. ROOT PRUNING WORK WILL NOT BE DONE WHEN MORE THAN THE TOP 1 INCH OF SOIL IS FROZEN. ROOT PRUNING WILL NOT BE UNDERTAKEN WHEN THE SOIL IS WET AND CONDITIONS ARE MUDDY.

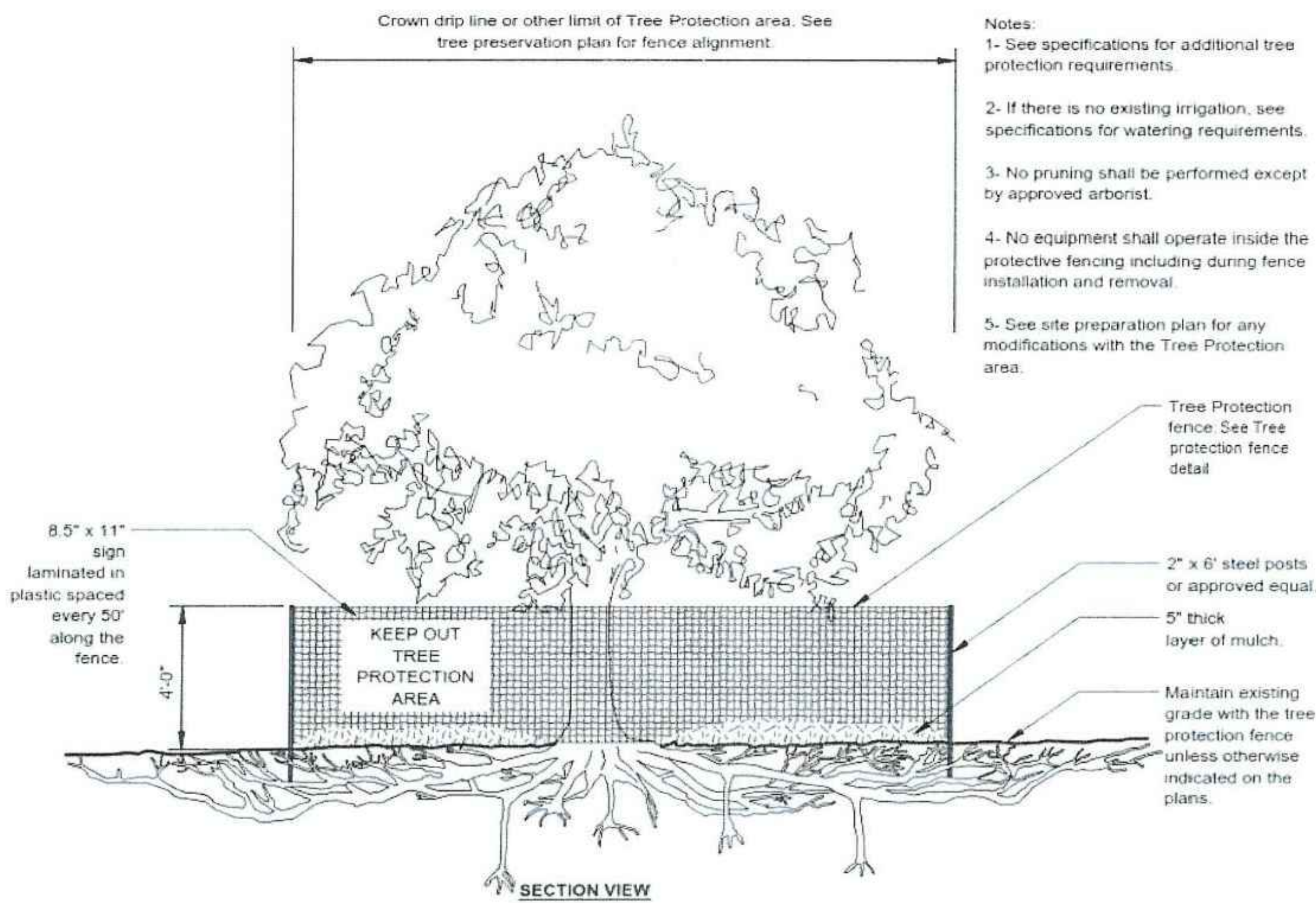
ROOT PRUNING SECTION

NOT TO SCALE



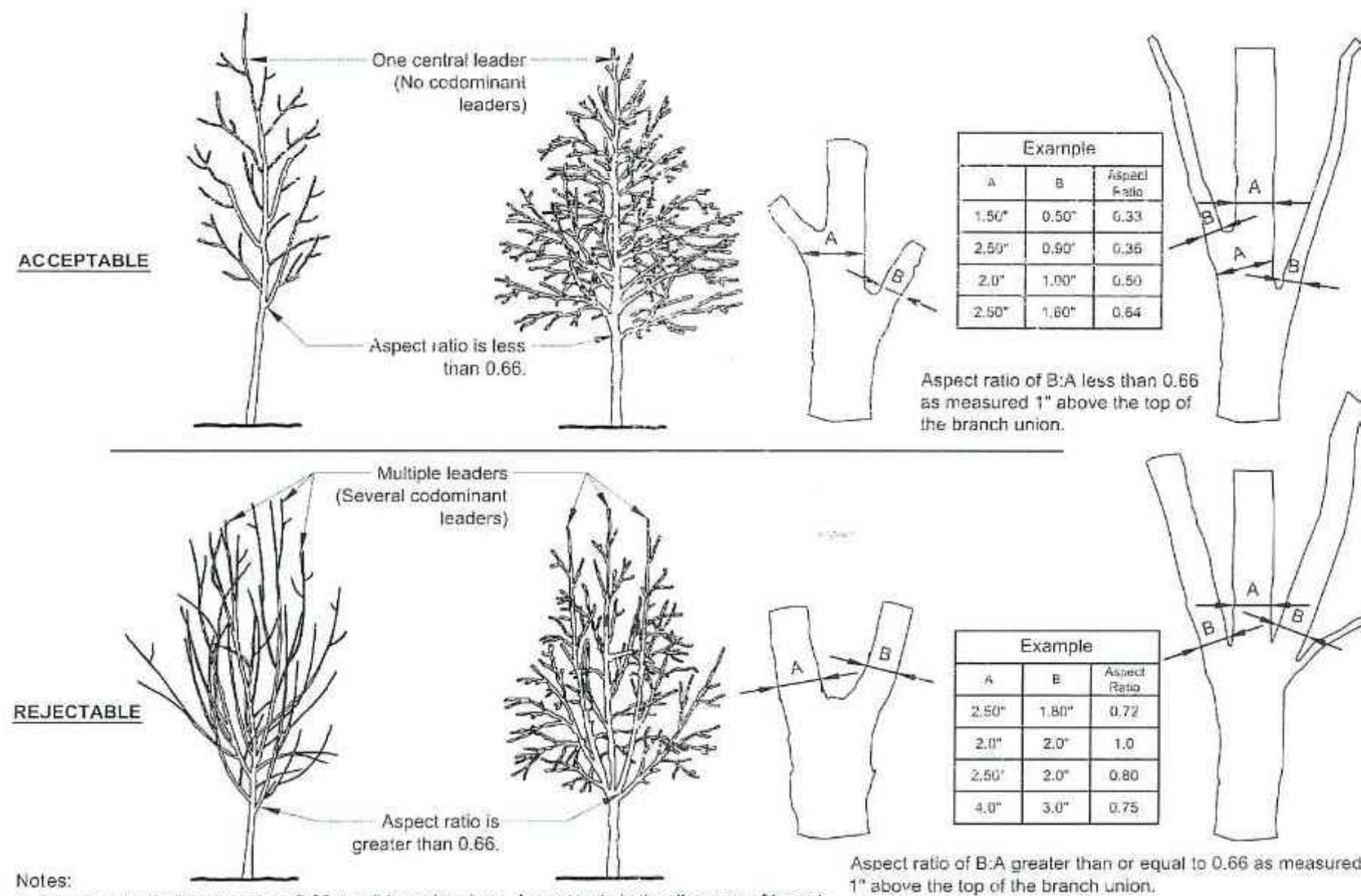
Note: Tree protection fencing should be maintained throughout construction

TREE PROTECTION FENCE INSTALLATION
(SCALE: N.T.S.)
(SOURCE: PFM 6-12)



Notes:

- 1- See specifications for additional tree protection requirements.
- 2- If there is no existing irrigation, see specifications for watering requirements.
- 3- No pruning shall be performed except by approved arborist.
- 4- No equipment shall operate inside the protective fencing including during fence installation and removal.
- 5- See site preparation plan for any modifications with the Tree Protection area.



- Notes:**
- 1- Aspect ratio shall be less than 0.66 on all branch unions. Aspect ratio is the diameter of branch (B) divided by the diameter of the trunk (A) as measured 1" above the top of the branch union.
 - 2- Any tree not meeting the crown observations detail may be rejected.

(P-X) CROWN OBSERVATIONS - HIGH BRANCHED

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(S-X) TREE PROTECTION

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1	05/20/2021	REV PER TOWN COMMENTS	SC	TD



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DRAWN BY: SC
CHECKED BY: CM
DATE: 06/04/2021
CAD ID: LSP-0

PROJECT:

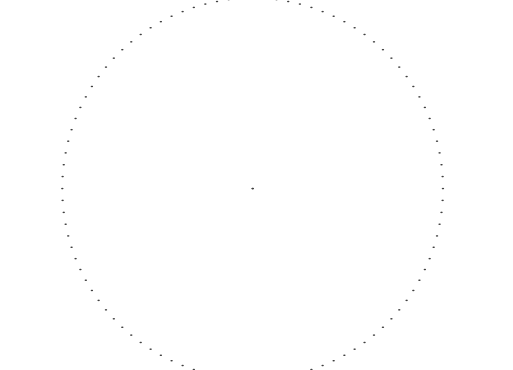
PROP. SITE PLAN DOCUMENTS
FOR



PROPOSED FINANCIAL INSTITUTION W/ DRIVE-THRU
315 MAPLE AVE E
TOWN OF VIENNA, VIRGINIA
TAX MAP # 0382-02-0024



12825 WORLDGATE DR. SUITE 700
HERNDON, VIRGINIA 20170
Phone: (703) 709-9500
Fax: (703) 709-9501
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SHEET TITLE:

TREE PRESERVATION DETAILS

SHEET NUMBER:

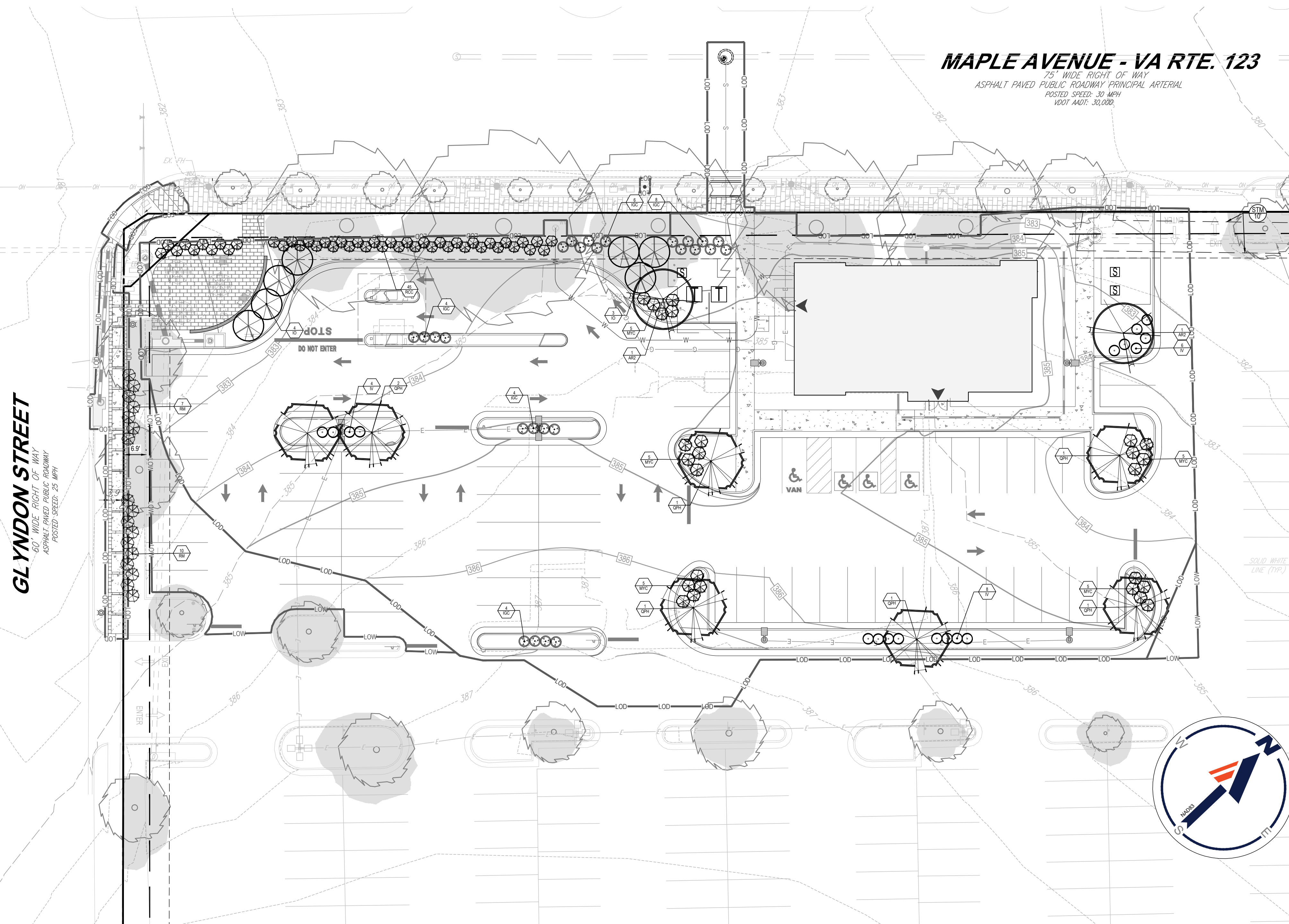
C-702

REVISION 1 - 05/20/2021

GLYNDON STREET
60' WIDE RIGHT OF WAY
ASPHALT PAVED PUBLIC ROADWAY
POSTED SPEED: 30 MPH

MAPLE AVENUE - VA RTE. 123


75' WIDE RIGHT OF WAY
ASPHALT PAVED PUBLIC ROADWAY PRINCIPAL ARTERIAL
POSTED SPEED: 30 MPH
VDOT AADR: 30,000



PLANTING NOTES

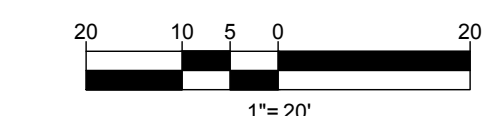
- NEWLY PLANTED TREES SHALL BE HEALTHY AND VIGOROUS, AND MEET ALL ANSI STANDARDS. ALL NEWLY INSTALLED TREES THAT ARE REQUIRED BY THE TREE CONSERVATION PLAN, WHICH IN THE OPINION OF THE TOWN ARBORIST ARE DEAD OR ARE NOT HEALTHY, SHALL BE REPLACED BY THE CONTRACTOR.
- NEW PLANTINGS SHALL BE A MINIMUM OF 2.0'-2.5' CALIPER FOR DECIDUOUS TREES AND 6'-8' HEIGHT FOR EVERGREENS.
- A MINIMUM OF TWO DIFFERENT TREE SPECIES WILL BE REQUIRED WHEN PLANTING 3-5 NEW TREES ON SITE.
- A MINIMUM OF THREE DIFFERENT TREE SPECIES WILL BE REQUIRED FOR 6-9 NEW TREES INSTALLED ON SITE.
- A MINIMUM OF FOUR DIFFERENT TREE SPECIES WILL BE REQUIRED FOR 10+ NEW TREE PLANTINGS ON SITE.
- "LARGE SHADE TREES" SHALL BE INSTALLED NO CLOSER THAN 30' ON-CENTER. "MEDIUM SHADE TREES" AND "MEDIUM EVERGREEN TREES" SHALL BE INSTALLED NO CLOSER THAN 20' O.C. "SMALL ORNAMENTAL AND SMALL EVERGREEN TREES" SHALL BE INSTALLED NO CLOSER THAN 15' O.C.
- PLANTING SHALL BE DONE ONLY WITHIN THE FOLLOWING LISTED DATES. ANY TREE PLANTED OUTSIDE OF THESE PLANTING SEASONS WILL BE REJECTED BY THE TOWN ARBORIST UPON INSPECTION. SPRING PLANTING SEASON: MARCH 15 - MAY 30, FALL PLANTING SEASON: SEPTEMBER 15 - NOVEMBER 30
- IF NOT COMPLETED DURING THE ACCEPTED PLANTING SEASONS, A PLANTING SEASON WAIVER WILL BE REQUIRED FOR TREES/SHRUBS THAT MUST BE INSTALLED FOR CANOPY COVERAGE OR OTHER REQUIREMENTS AS SPECIFIED ON THE APPROVED PLANS FOR FINAL OCCUPANCY. CONSIDERATION AND APPROVAL OF A PLANTING SEASON WAIVER SHALL BE AT THE DISCRETION OF THE HEAD ARBORIST, OR HIS/HER DESIGNEE.
- IF A PLANTING SEASON WAIVER IS GRANTED, THE APPLICANT SHALL POST A BOND (CASH OR SURETY) COVERING ANY TREE PLANTINGS REQUIRED FOR CANOPY COVERAGE FOR THE SITE.

HATCH LEGEND

 EXISTING TREE CANOPY TO BE PRESERVED

TOWN OF VIENNA COMPLIANCE CHART			
SECTION	REQUIREMENTS	CALCULATIONS (REQUIRED/PROPOSED)	COMPLIANCE
18-95.12.A INTERIOR LANDSCAPING	<p>INTERIOR PARKING LOT LANDSCAPING</p> <p>LANDSCAPING ISLANDS SHALL BE LOCATED AT THE END OF PARKING BAYS AND HAVE A MINIMUM SIZE OF 180 SQUARE FEET FOR SINGLE LOADED PARKING BAYS, AND A MINIMUM SIZE OF 360 SQUARE FEET FOR DOUBLE-LOADED BAYS.</p> <p>CANOPY OR SHADE TREES SHALL BE DISTRIBUTED THROUGHOUT THE PARKING LOT FOR THE PURPOSE OF HEAT ABATEMENT. NO PARKING SPACE SHALL BE SEPARATED FROM THE TRUNK OF A SHADE OR CANOPY TREE BY MORE THAN 70 FEET.</p> <p>A RATIO OF ONE TREE PER EIGHT PARKING SPACES SHALL BE PROVIDED.</p> <p>EACH LANDSCAPING ISLAND SHALL CONTAIN AT LEAST FOUR SHRUBS, PLANTED IN ACCORDANCE WITH THESE STANDARDS.</p>	<p>INTERIOR PARKING LOT LANDSCAPING</p> <p>REQUIRED:</p> <ul style="list-style-type: none"> PLANTING ISLANDS AT THE END OF EVERY ROW PARKING SPACE NO MORE THAN 70' FROM A TREE 72 PARKING SPACES PROPOSED 1 TREE FOR EVERY 8 SPACES 72 SPACES X (1/8) = 9 TREES REQUIRED 4 SHRUBS PER LANDSCAPE ISLAND <p>PROPOSED:</p> <ul style="list-style-type: none"> INTERIOR PLANTING ISLANDS HAVE BEEN PROVIDED AT THE END OF EVERY ROW NO PARKING SPACE IS GREATER THAN 70' FROM AN INTERIOR PARKING LOT TREE 9 TREES PROVIDED 4 SHRUBS PER LANDSCAPE ISLAND 	COMPLIES
18-95.12.B PERIMETER LANDSCAPING STANDARDS	<p>PERIMETER PARKING LOT LANDSCAPING</p> <p>THE MINIMUM WIDTH OF A PERIMETER LANDSCAPE STRIP SERVING A PARKING LOT SHALL BE EIGHT FEET</p> <p>EVERGREEN SHRUBS SHALL BE USED TO FORM THE CONTINUOUS VISUAL SCREEN IN THE PERIMETER LANDSCAPE STRIP.</p> <p>IN ADDITION TO THE EVERGREEN SHRUB REQUIREMENTS, EACH PERIMETER LANDSCAPE STRIP SHALL INCLUDE AT LEAST TEN AGGREGATE CALIPER INCHES (ACI), MEASURED AT INSTALLATION, OF CANOPY TREES PER 100 LINEAR FEET OF LANDSCAPE STRIP. UNDERSTORY TREES MAY BE USED BENEATH OVERHEAD UTILITIES.</p> <p>AT LEAST 25 PERCENT OF THE REQUIRED TREES AND SHRUBS SHALL PROVIDE A SEASONAL COLOR WITH EVERGREEN AND FLOWERING TREES.</p>	<p>(A) NORTHWEST PROPERTY LINE (MAPLE AVENUE - VA RTE 123)</p> <p>REQUIRED:</p> <ul style="list-style-type: none"> 8' LANDSCAPE STRIP 10 AGGREGATE CALIPER INCHES (ACI) PER 100 LF <p>336 LF X (10/100) = 34 ACI</p> <p>CONTINUOUS ROW OF EVERGREEN SHRUBS</p> <p>PROPOSED:</p> <ul style="list-style-type: none"> 8' LANDSCAPE STRIP EXISTING TREES (1369, 1372, 1378, 1380) PROVIDE 103.80" ACI CONTINUOUS ROW OF EVERGREEN SHRUBS <p>(B) SOUTHWEST PROPERTY LINE (GLYDON STREET)</p> <p>REQUIRED:</p> <ul style="list-style-type: none"> 8' LANDSCAPE STRIP 10 AGGREGATE CALIPER INCHES (ACI) PER 100 LF <p>3376 LF X (10/100) = 14 ACI</p> <p>CONTINUOUS ROW OF EVERGREEN SHRUBS</p> <p>PROPOSED:</p> <ul style="list-style-type: none"> 8' LANDSCAPE STRIP (EXISTING) EXISTING TREES (1363, 1364, 1365, 1366) PROVIDE 54.80" ACI CONTINUOUS ROW OF EVERGREEN SHRUBS 	COMPLIES
17-15.1. PLANTING AND REPLACEMENT OF TREES	<p>20 YEAR CANOPY CALCULATIONS</p> <p>A. THE PRELIMINARY PLAT REQUIRED BY THIS ARTICLE SHALL BE ACCOMPANIED BY A PLAN PROVIDING FOR THE PLANTING AND REPLACEMENT OF TREES ON SITE DURING DEVELOPMENT TO THE EXTENT THAT, AT MATURITY OF 20 YEARS, MINIMUM TREE CANOPIES OR COVERS WILL BE PROVIDED IN THE RESPECTIVE ZONING DISTRICTS OF THE TOWN AS FOLLOWS:</p> <ol style="list-style-type: none"> 20 PERCENT TREE CANOPY IN THE RS-16, RS-12.5 AND RS-10 ZONES. 15 PERCENT IN THE RM-2 AND RTH ZONES. 10 PERCENT TREE CANOPY IN THE T, C-1, C-1A, C-2, CMP AND CM ZONES 	<p>20 YEAR CANOPY CALCULATIONS</p> <p>GROSS SITE AREA: 10.43 AC OR 454,658 SF</p> <p>CANOPY COVERAGE REQUIRED ZONE C-2 (10%) 1.04 AC OR 45,646 SF</p> <p>NET EXISTING TREE CANOPY 29,807 SF</p> <p>NET EXISTING TREE CANOPY PROVIDED WITH "GIANT FOOD STORE #659 MAPLE AVENUE EAST MAPLE AVENUE SHOPPING CENTER" APPROVED AUG 13, 2003 43,351 SF</p> <p>PROPOSED LANDSCAPING WITH THIS PLAN 4,100 SF</p> <p>TOTAL CANOPY PROVIDED 47,451 SF (10.44%) CANOPY PROVIDED</p>	COMPLIES

LANDSCAPE SCHEDULE							
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL. / HT.	CONT.	CROWN COVERAGE ALLOWANCE (CCA)	TOTAL (CCA)
SHADE TREES							
AR2	2	ACER RUBRUM	RED MAPLE	210" CAL / 15-12	B-B	300	600
QPH	7	QUERCUS PHellos	WILLOW OAK	210" CAL / 15-12	B-B	300	2,100
	9					TOTAL	2,700
EVERGREEN TREES							
ID	7	ILEX OPACA	AMERICAN HOLLY	8" HT.	B-B	200	1400
	7					TOTAL	1400
DECIDUOUS SHRUBS							
IV	18	ITEA VIRGINICA 'HENRY'S GARNET'	GARNET SWEETSPIRE	24-30" HT. & SPREAD	HS CAN	NA	NA
	18						
EVERGREEN SHRUBS							
IGC	26	ILEX GLABRA COMPACTA	DWARF INBERRY HOLLY	24-30" HT. & SPREAD	HS CAN	NA	NA
MYC	25	MYRTICA CERIFERA 'DONS DWARF'	DWARF WAX MYRTLE	4-5" HT. & SPREAD	B-B	NA	NA
ROC	45	RHOXODENDRON CATAMBENSE 'CHANDICE'	CHINDICES RHOXODENDRON	24-30" HT. & SPREAD	B-B	NA	NA
RM	17	RHOXODENDRON VARIUM 'ROSEBAY'	ROSEBAY RHOXODENDRON	45" HT. & SPREAD	B-B	NA	NA
	113						



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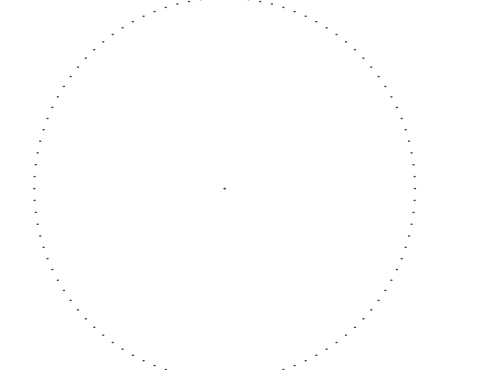
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DRAWN BY: SC
CHECKED BY: CM
DATE: 06/04/2021
CAD LID: LSP-0

PROP. SITE PLAN DOCUMENTS

CHASE

PROPOSED FINANCIAL INSTITUTION W/ DRIVE-THRU
315 MAPLE AVE E
TOWN OF VIENNA, VIRGINIA
TAX MAP # 0382-02-0024

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12825 WORLDGATE DR. SUITE 700
HERNDON, VIRGINIA 20170
Phone: (703) 709-9500
Fax: (703) 709-9501
VA@BohlerEng.com



SHEET TITLE:
LANDSCAPE PLAN
SHEET NUMBER:
C-703
REVISION 1 - 05/20/2021

PLANTING NOTES:

1. MATERIAL STANDARDS:

ALL PLANT MATERIAL SHALL MEET OR EXCEED PLANT LIST SIZES AND THE SHAPE RELATIONSHIPS AND BALL DIAMETERS AS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. NO MATERIAL SHALL BE ACCEPTED WHICH IS NOT PEST AND DISEASE FREE AND HAS NOT BEEN HARDENED OFF BY ONE FULL SEASON OF SIMILAR CLIMATE AND CONDITIONS.

ALL SHRUBS SHALL BE DENSE, HEAVY TO THE GROUND, AND WELL GROWN, SHOWING EVIDENCE OF HAVING BEEN PRUNED AND SHEARED REGULARLY, AND SHALL HAVE A HEALTHY NORMAL ROOT SYSTEM. PLANTS SHALL BE FRESHLY DUG AND NOT HEEL-ED IN STOCK FROM COLD STORAGE. ALL PLANTS SHALL BE NURSERY GROWN (EXCEPT AS NOTED BELOW). PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY.

2. LIST OF PLANT MATERIAL:

THE CONTRACTOR WILL VERIFY THE PLANT QUANTITIES PRIOR TO BIDDING AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT/OOWNER'S AGENT. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS REQUIRED TO COMPLETE THE WORK SHOWN ON THE DRAWINGS. SUBSTITUTION SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT/OOWNER'S AGENT. THIS CONTRACT WILL BE BASED ON THE BIDDER HAVING VERIFIED PRIOR TO BIDDING THE AVAILABILITY OF THE REQUIRED PLANT MATERIAL AS SPECIFIED ON THE PLANT MATERIAL LIST. ALL PLANTS SHALL BE PROPERLY MARKED FOR IDENTIFICATION.

3. PLANT BED PREPARATION:

APPROXIMATELY ONE WEEK PRIOR TO BEGINNING PLANTING OPERATIONS, ALL PLANT BEDS SHOULD BE WATERED TO GERMINATE ANY WEED SEED. TWO TO FIVE DAYS LATER, SPRAY PLANT BEDS WITH "ROUNDUP" OR OTHER APPROVED SYSTEMIC WEED KILLER, APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE OF DILUTION AND COVERAGE. AT THE TIME OF PLANTING, THOROUGHLY TILL ALL PLANT BEDS TO A DEPTH OF 6" AFTER APPLYING A MINIMUM OF 3" OF ACCEPTABLE GRADE PEAT MOSS. PEAT MOSS OR OTHER ACCEPTABLE DECOMPOSED ORGANIC MATTER SHOULD ALSO BE ADDED TO THE PLANTING PITS SUFFICIENT TO RAISE THE ORGANIC CONTENT TO A MINIMUM OF 5%.

4. SOIL MIX:

SOIL MIX WILL BE 1/3 EXISTING SOIL, 2/3 TOPSOIL / PEAT OR EQUAL ORGANIC MATERIAL, THOROUGHLY MIXED AND HOMOGENIZED. IF CLAY SOILS EXIST, IT IS TO BE REPLACED WITH A MINIMUM OF 6" OF TOPSOIL. ACCEPTANCE OF SOIL SHALL BE DEPENDENT ON THE RESULTS OF A SOIL TEXT TO INCLUDE PERCENTAGE OF ORGANIC MATTER, PH, AND SOLUBLE SALTS TO THE CITY / COUNTY ARBORIST PRIOR TO SOIL PREPARATION AND PLANTING. SOIL SHALL BE FILLED TO TOP OF CURB, ENTIRE TREE AND SHRUB CORRIDORS, RATHER THAN INDIVIDUAL PITS SHALL BE LOOSENEED TO THE DEPTH OF THE ROOT SYSTEMS OF THE PLANTS TO BE INSTALLED.

5. PLANTING:

BACKFILLING SHALL BE DONE WITH 1/3 EXISTING SOIL FREE OF STONES, SUBSOIL, CLAY LUMPS, STUMPS, ROOTS, WEEDS, BERMUDA GRASS, LITTER, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER GRADING, PLANTING, OR MAINTENANCE OPERATIONS. SHOULD ANY UNFORESEEN OR UNSUITABLE PLANTING CONDITIONS ARISE, SUCH AS FAULTY SOIL DRAINAGE OR CHEMICAL RESIDUES, THE CONTRACTOR SHALL NOTIFY THE OWNER AND AWAIT INSTRUCTIONS FOR POSSIBLE EXTRA WORK BEFORE PLANTING. THE CONTRACTOR WILL BE RESPONSIBLE FOR ADEQUATE DRAINAGE FROM ALL PLANTS. THE PLANT SHALL BE SET PLUMB AND STRAIGHT, AND SHALL BE STAKED AT THE TIME OF PLANTING. BACKFILL SHALL BE WELL WORKED ABOUT THE ROOTS AND SETTLED BY WATERING. PLANTS SHALL BE PLANTED AS TO BEAR SAME RELATION TO FINISH GRADE AS THEY DID TO THEIR NURSERY FIELD GROWN GRADE. SAUCERS SHALL BE FORMED ABOVE EXISTING GRADE AND AROUND THE OUTER RIM OF PLANT PIT.

ALL TREES SHALL BE PLANTED VERTICALLY AND BACKFILL COMPACTED WITH WATER AND RODDING TO REMOVE ALL VOIDS AND TO SEAT ROOT BALL. SEE TREE PLANTING DETAILS. TREES TRANSPANTED BY MACHINE SHALL BE MOVED BY MACHINES THAT PROVIDE A MINIMUM BALL DIAMETER OF 9" PER 1" OF TREE CALIPER. HOLES ARE TO BE DUG BY THE SAME SIZE MACHINE AS THE ONE TRANSPORTING THE PLANT. THE PLANT MATERIAL SHALL BE TRANSPANTED IN APPROXIMATELY THE SAME GROWING CONDITIONS AS IT IS PRESENTLY GROWING, IN ITEMS OF SOIL TYPE AND MOISTURE CONTENT. FERTILIZE AND DESCRIBED IN THESE PLANS AND SPECIFICATIONS.

SHRUBS AND TREE-FORM SHRUBS SHOULD BE TURNED IN PLANT PIT TO OBTAIN BEST FOLIAGE RELATIONSHIP TO RELOCATION PRIOR TO STARTING BACKFILL. GROUND COVERS SHALL BE PLANTED AFTER MULCH HAS BEEN INSTALLED. NO PLANTS EXCEPT SPREADING GROUND COVERS OR ESPALIER MATERIAL SHALL BE PLANTED CLOSER THAN 30' TO BUILDINGS, WALKS, OR CURBS.

6. STAKING AND GUYING:

STAKING AND GUYING SHALL BE PERFORMED ONLY IF NOTED AS REQUIRED ON THE PLANS. IF REQUIRED, THE STAKES AND GUYS ARE TO BE REMOVED WITH THE FIRST YEAR'S PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE TREE DUE TO IMPROPER USE OF STAKING AND GUYING TECHNIQUES. IF THE OWNER FINDS IMPROPER APPLICATION OF THE STAKING AND GUYING AND IS DETRIMENTAL TO THE TREE, THE OWNER MAY REQUEST COMPENSATION FROM THE CONTRACTOR.

7. MULCH:

ALL PLANT BEDS AND SAUCERS SHALL BE THOROUGHLY MULCHED WITH SHREDDED HARDWOOD. MULCH SHALL BE A MINIMUM OF 4" AND NOT TO EXCEED 6". ONE THOROUGH WEEDING AND REPLENISHING OF MULCH SHALL BE REQUIRED IMMEDIATELY PRIOR TO THE INSPECTION AT THE END OF THE GUARANTEE PERIOD.

8. NO BARE SPOTS:

ALL AREAS SHALL BE COVERED BY BUILDINGS, PAVING, PLANTING, GRASS OR MULCH, WITH THE EXCEPTION OF THE "NATURAL" AREAS IF NOTED ON PLANS. THESE "NATURAL" AREAS SHALL BE CLEANED OF ALL UNSIGHTLY AND HAZARDOUS DEBRIS (CANS, BOTTLES, TRASH, ETC.) WHILE LEAVING LEAVES AND OTHER NATURAL GROUND COVERS. ALL UNMOWED AREAS SHALL BE MARKED WITH WHITE STAKES SPACED AT 20' O/C UNTIL VISIBLE MOWING EDGE IS ESTABLISHED. NO AREAS ARE TO BE LEFT BARE.

9. MAINTENANCE:

THE CONTRACTOR SHALL BE RESPONSIBLE, DURING THE CONTRACT AND UP TO THE TIME OF ACCEPTANCE, FOR KEEPING THE PLANTING AND WORK INCIDENTAL THERETO IN GOOD CONDITION. THIS MAY BE ACCOMPLISHED BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING, SPRAYING, RESTAKING AND CLEANING UP; AND BY PERFORMING ALL OTHER NECESSARY OPERATIONS OF CARE FOR PROMOTION OF GOOD PLANT GROWTH SO THAT ALL WORK IS IN SATISFACTORY CONDITION AT TIME OF ACCEPTANCE. THIS MAINTENANCE SHALL BE AT NO ADDITIONAL COST TO THE OWNER.

10. SCHEDULE AND APPROVALS:

THE LANDSCAPE CONTRACTOR SHALL SUBMIT A WRITTEN SCHEDULE OF OPERATIONS AND WRITTEN REQUESTS FOR APPROVALS IN ACCORDANCE WITH PROJECT SPECIFICATIONS OR AS OTHERWISE AGREED UPON WITH THE OWNER.

11. GUARANTEE:

ALL PLANTS SHALL BE GUARANTEED FOR A MAXIMUM OF ONE YEAR OR FOR THE DURATION OF ONE FULL GROWING SEASON, BEGINNING APRIL 1 AND ENDING NOVEMBER 1, AFTER PLANTING, AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. GUARANTEE SHALL COVER BOTH LABOR AND MATERIALS. EARTH SAUCERS AND STAKES AND GUYS SHALL BE REMOVED AND TREES AND SHRUBS MULCHED TO 3" DEPTH JUST PRIOR TO EXPIRATION OF THE ONE-YEAR GUARANTEE. THE OWNER SHALL BE NOTIFIED IN WRITING WHEN THIS WORK IS TO OCCUR.

ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AS ORIGINALLY PLANTED AND SHALL BE OF SIZE EQUAL TO THAT PLANTED BY ADJACENT PLANTS OF THE SAME KIND AT TIME OF REPLACEMENT. ALL COSTS OF REPLACEMENT PLANTING SHALL BE BORNE BY THIS CONTRACTOR.

LANDSCAPE SCHEDULE

KEY	BOTANICAL / COMMON NAME	SIZE	QTY.	TOTAL	REMARKS		
BN	BETULA NIGRA RIVER BIRCH	3" cal. 7'-8" B&B	4		SEE DECIDUOUS TREE PLANTING DETAIL	314	1256
FG	FAGUS GRANDIFOLIA AMERICAN BEECH	3" cal. 7'-8" B&B	2		SEE DECIDUOUS TREE PLANTING DETAIL	177	354
GT	GLEDITSIA TRIACANTHOS INERMIS "SHADEMASTER" / SHADEMASTER THORNLESS HONEYLOCUST	3" cal. 7'-8" B&B	23		SEE DECIDUOUS TREE PLANTING DETAIL	314	7222
HQ	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	24"-36" SPR. CONT.	10		SEE SHRUB PLANTING DETAIL	00	00
IG	ILEX GLABRA INKBERRY HOLLY	18"-24" SPR. CONT.	8		SEE SHRUB PLANTING DETAIL	00	00
IV	ITEA VIRGINICA VIRGINIA SWEETSPICE	15"-18" SPR. CONT.	8		SEE SHRUB PLANTING DETAIL	00	00
PC	PYRUS CALLERYANA "BRADFORD" BRADFORD PEAR	3" cal. 7'-8" B&B	3		SEE DECIDUOUS TREE PLANTING DETAIL	254	762
QR	QUERCUS RUBRA RED OAK	3" cal. 7'-8" B&B	14		SEE DECIDUOUS TREE PLANTING DETAIL	254	3556
SM	SALIX MONTSUDANA "TORTUOSA" CORKSCREW WILLOW	3" cal. 7'-8" B&B	3		SEE DECIDUOUS TREE PLANTING DETAIL	177	531
VD	VIBURNUM DENTATUM ARROWWOOD VIBURNUM	24"-30" SPR. B&B	6		SEE SHRUB PLANTING DETAIL	00	00
QA	QUERCUS ALBA WHITE OAK	3"-CAL. 7'-8"-B&B	6		SEE DECIDUOUS TREE PLANTING DETAIL	254	1524
AR	ACER RUBRUM RED MAPLE	3" cal. B&B	2		SEE DECIDUOUS TREE PLANTING DETAIL	314	628

TOTAL COVERAGE: 15,842 SF

- 2 FG = 354 SF

- 1 GT = 314 SF

- 2 QA = 508 SF

- 5 TOTAL TREES = 1,176 SF

TREE CANOPY COMPUTATIONS:

REQUIRED TREE COVER (10%) = 0.1 X 10,437.5 X 43,560 = 45,466 SF
 EX. TREE COVER TO REMAIN (SEE SH. 9) = 30,643 SF - 836 SF = 29,807 SF
 ADDITIONAL PLANTINGS = 75,482 - 1,176 SF = 14,306 SF
 TOTAL = 46,125 - 2,012 SF = 44,113 SF

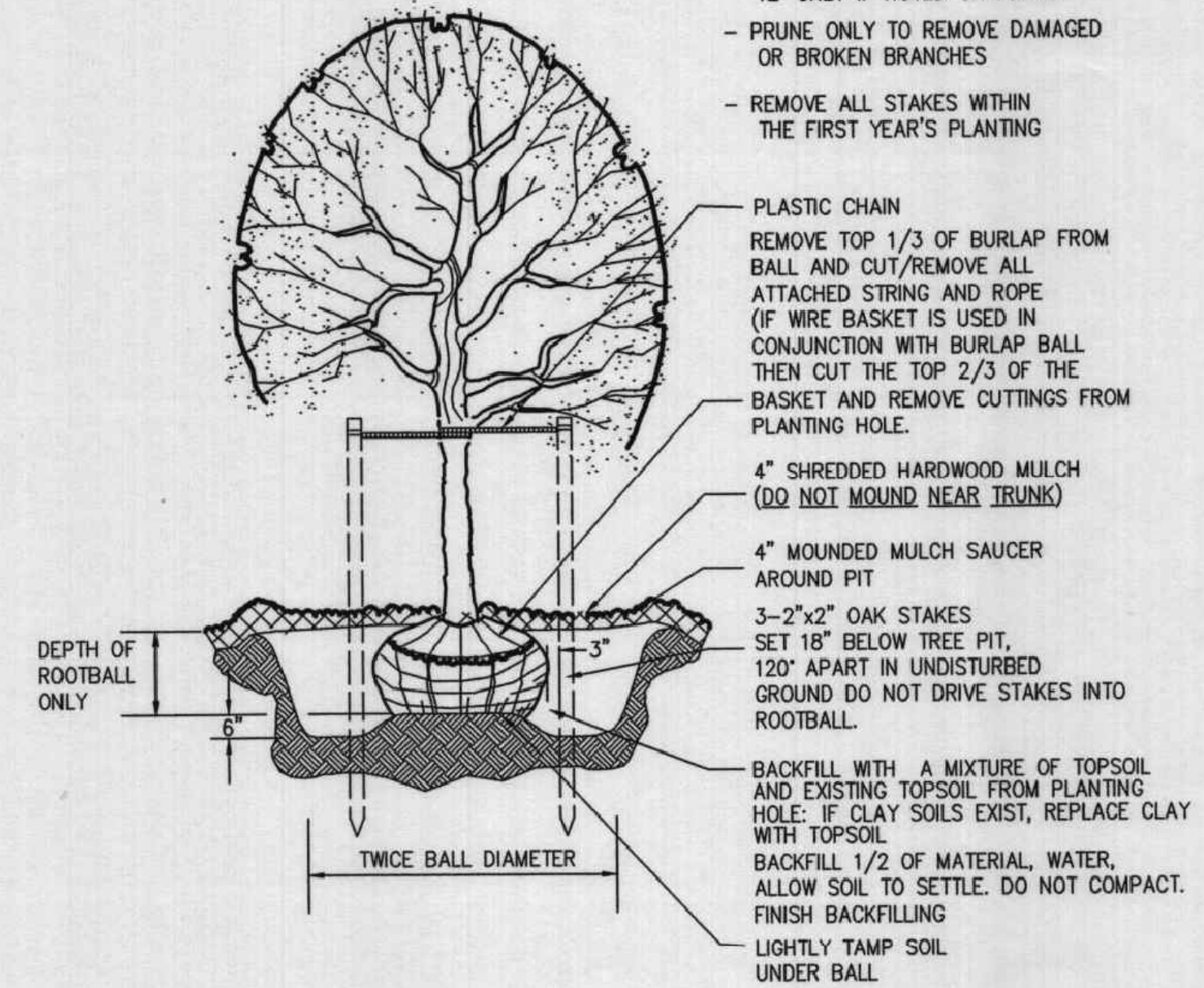
TOTAL TREE CANOPY LOST FROM TREES TO BE REMOVED = 2,012 SF
 TOTAL TREE CANOPY GAINED FROM PROPOSED TREES = 4,100 SF
 NET GAIN IN TREE CANOPY = 2,088 SF

ALL TREES PLANTED SHALL MEET THE SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.

THE PLANTING OF TREES SHALL BE DONE IN ACCORDANCE WITH EITHER THE STANDARDIZED LANDSCAPE SPECIFICATIONS JOINTLY ADOPTED BY THE VIRGINIA NURSERYMENS ASSOCIATION, THE VIRGINIA SOCIETY OF LANDSCAPE DESIGNERS AND THE VIRGINIA CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, OR THE ROAD AND BRIDGE SPECIFICATIONS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION.

NOTES:

- TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT DID TO NURSERY FIELD GROWTH GRADE
- STAKE DECIDUOUS TREES UNDER 12" ONLY IF NOTED ON PLANS
- PRUNE ONLY TO REMOVE DAMAGED OR BROKEN BRANCHES
- REMOVE ALL STAKES WITHIN THE FIRST YEAR'S PLANTING



DECIDUOUS TREE PLANTING
NOT TO SCALE

NOTE:

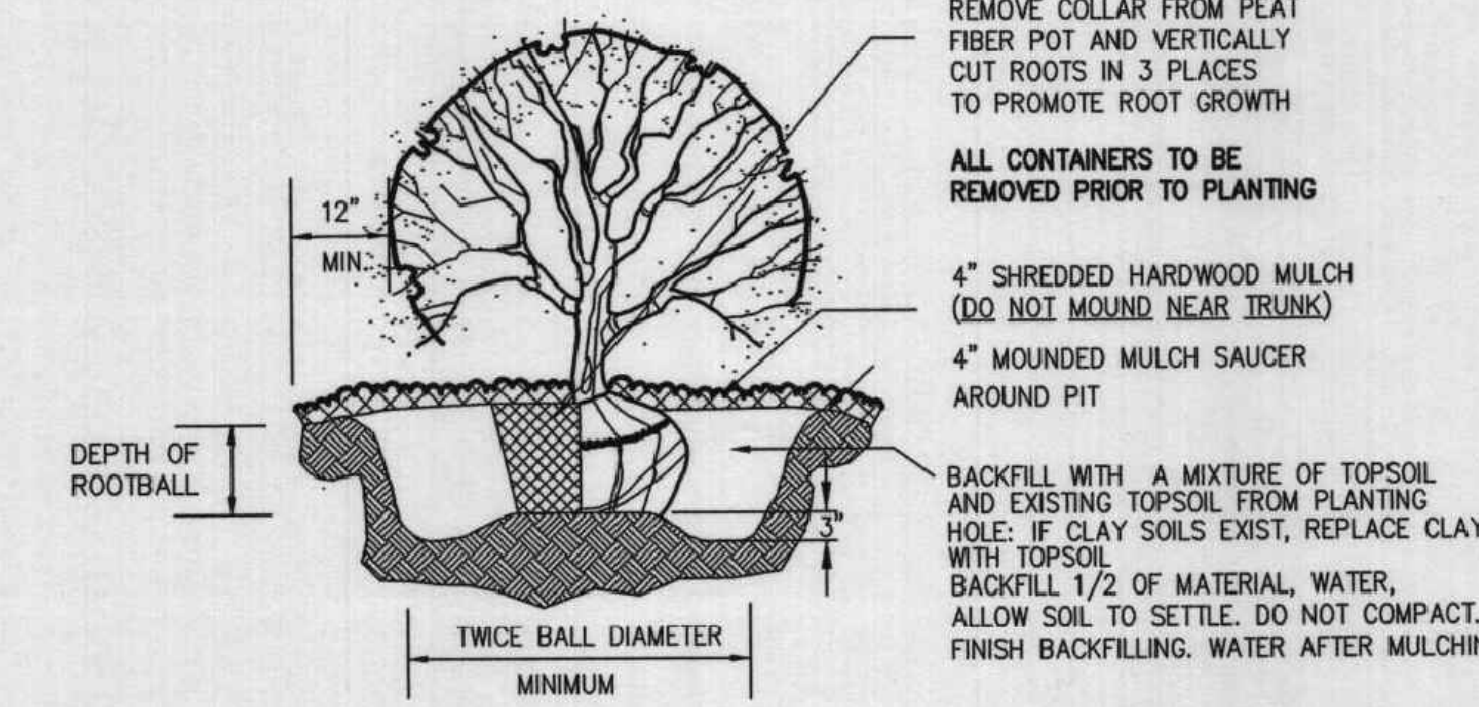
12" MIN. MULCH LINE PAST CANOPY OF SHRUB AT TIME OF FINAL INSPECTION
 SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS IT DID TO ITS NURSERY FIELD GROWTH GRADE.

REMOVE COLLAR FROM PEAT FIBER POT AND VERTICALLY CUT ROOTS IN 3 PLACES TO PROMOTE ROOT GROWTH

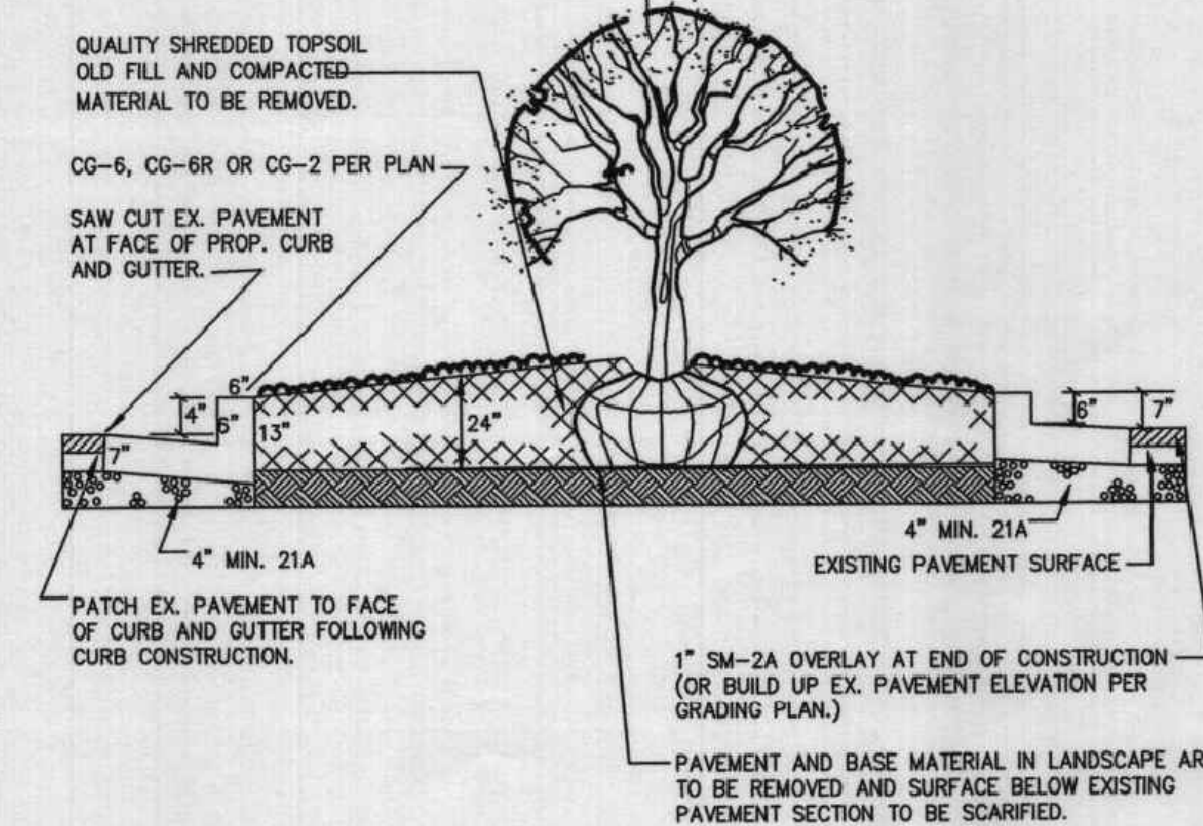
ALL CONTAINERS TO BE REMOVED PRIOR TO PLANTING

4" SHREDDED HARDWOOD MULCH (DO NOT MOUND NEAR TRUNK)
 4" MOUNDED MULCH SAUCER AROUND PIT

BACKFILL WITH A MIXTURE OF TOPSOIL AND EXISTING TOPSOIL FROM PLANTING HOLE. IF CLAY SOILS EXIST, REPLACE CLAY WITH TOPSOIL.
 BACKFILL 1/2 OF MATERIAL, WATER, ALLOW SOIL TO SETTLE. DO NOT COMPACT. FINISH BACKFILLING. WATER AFTER MULCHING.



SHRUB PLANTING
NOT TO SCALE



NOTE: PROPOSED CURB TO BE PLACED GENERALLY TO MATCH EXISTING GRADE EXCEPT AS INDICATED BY SPOT ELEVATIONS ON PLANS.

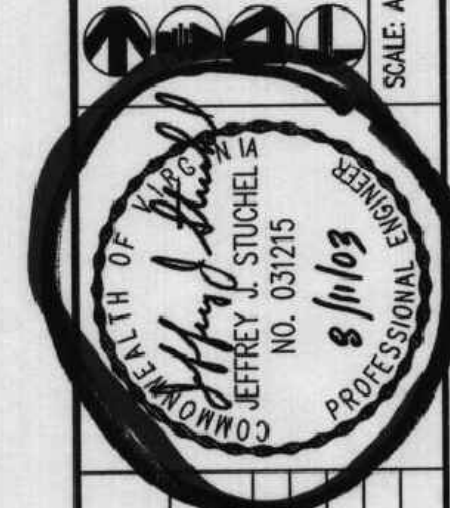
LANDSCAPE ISLAND PLACEMENT DETAIL
NOT TO SCALE

THIS PLAN TO BE UTILIZED FOR INFORMATIONAL PURPOSES ONLY

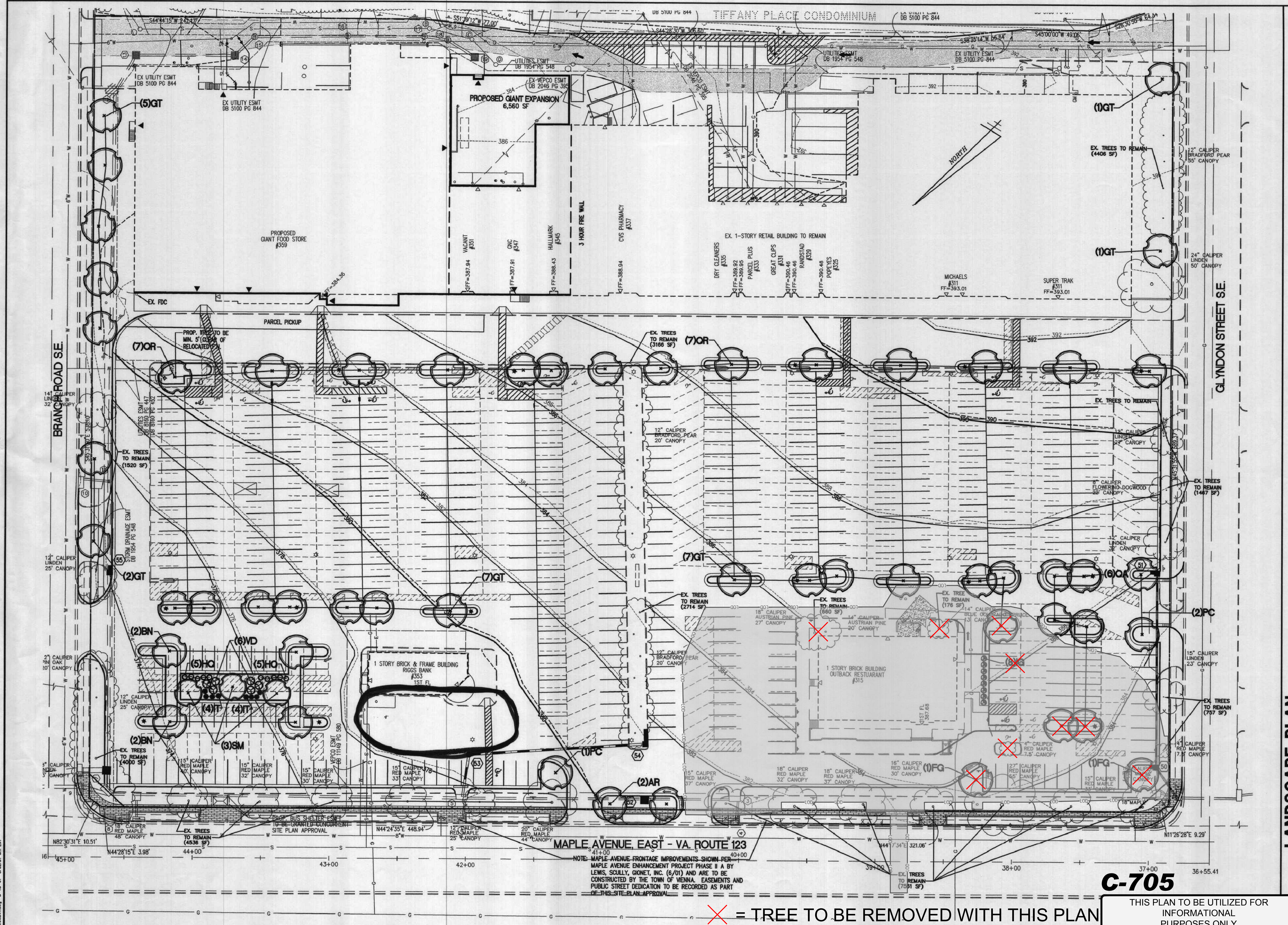
C-704

LANDSCAPE NOTES AND DETAILS
MAPLE AVENUE SHOPPING CENTER
 359 MAPLE AVENUE, EAST
 TOWN OF VIENNA
 FAIRFAX COUNTY, VIRGINIA

WALTER L. PHILLIPS
 INCORPORATED
 CIVIL ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
 207 PARK AVENUE FALLS CHURCH, VIRGINIA 22046
 (703) 532-0163 FAX (703) 532-0164
 WWW.WLPHINC.COM
 DRAWN: SQUJDK
 DATE: 8-15-03/11/03



DATE	APPROVED BY	REV.	BY



MAPLE AVENUE EAST - VA ROUTE 123

NOTE: MAPLE AVENUE FRONTAGE IMPROVEMENTS SHOWN PER MAPLE AVENUE ENHANCEMENT PROJECT PHASE II A BY LEWIS, SCULLY, GONET, INC. (6/01) AND ARE TO BE CONSTRUCTED BY THE TOWN OF VIENNA. EASEMENTS AND PUBLIC STREET DEDICATION TO BE RECORDED AS PART OF THIS SITE PLAN APPROVAL.

X = TREE TO BE REMOVED WITH THIS PLAN

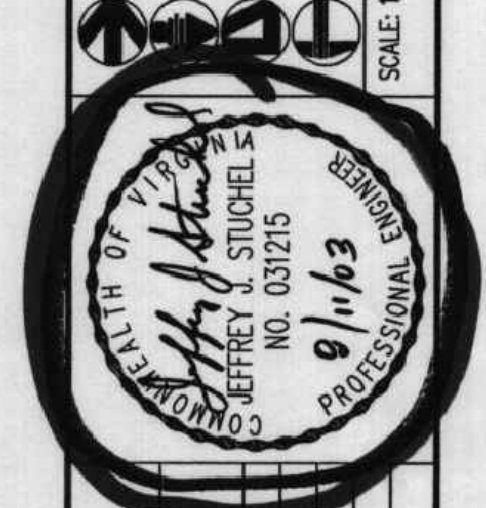
C-705

THIS PLAN TO BE UTILIZED FOR INFORMATIONAL PURPOSES ONLY

LANDSCAPE PLAN
MAPLE AVENUE SHOPPING CENTER
 359 MAPLE AVENUE, EAST
 TOWN OF VIENNA
 FAIRFAX COUNTY, VIRGINIA

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED
1	ARCH. COORDINATION	5/20/03		
2	PLANNING/STAMP BOX	6/03/03		

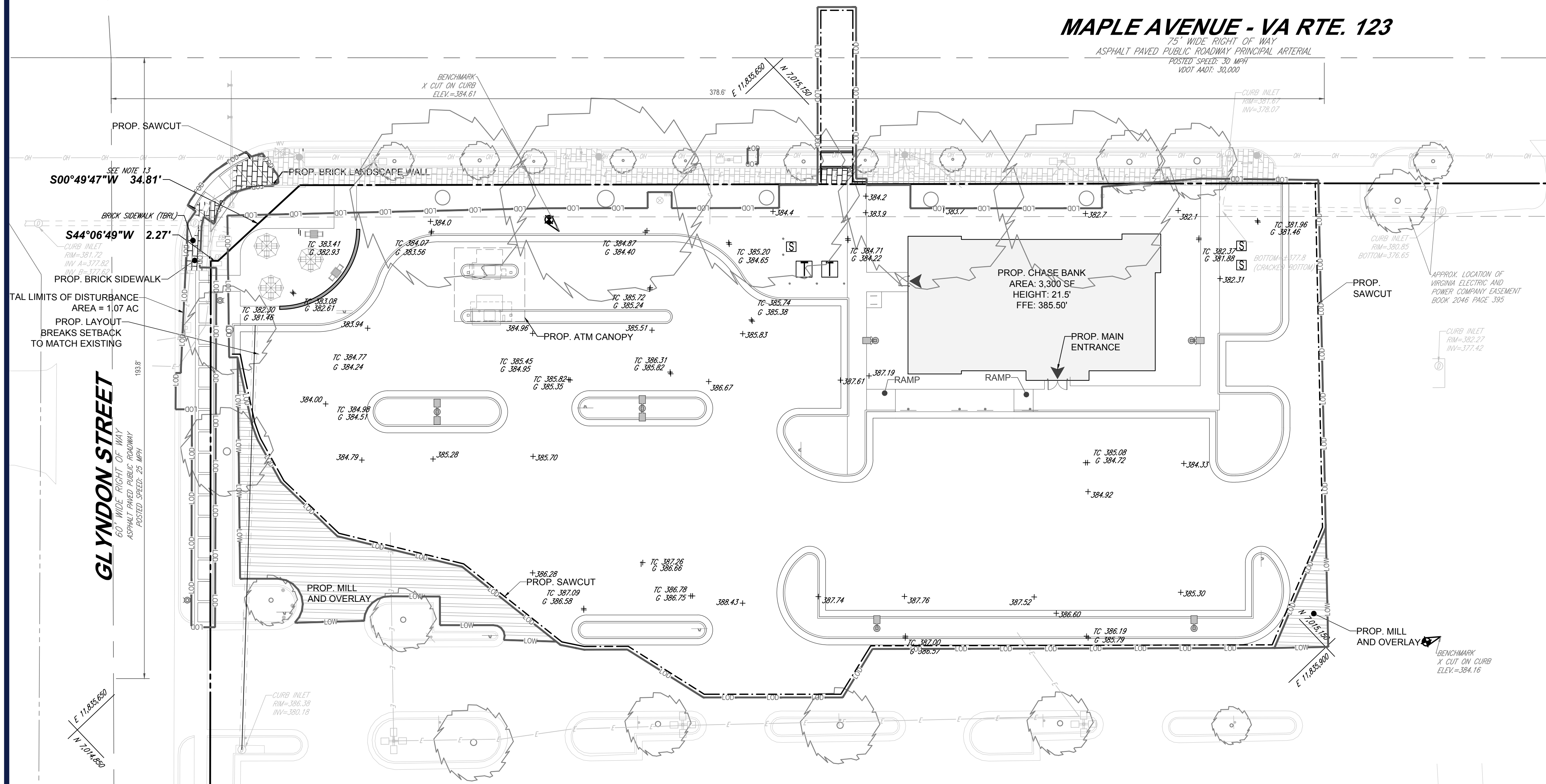


WALTER L. PHILLIPS
 INCORPORATED
 CIVIL ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
 207 PARK AVENUE FALLS CHURCH, VIRGINIA 22046
 (703) 552-6163 FAX (703) 553-1301
 WWW.WLPINC.COM



MAPLE AVENUE - VA RTE. 123

75' WIDE RIGHT OF WAY
 ASPHALT PAVED PUBLIC ROADWAY PRINCIPAL ARTERIAL
 POSTED SPEED: 30 MPH
 VDOT AADT: 30,000



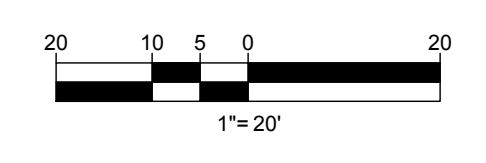
PROP. SAWCUT
 SEE NOTE 13
 S00°49'47"W 34.81'
 BRICK SIDEWALK (TBRCL)
 S44°06'49"W 2.27'
 PROP. BRICK SIDEWALK
 TOTAL LIMITS OF DISTURBANCE
 AREA = 1.07 AC
 PROP. LAYOUT
 BREAKS SETBACK
 TO MATCH EXISTING

GLYNDON STREET
 60' WIDE RIGHT OF WAY
 ASPHALT PAVED PUBLIC ROADWAY
 POSTED SPEED: 25 MPH

LIGHTING LEGEND

	2	GULLWING LED SITE LIGHT WITH HOUSE SHIELD
	2	GULLWING LED SITE LIGHT WITHOUT HOUSE SHIELD
	2	GULLWING LED SITE LIGHT BACK TO BACK ARRANGEMENT
	2	VICTORIAN LED STREET LIGHT

SEE DETAIL SHEET FOR LIGHT FIXTURE AND POLE SPECIFICATIONS



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	05/20/2021	REV PER TOWN COMMENTS	SC	TD

811
 Know what's below.
 Call before you dig.
 ALWAYS CALL 811
 It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: S202089
 DRAWN BY: SC
 CHECKED BY: CM
 DATE: 06/04/2021
 CAD ID: LGP-0

PROP. SITE PLAN DOCUMENTS
 FOR

CHASE

PROPOSED FINANCIAL INSTITUTION
 W/ DRIVE-THRU
 315 MAPLE AVE E
 TOWN OF VIENNA,
 VIRGINIA
 TAX MAP #: 0382-02-0024

BOHLER
 12825 WORLDGATE DR. SUITE 700
 HERNDON, VIRGINIA 20170
 Phone: (703) 709-9500
 Fax: (703) 709-9501
 VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
 TRAVIS W. D'AMICO
 Lic. No. 048497
 06/04/2021
 PROFESSIONAL ENGINEER

SHEET TITLE:
LIGHTING PLAN

SHEET NUMBER:
C-707

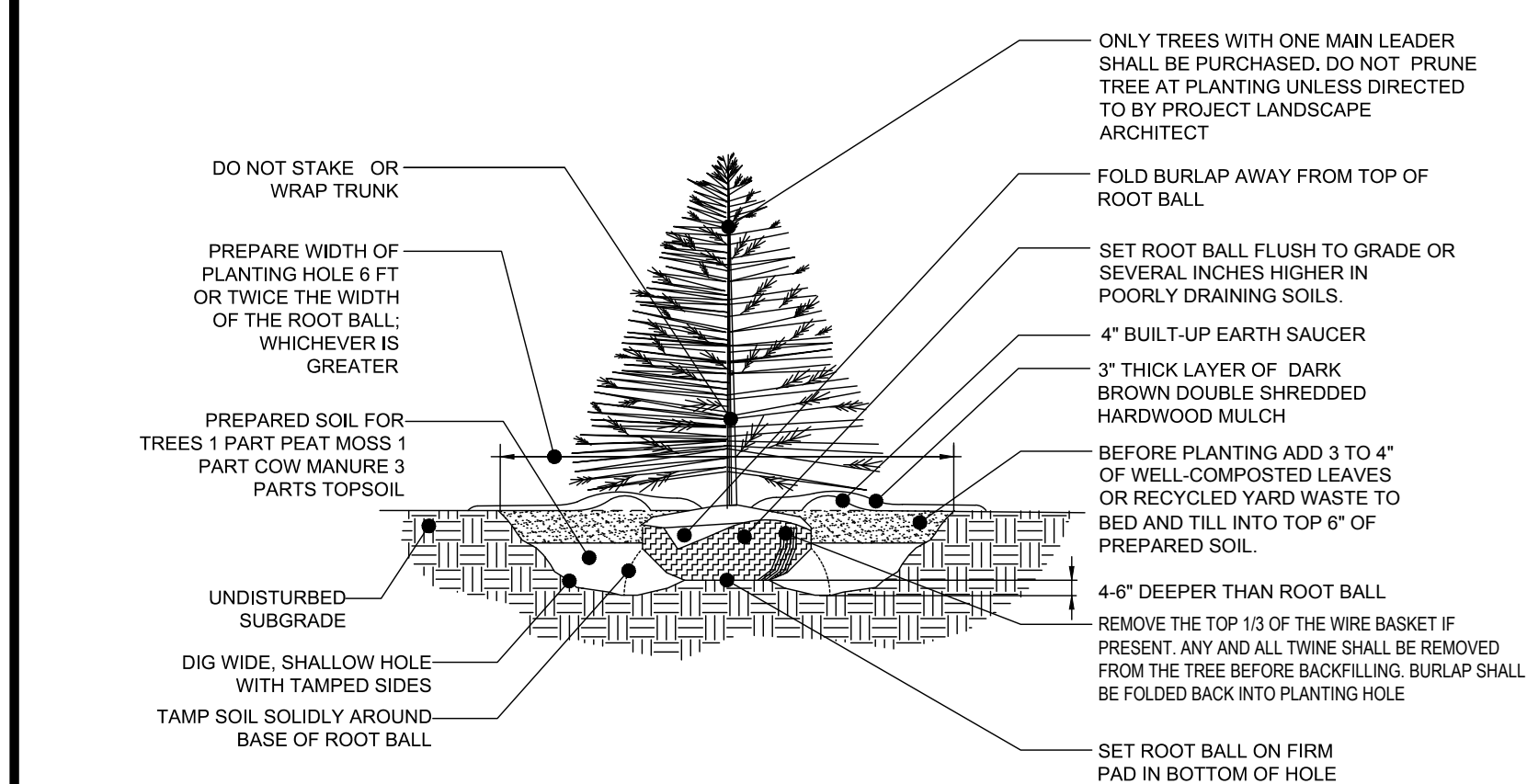
REVISION 1 - 05/20/2021

LANDSCAPE SPECIFICATIONS

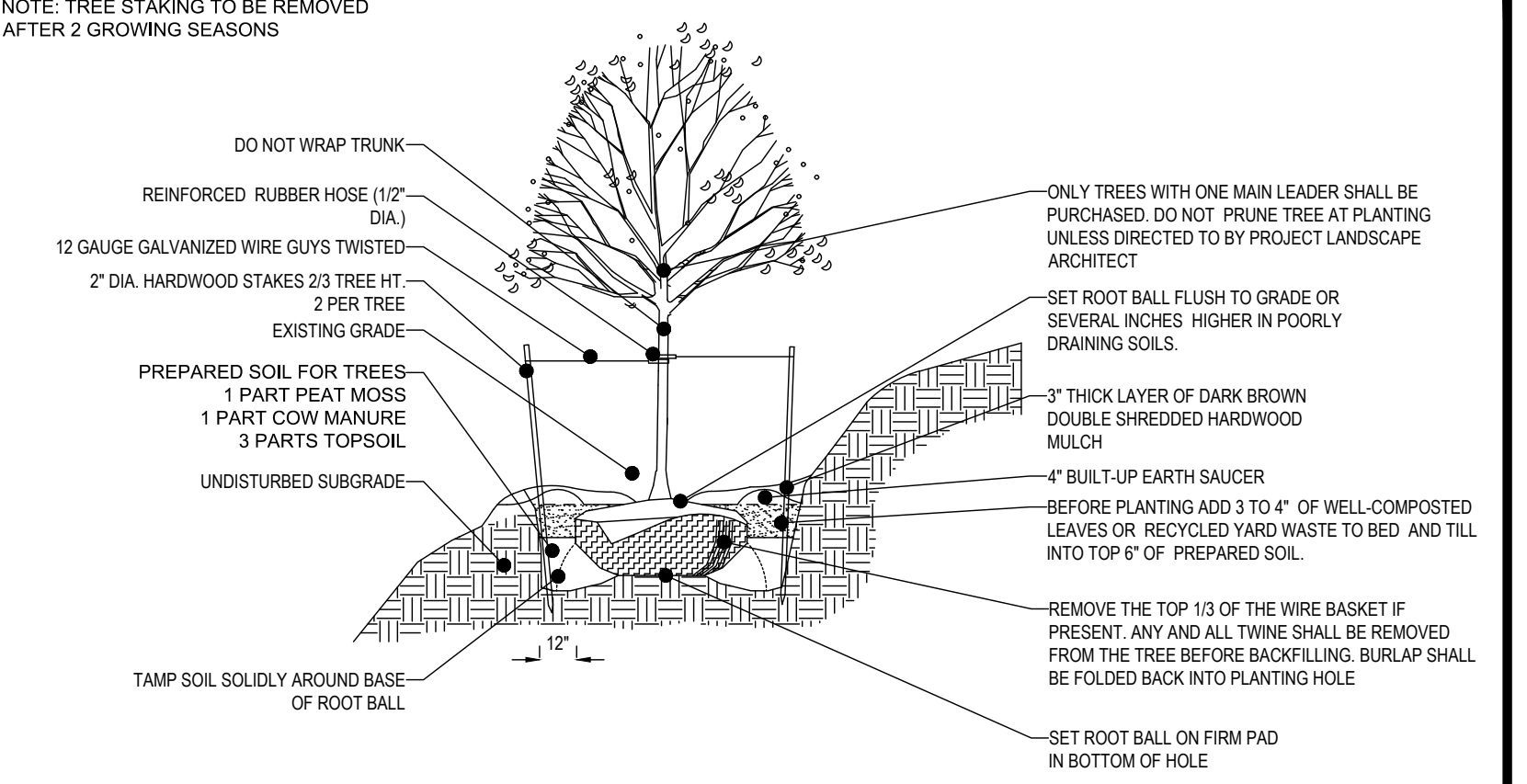
- SCOPE OF WORK:** THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- MATERIALS**
 - GENERAL** - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
 - TOPSOIL** - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
 - LAWN** - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
 - LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED
 - SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS.
 - SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
 - MULCH** - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED DARK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
 - FERTILIZER**
 - FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
 - FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - PLANT MATERIAL**
 - ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 - IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
 - PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
 - TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL BE MONITORED ON A WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
 - ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
 - CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
 - SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
 - TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
- GENERAL WORK PROCEDURES**
 - CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
 - WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- SITE PREPARATIONS**
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
 - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT, ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
 - CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
- TREE PROTECTION**
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
 - A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VISI-FENCE, OR APPROVED EQUIV, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
 - WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
 - AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
- SOIL MODIFICATIONS**
 - CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
 - THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
 - TO INCREASE DRAINAGE, MOODY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- FINISHED GRADING**
 - UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
 - LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS SPECIFIED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
- TOPSOILING**
 - CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
 - ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
 - ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA).
 - 20 POUNDS GROW POWER OR APPROVED EQUAL
 - 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP
 - THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

- PLANTING**
 - INSOFARE THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
 - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
 - ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
 - ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
 - POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
 - PLANTS: MARCH 15 TO DECEMBER 15
 - LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
 - PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
 - FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPORT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON.

ACER RUBRUM	PLATANUS X ACERIFOLIA
BETULA VARIETIES	POPULUS VARIETIES
CARPINUS VARIETIES	PRUNUS VARIETIES
CRATAEGUS VARIETIES	PYRUS VARIETIES
KOELFUERIA	QUERCUS VARIETIES
LIQUIDAMBAR STYRACIFLUA	TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA	ZELKOVA VARIETIES



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



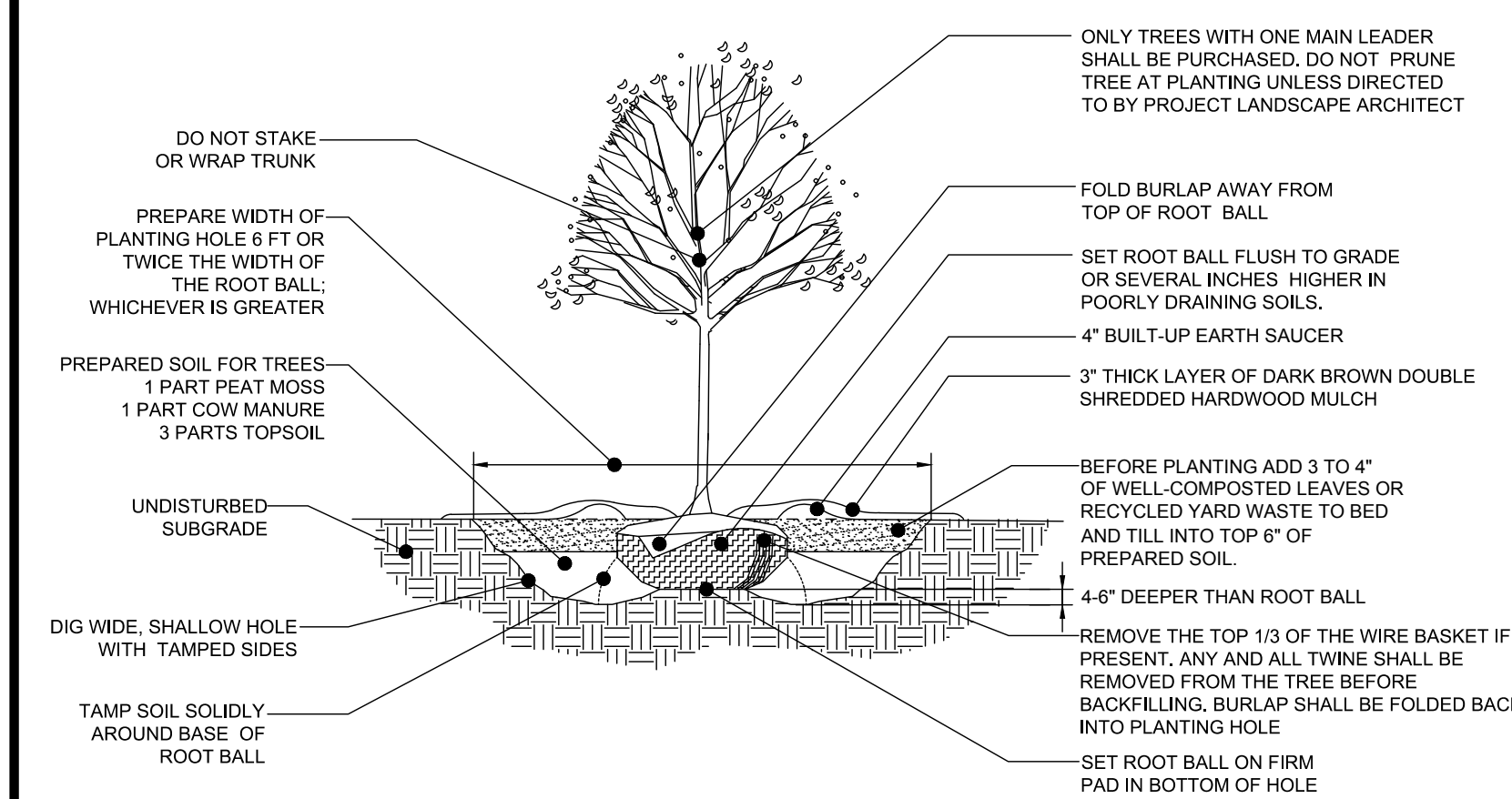
TREE PLANTING ON SLOPE DETAIL
NOT TO SCALE

SEEDING SPECIFICATIONS

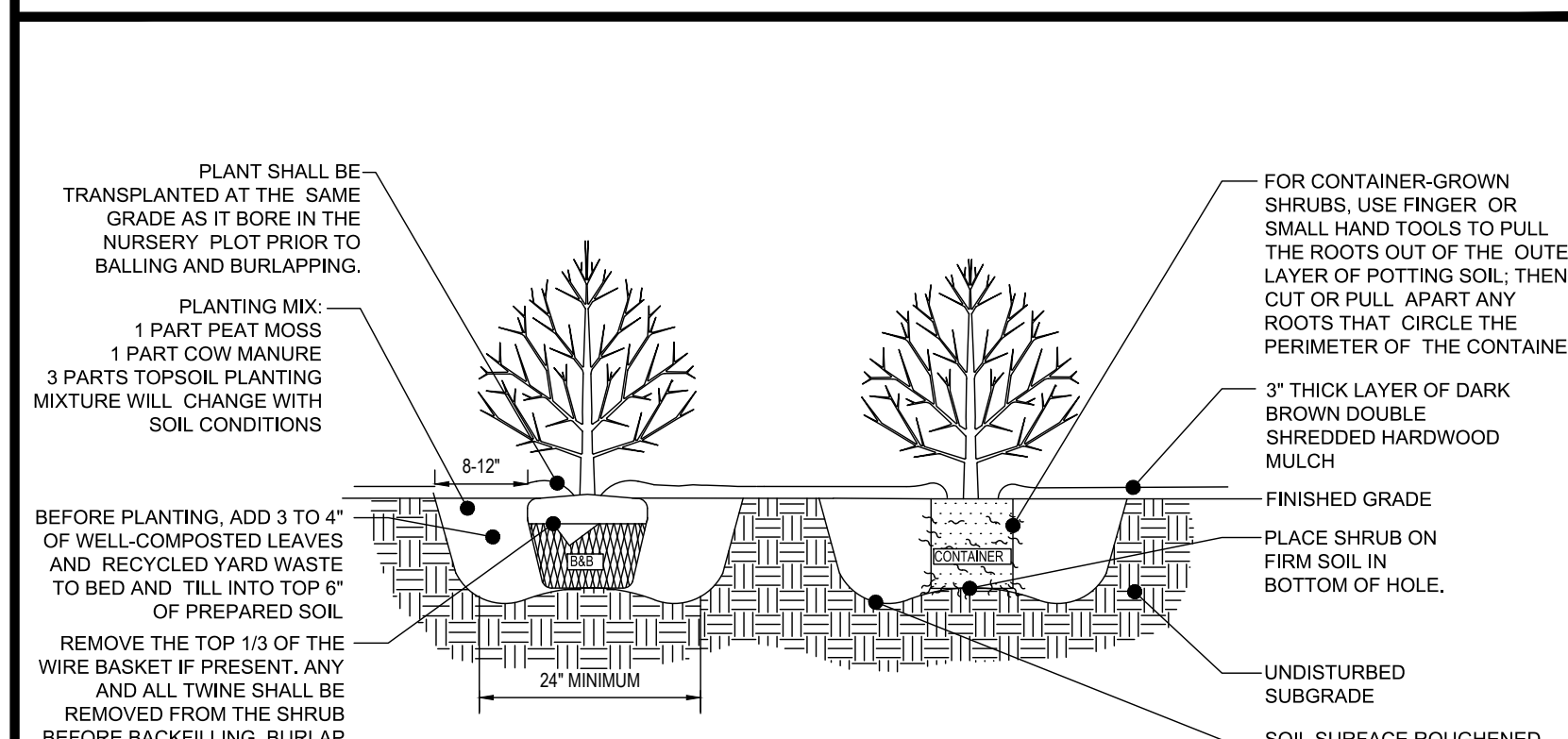
- MATERIAL:**
 - SEED MIXTURE MUST BE COMPRISED OF THE FOLLOWING VARIETIES AND AT THE SPECIFIED COMPOSITION:
 - 80% - TURF TYPE TALL FESCUE SEED
 - 10% - KENTUCKY BLUEGRASS SEED
 - 10% - ANNUAL RYE GRASS SEED
 - INSTALLATION RATES:
 - SEED: LAWN SEED SHOULD BE APPLIED AT A RATE OF 7 LBS/1,000 SF
 - LINE: AGRICULTURAL OR PELLETED LINE SHOULD BE APPLIED AT SPECIFIED RATE ACCORDING TO SOIL ANALYSIS OR 2,000 LBS PER ACRE (4 LBS/1,000 SF) IF NO SOIL ANALYSIS IS PERFORMED.
 - FERTILIZER: COMMERCIAL GRADE 12-20-12 SHOULD BE APPLIED AT A RATE OF 250 LBS PER ACRE (8.8 LBS/1,000 SF)
 - LIQUID OR DRY LIME: LIQUID LIME SHOULD BE APPLIED AT A RATE OF 2.5 GALLONS PER ACRE OR NEUTRA LIME DRY APPLIED AT A RATE OF 80 LBS PER ACRE IN AREAS OF ACIDIC SOILS TO ASSURE GERMINATION AND INITIAL ESTABLISHMENT.
 - MULCH: WHEAT, OAT, OR BARLEY STRAW MULCH SHALL BE APPLIED AT A RATE OF 80 LBS PER 1,000 SF. DO NOT INSTALL MULCH SO THICK THAT IT COMPLETELY COVERS THE GROUND. TOPSOIL SHOULD BE VISIBLE THROUGH THE STRAW LAYER.
- EXECUTION AND PREPARATION:**
 - A SOIL ANALYSIS SHOULD BE PERFORMED TO ASSESS THE FERTILITY NEEDS AND PH OF THE SOIL. ALL INSTALLATION AREAS SHOULD BE PREPARED TO AGRICULTURAL STANDARD RECOMMENDED BY THE DEPARTMENT OF AGRICULTURE WITHIN THE STATE WHERE THE WORK IS BEING PERFORMED. AGRICULTURAL LIME OR PELLETED LIME SHOULD BE ADDED DURING THE GROUND PREPARATION STAGE AT THE RATE RECOMMENDED ACCORDING TO SOIL ANALYSIS.
 - ALL WEEDS AND UNDESIRABLE PLANTS SHOULD BE REMOVED BEFORE PLANTING BY METHOD OF SPRAYING OR TILLAGE. A NON-SELECTIVE HERBICIDE CAN BE SPRAYED ONE MONTH PRIOR TO PLANTING TO KILL ALL WEEDS AND UNDESIRABLE PLANTS THAT MAY COMPETE WITH THE NEW SEEDLINGS. TILLAGE CAN BE PERFORMED AT LEAST 4 WEEKS PRIOR TO PLANTING AND AGAIN 2 WEEKS AFTER THE INITIAL TILLAGE. THE TILLAGE PROCEDURE CAN BE ADVANTAGEOUS IF LARGE AMOUNTS OF ORGANIC DEBRIS ARE PRESENT ON THE INSTALLATION AREAS.
 - AREAS TO BE PLANTED SHOULD BE ROLLED WITH A GULI-PACKER, TURF ROLLER, OR SIMILAR DEVICE TO FIRM THE SEEDBED. THIS PROCESS HELPS ACHIEVE THE DESIRED FIRMNESS. SOIL SHOULD BE FIRMED TO 85% OF COMPACTION.
- INSTALLATION:**
 - STRICTLY COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
 - EQUIPMENT USED TO SPREAD SEED SHOULD HAVE SUFFICIENT CAPACITY TO HOLD AND AGITATE SEED EVENLY IN A CYCLONE OR DROP PATTERN. HYDROSEEDING MAY ALSO BE PERFORMED WITH THE ENGINEER/ARCHITECT'S APPROVAL.
 - SEED MAY NEED TO BE APPLIED AT A HALF RATE IN ALTERNATING DIRECTIONS TO ENSURE AN EVEN COVERAGE OF SEED.
 - LIQUID LIME OR NEUTRA LIME DRY SHOULD BE TOPICALLY APPLIED TO AREAS WITH ACIDIC SOILS TO ASSIST THE SEED GERMINATION AND VEGETATION GROWTH DURING THE FIRST 90 DAYS. LIQUID LIME SHOULD BE APPLIED AT A RATE OF 2.5 GALLONS PER ACRE OR NEUTRA LIME DRY AT A RATE OF 80 LBS PER ACRE. FERTILIZER SHOULD BE SPREAD EVENLY OVER THE SEEDING AREAS AT THE RECOMMENDED RATE DETERMINED BY THE INITIAL SOIL ANALYSIS. IF NO SOIL ANALYSIS IS AVAILABLE EVENLY APPLY 12-20-12 STARTER FERTILIZER AT A RATE OF 250 LBS PER ACRE (8.8 LBS/1,000 SQUARE FEET).
 - A ROLLED EROSION CONTROL PRODUCT CAN BE APPLIED OVER THE TOP OF SEED IN STEEP SLOPE SITUATIONS TO HELP PREVENT SEED FROM WASHING AND REINFORCE VEGETATION THROUGH ESTABLISHMENT. (FOLLOW REC PRODUCT MANUFACTURER RECOMMENDATIONS.)
- MAINTENANCE**
 - FREQUENT LIGHT IRRIGATION WILL NEED TO BE APPLIED TO SEEDING AREAS IF NO NATURAL RAIN EVENTS HAVE OCCURRED WITHIN 2 WEEKS OF SEEDING. AFTER SEED GERMINATION HAS OCCURRED AND PLANTS ARE VISIBLE THE FREQUENCY OF IRRIGATION CAN BE CUT BACK WITH HEAVIER APPLICATION RATES.
 - REPAIR ALL SEED WASHINGS AND EROSION.

TENANT MAINTENANCE RESPONSIBILITIES

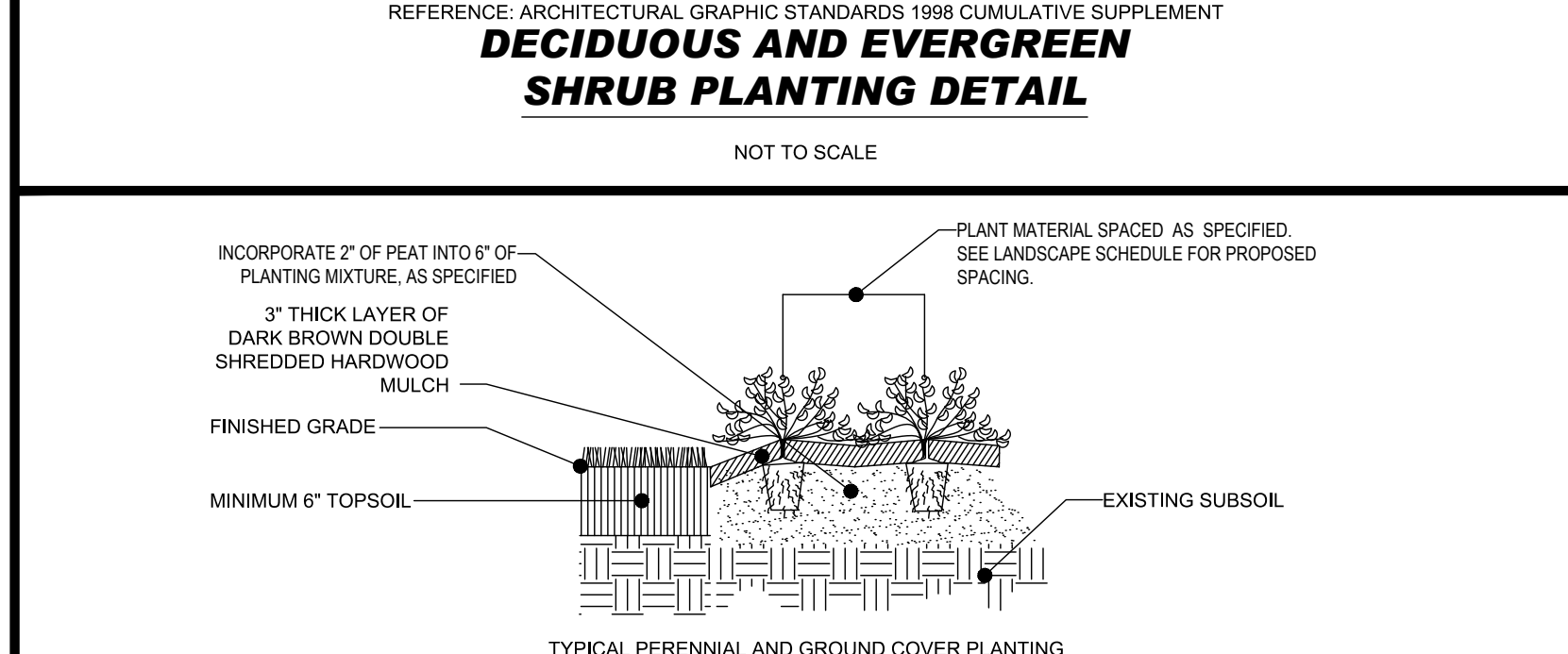
- UPON OWNERS (OR OWNER CONTRACTORS) COMPLETION OF LANDSCAPING WORK, CHASE BANK IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING WITHIN THE LEASE LIMITS, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPE AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:
- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
 - TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. FROM (ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
 - VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
 - FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.
- THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE



PERENNIAL/GROUND COVER PLANTING DETAIL
NOT TO SCALE

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PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS					
REV	DATE	COMMENT	PER REVIEW TOWN COMMENTS	SC	TD
1	05/20/2021				

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PROJECT No.:	S202098
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CAD ID:	SSD-0

PROP. SITE PLAN DOCUMENTS



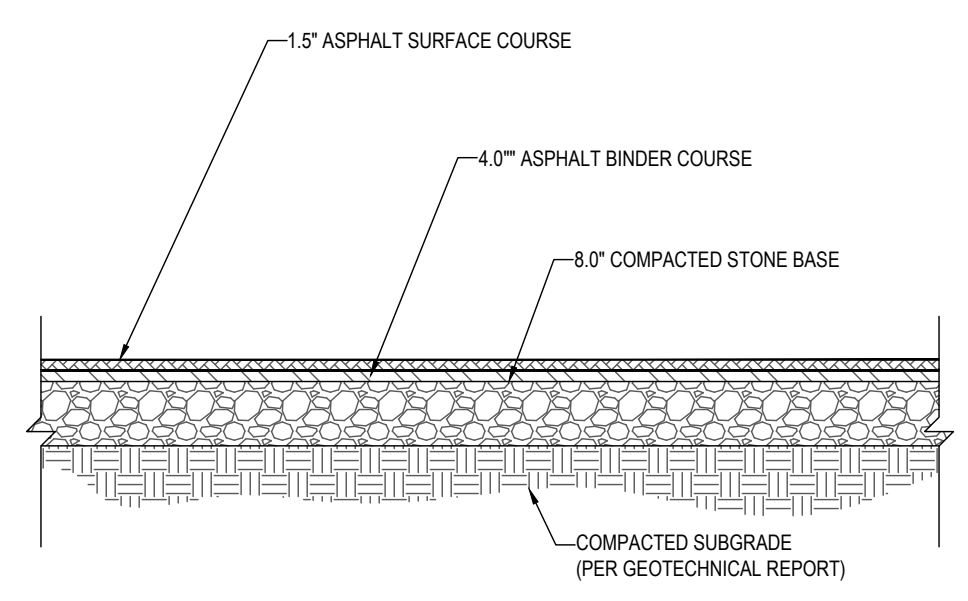
PROPOSED FINANCIAL INSTITUTION
W/ DRIVE-THRU
315 MAPLE AVE E
TOWN OF VIENNA,
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06/04/2021
PROFESSIONAL ENGINEER

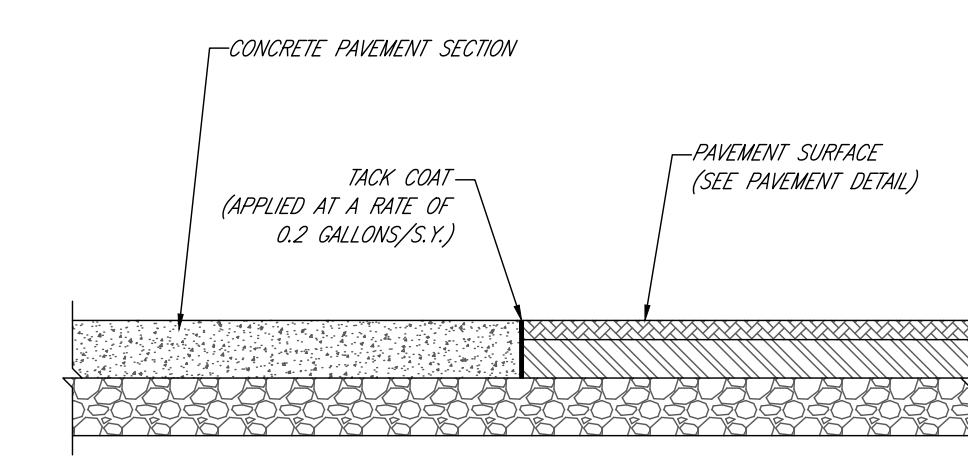
SHEET TITLE:
LANDSCAPE DETAILS
SHEET NUMBER:
C-706

REVISION 1 - 05/20/2021

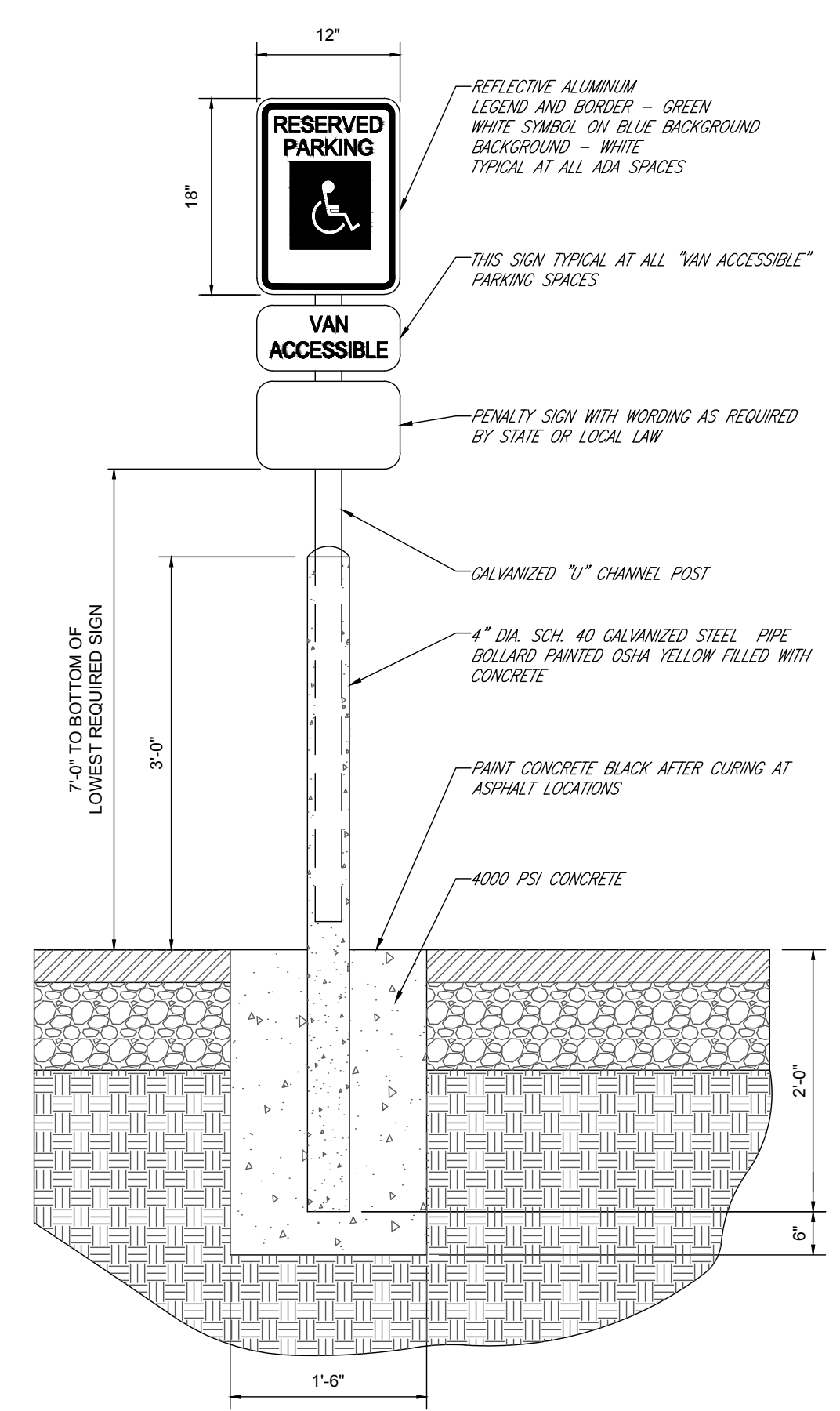


NOTE:
1. SECTION SHOWN IS BASED ON ASSUMED VALUES. FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

HEAVY DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

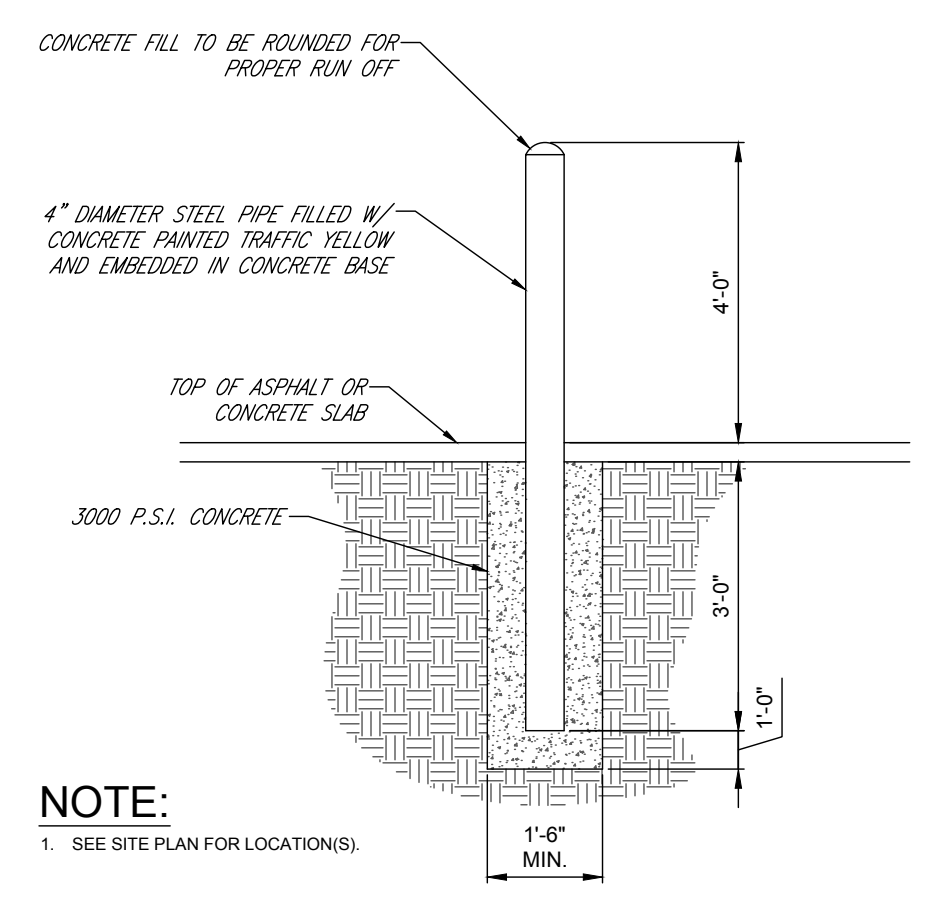


CONCRETE-TO-ASPHALT DETAIL
NOT TO SCALE



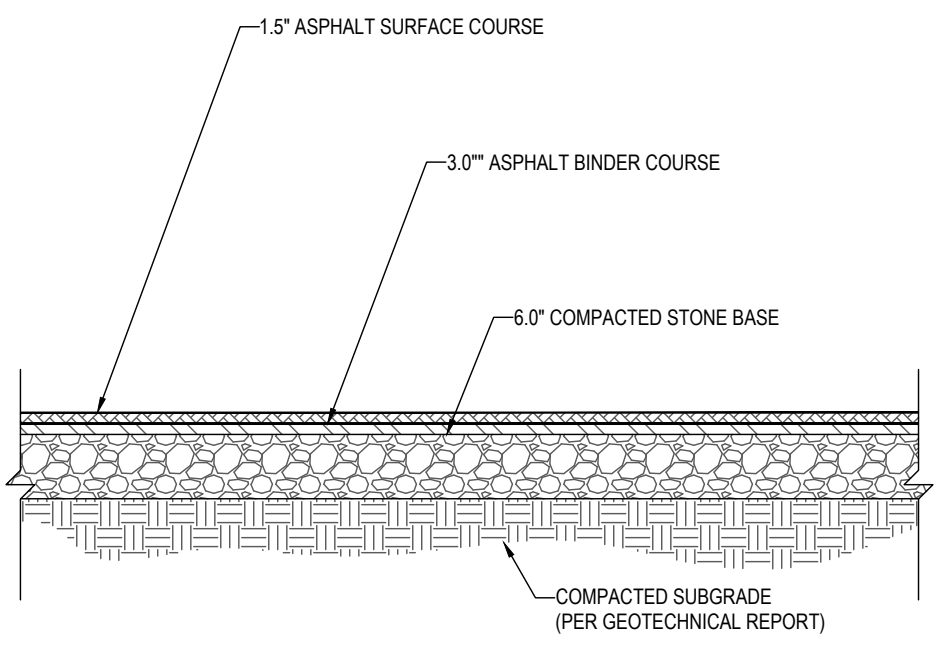
NOTE:
ONE AT EACH ADA SPACE. WHERE ADA SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES

BOLLARD MOUNTED ADA PARKING SIGN DETAIL
NOT TO SCALE



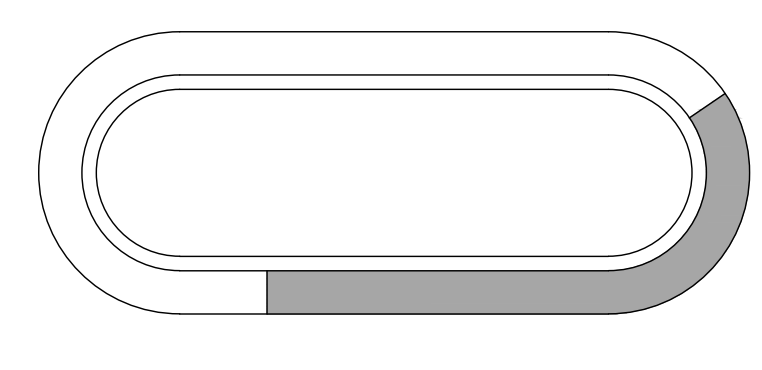
NOTE:
1. SEE SITE PLAN FOR LOCATIONS.

BOLLARD DETAIL
NOT TO SCALE

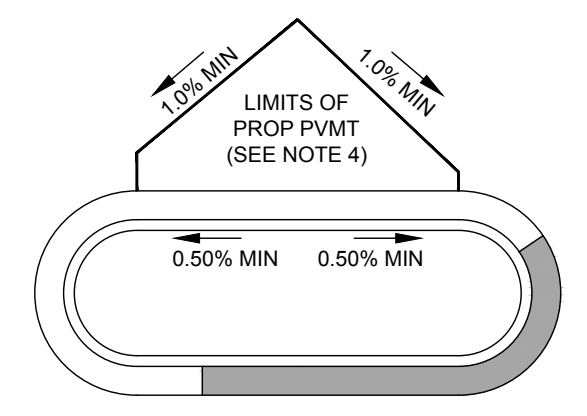


NOTE:
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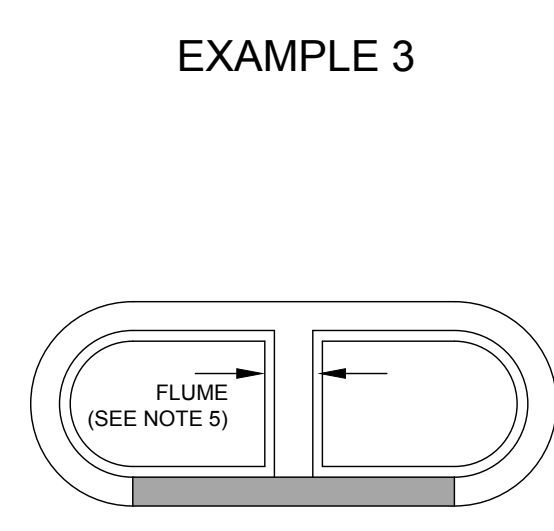
STANDARD DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE



EXAMPLE ONE
NOT TO SCALE

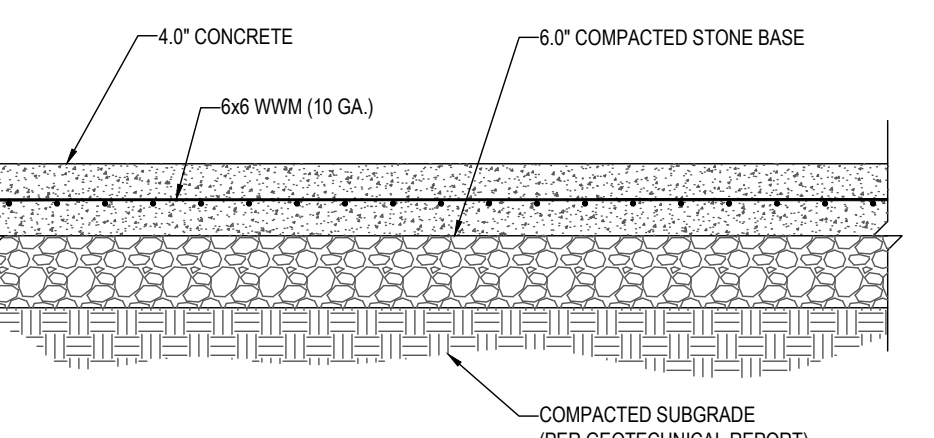


EXAMPLE TWO
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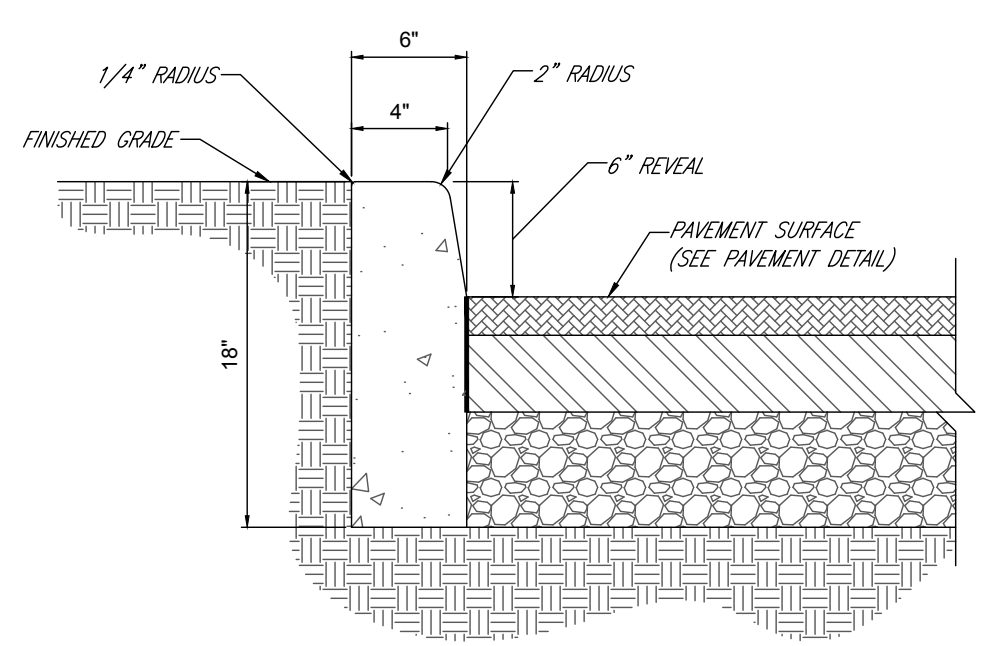
EXAMPLE THREE
NOT TO SCALE

NOTES:
1. CONTRACTOR TO INSTALL CURBS AND GUTTER AT ELEVATION OF EXISTING PAVEMENT (ELEVATION AT EDGE OF GUTTER PAN MATCHES ELEVATION AT EXISTING PAVEMENT, UNLESS PLANS AND/OR SCHEMATICS INDICATE DIFFERENTLY).
2. CONTRACTOR TO PROVIDE GUTTER PANS (COLLECTOR/SPILL) PER GRADING PLAN. SHADED GUTTER PAN REPRESENTS FULL SPILL SECTION, NON-SHADED IS COLLECTOR. CONTRACTOR TO PROVIDE 3 FOOT TRANSITIONS BETWEEN SPILL AND COLLECTOR SECTIONS.
3. PLAN INTENT IS TO PROVIDE A MINIMUM SLOPE OF 0.50% ALONG COLLECTOR CURBS. IF FIELD CONDITIONS AND/OR PLAN REPRESENTATION DOES NOT PROVIDE MINIMUM SLOPE REQUIREMENTS, CONTRACTOR IS TO CONTACT ENGINEER PRIOR TO POURING CURBS AND GUTTER. BOHLER SHALL BE HELD HARMLESS FOR ANY CURBS AND GUTTER POURED THAT DOES NOT MEET MINIMUM REQUIREMENTS.
4. IN THOSE SITUATIONS WHERE RE-GRADING OF PARKING AND PAVEMENT REMOVAL IS NECESSARY (SEE EXAMPLE 2), THE CONTRACTOR IS TO VERIFY THAT THE RESULTANT GRADIENT AT THE HIGH SIDE OF THE ISLAND PROVIDES 1% PAVEMENT SLOPE, PER PLAN INTENT.
5. IN ISLANDS WHERE FLUMES ARE INDICATED, THE CONTRACTOR SHALL PROVIDE A FLAT BOTTOMED FLUME AT THE SPECIFIED WIDTH. MINIMUM FLUME SLOPE SHALL BE 0.50%.



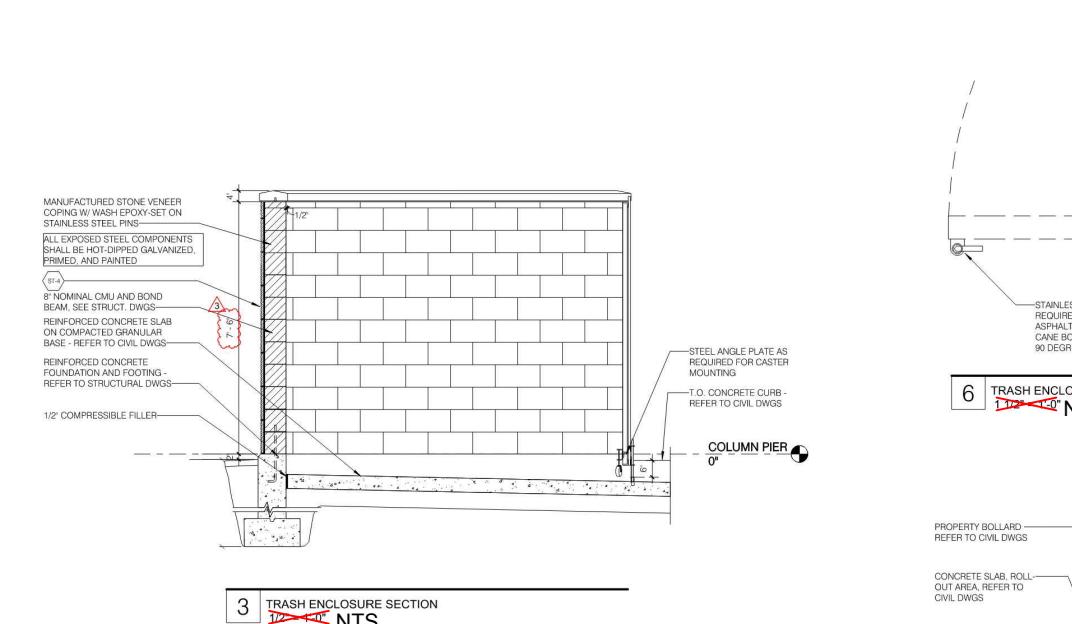
NOTE:
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HEAVY DUTY CONCRETE SECTION
NOT TO SCALE

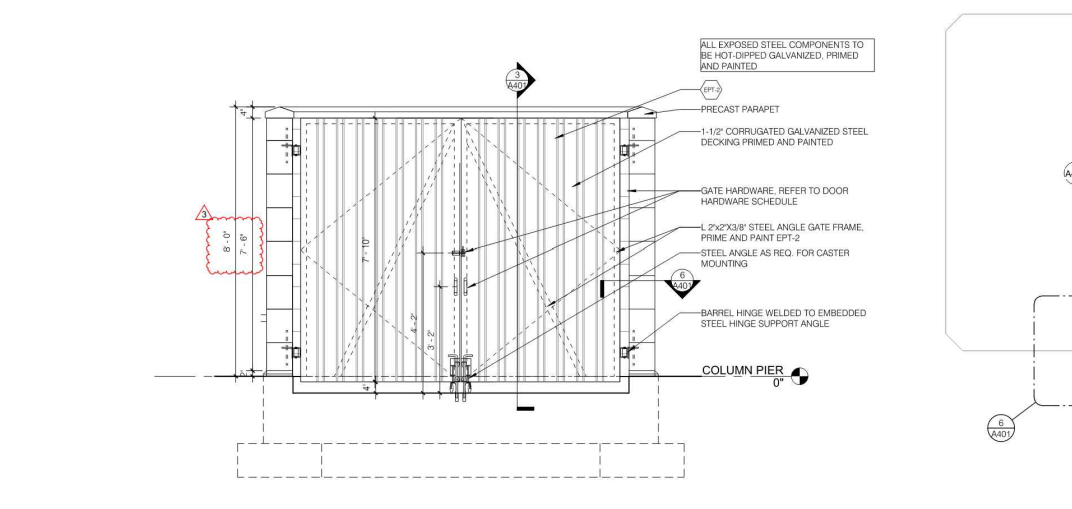


NOTES:
1. EXPANSION JOINTS TO BE INSTALLED AT 20' INTERVALS.
2. THIS ITEM MAY BE PRECAST OR CAST IN PLACE.
3. CONCRETE TO BE CLASS A3 IF CAST IN PLACE OR 4000 P.S.I. IF PRECAST.

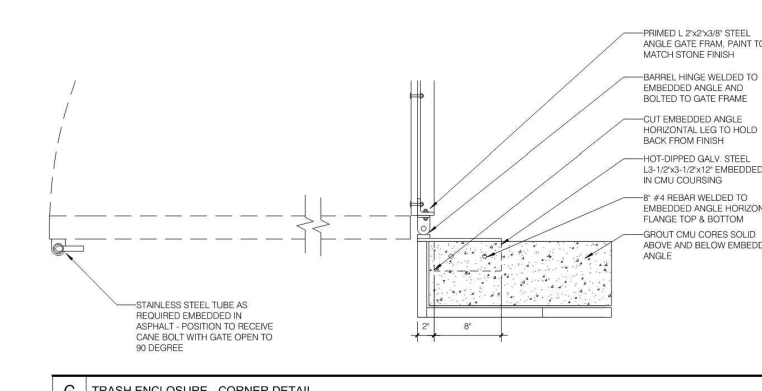
HEADER CURB DETAIL
NOT TO SCALE



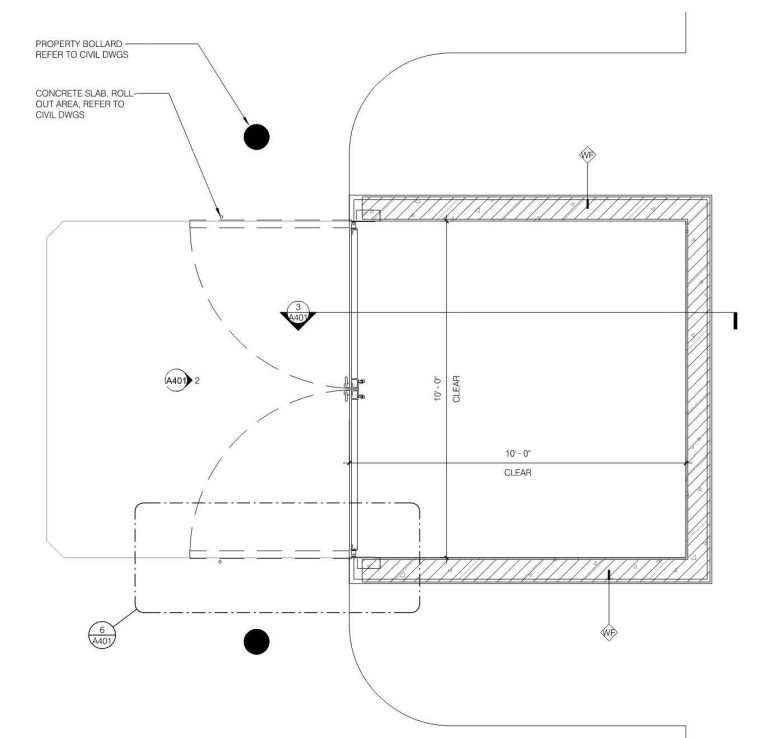
3 ELEVATION OF TRANSFER ENCLOSURE WEST



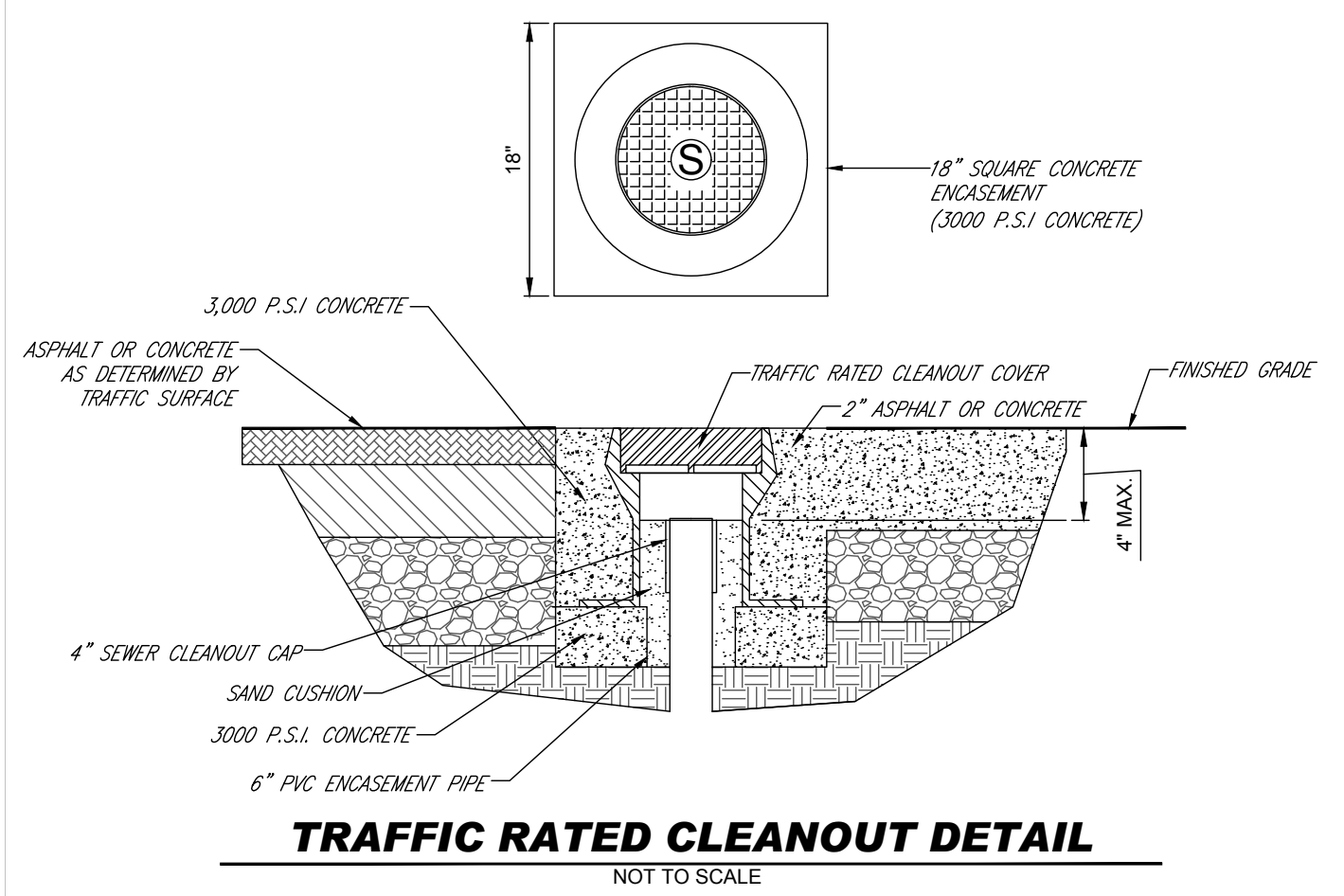
2 ELEVATION OF TRANSFER ENCLOSURE WEST



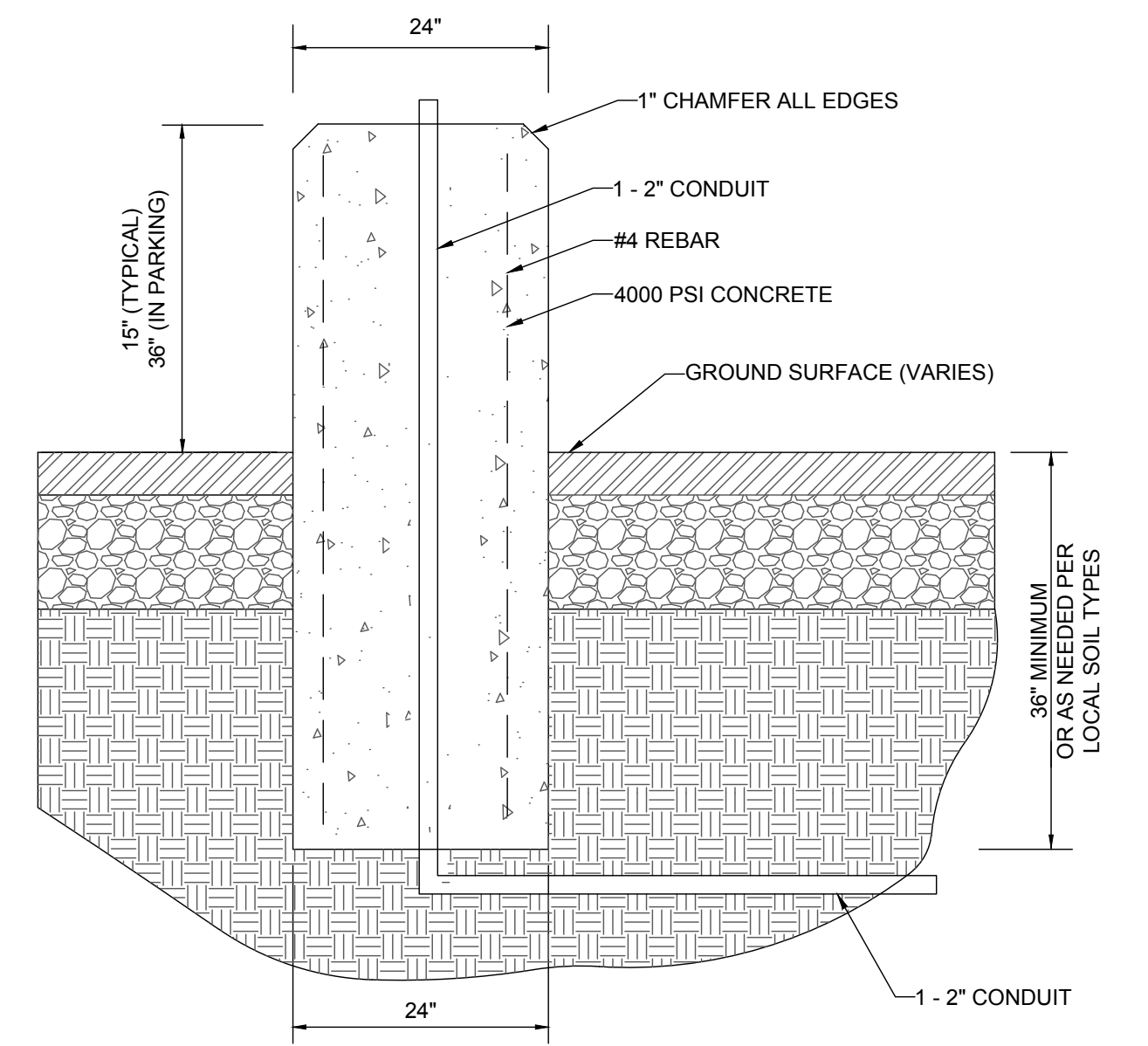
6 TRANSFER ENCLOSURE - CORNER DETAIL



1 TRANSFER ENCLOSURE PLAN



TRAFFIC RATED CLEANOUT DETAIL
NOT TO SCALE



NOTE:
THIS DETAIL SERVES AS A GUIDELINE ONLY. STRUCTURAL ENGINEER TO DESIGN AND PROVIDE DOCUMENTATION FOR FINAL LIGHT POLE BASE DESIGN.

CONCRETE LIGHT POLE BASE
NOT TO SCALE

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DRAWN BY: SC
CHECKED BY: CM
DATE: 06/04/2021
CAD ID: SSD-0

PROJECT:
PROP. SITE PLAN DOCUMENTS
FOR
CHASE
PROPOSED FINANCIAL INSTITUTION W/ DRIVE-THRU
315 MAPLE AVE
TOWN OF VIENNA, VIRGINIA
TAX MAP # 0382-02-0024

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VA@BohlerEng.com

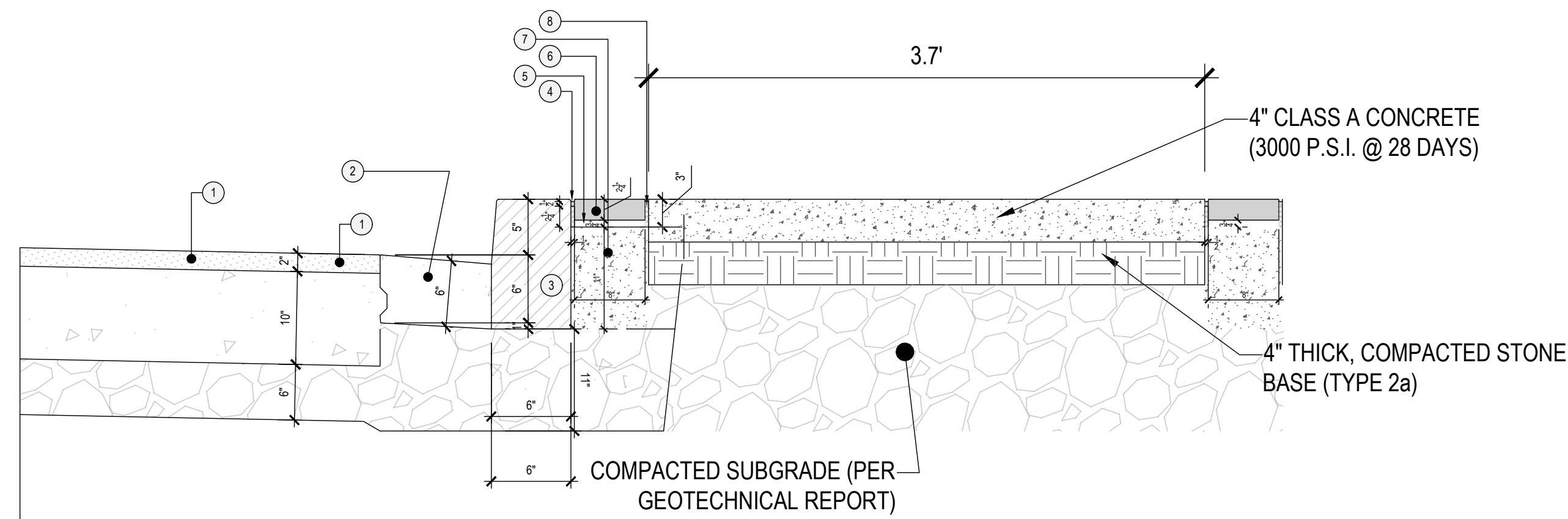
COMMONWEALTH OF VIRGINIA
TRAVIS W. D'AMICO
Lic. No. 048497
06/04/2021
PROFESSIONAL ENGINEER

SHEET TITLE:
SITE DETAILS

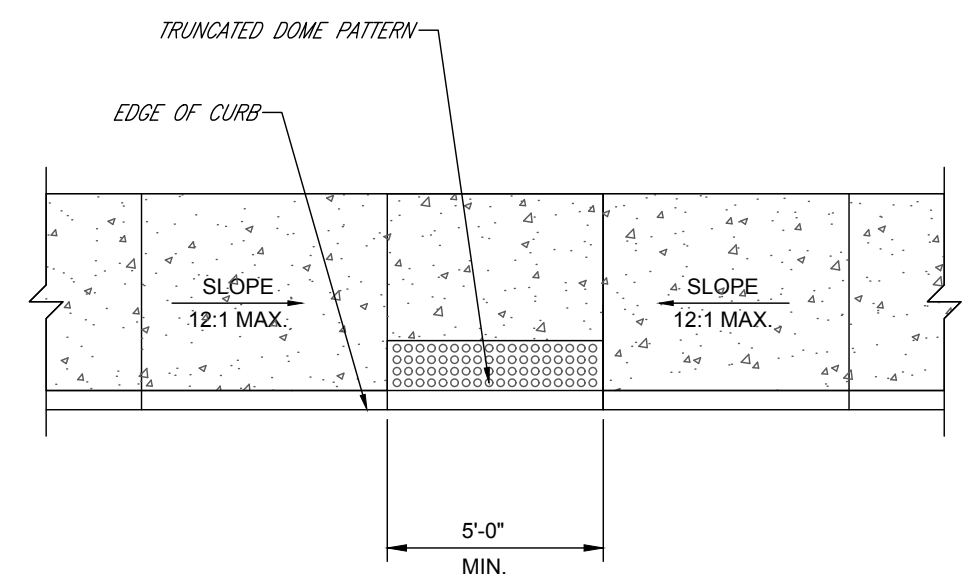
SHEET NUMBER:
C-1001

REVISION 1 - 05/20/2021

DETAIL KEY	
KEY	DESCRIPTION
1	EXISTING RIGHT-OF-WAY ASPHALT
2	24" WIDE EXISTING CONCRETE GUTTER PAN
3	EXISTING 6" THICK CONCRETE CURB
4	SEALANT AND PREFORMED EXPANSION JOINT
5	3/4" SAND SETTING BED
6	BRICK PAVER RED BLEND TO MATCH EXISTING
7	CONCRETE BASE
8	3/4" SAND SWEEP JOINT

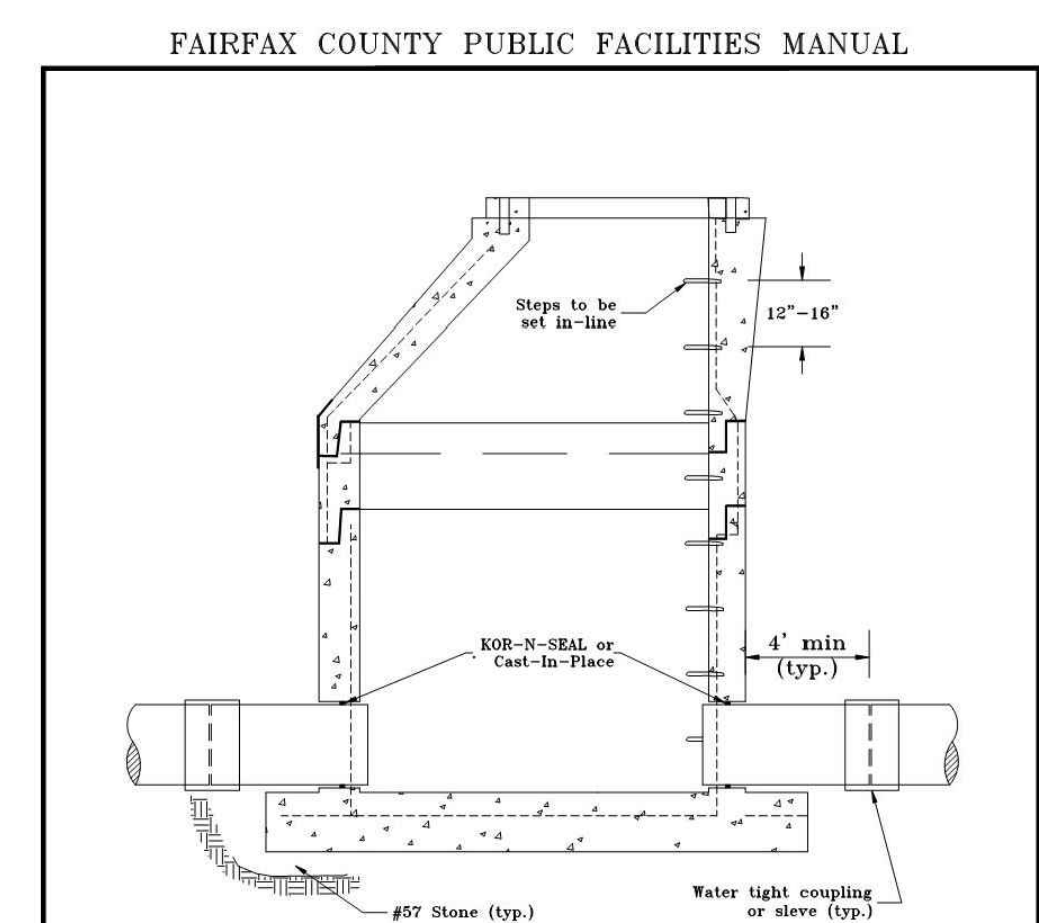


BRICK BANDED SIDEWALK CROSS-SECTION VIEW



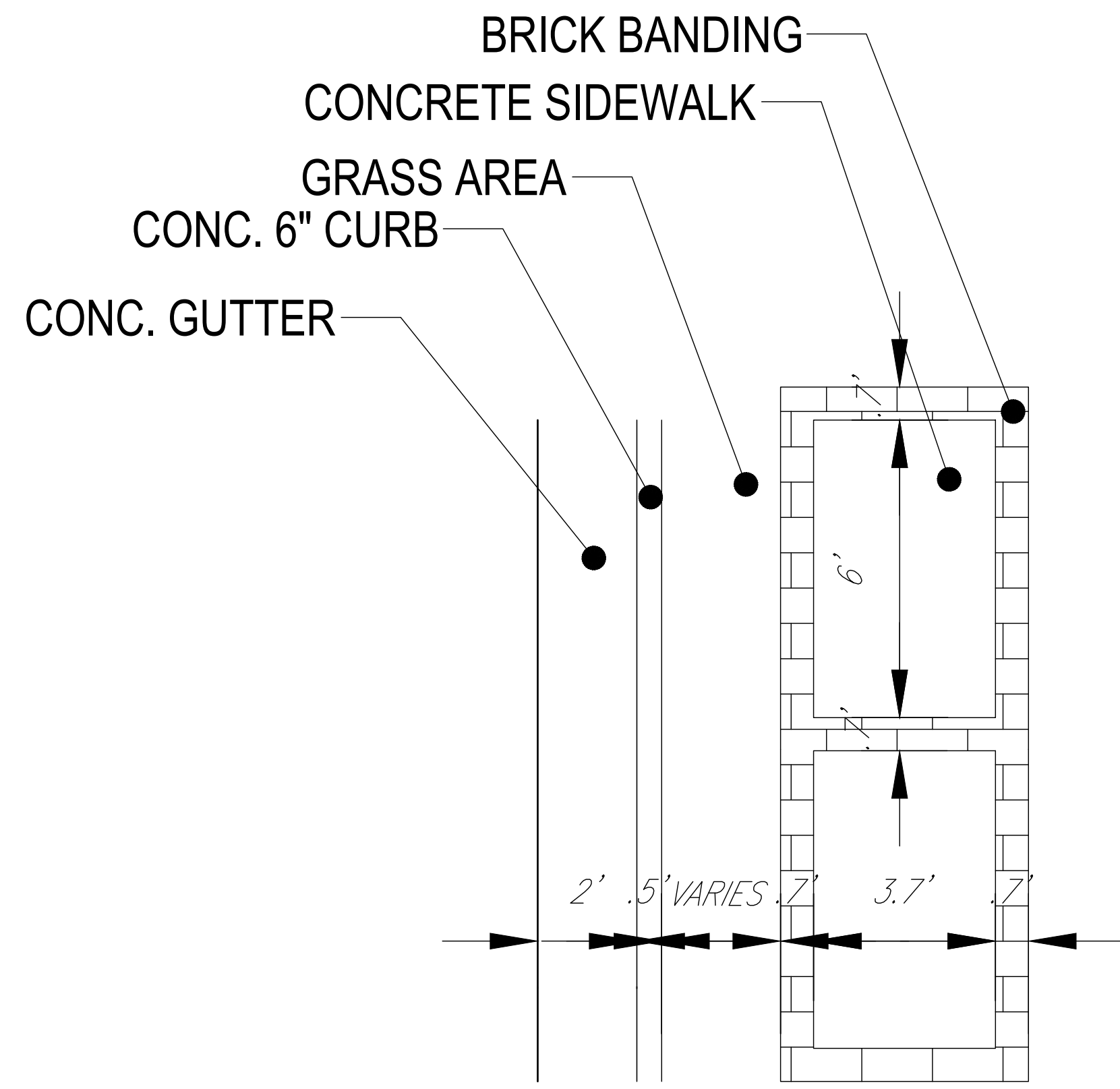
NOTE:
ADA ACCESSIBLE RAMP CONSTRUCTION SHALL CONFORM TO CURRENT ADA ACCESSIBLE GUIDELINES.

ADA ACCESSIBLE RAMP DETAIL
NOT TO SCALE



NOTES:
1. Contractor must have adequate equipment to pump around existing line while manhole is cut in.
2. Concrete to be Class A-L.
3. All reinforcing steel to meet the current requirements of ASTM Spec. A-814.
4. Manhole sections to meet the current requirements of ASTM Spec. C-478.
5. Tapered joint with O-Ring Gasket, or single offset joint with rubber gasket, to meet current requirements of ASTM Spec. C-413.
6. MB sections to be cast in the base a min. of 2 inch.
7. Joint configuration may be cast bell-up or spigot-up.
8. Holes in precast units are to be 4 inch min. 8 inch max. larger than the outside dia. of the proposed pipe.
9. Base section to provide min. 6 inch opening and bottom of bell and spigot joint.

Rev. 10-20	PRECAST CONCRETE CUT-IN MANHOLE NOT TO SCALE	PLATE NO. 5-10
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BRICK BANDED SIDEWALK PLAN VIEW

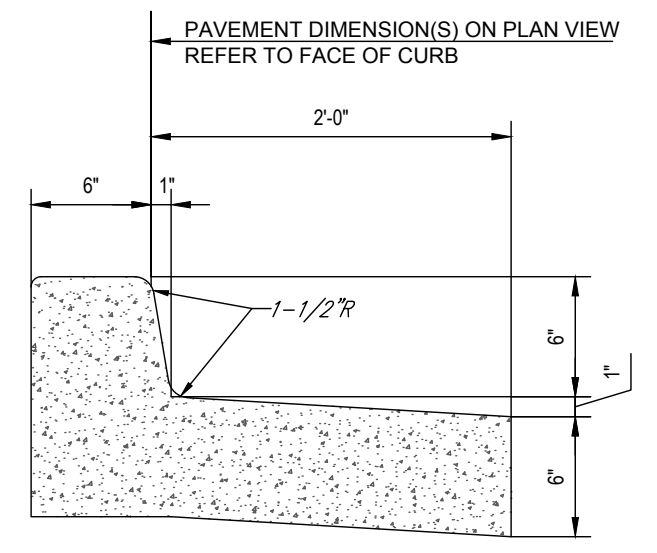
**DEPARTMENT OF PUBLIC UTILITIES
DOMESTIC WATER METER SIZING FORM**

Project Name: JP Morgan Chase Maple Ave. Bank Branch
Address: 315 Maple Ave. E
Vienna, VA 22180
Type of Occupancy: Mercantile

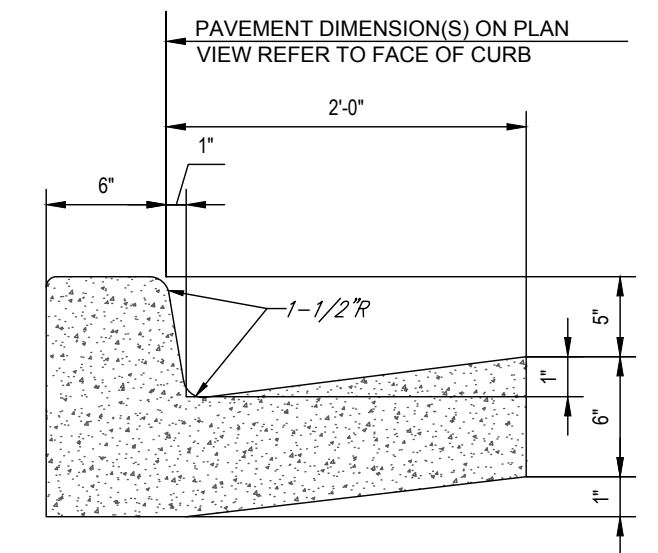
Fixture	Fixture Value 35 psi	No. of Fixtures	Fixture Value
Bathtub	8	X	=
Bedpan Washers	10	X	=
Combination Sink and Tray	3	X	=
Dental Unit	1	X	=
Dental Lavatory	2	X	=
Drinking Fountain - Cooler	1	X	1
- Public	2	X	=
Kitchen Sink - 1/2" Connection	3	X	=
- 3/4" Connection	7	X	7
Lavatory - 3/8" Connection	2	X	4
- 1/2" Connection	4	X	=
Laundry Tray - 1/2" Connection	3	X	=
- 3/4" Connection	7	X	=
Shower Head (Shower Only)	4	X	=
Service Sink - 1/2" Connection	3	X	=
- 3/4" Connection	7	X	7
Urinal - Pedestal Flush Valve	35	X	=
- Wall Flush Valve	12	X	=
- Trough (2 ft. Unit)	2	X	=
Wash Sink (Each Set of Faucets)	4	X	=
Water Closet - Flush Valve	35	X	=
- Tank Type	3	X	6
Dishwasher - 1/2" Connection	4	X	=
- 3/4" Connection	10	X	=
Washing Machine - 1/2" Connection	5	X	=
- 3/4" Connection	12	X	=
- 1" Connection	25	X	=
Hose Connection (Wash Down) - 1/2"	6	X	=
- 3/4"	10	X	=
Combined Fixture Total			25
Maximum Demand			21.5 GPM
Meter Size			1.5"



I certify that the above information is true and correct.
Signature: *John Phillip Samson*



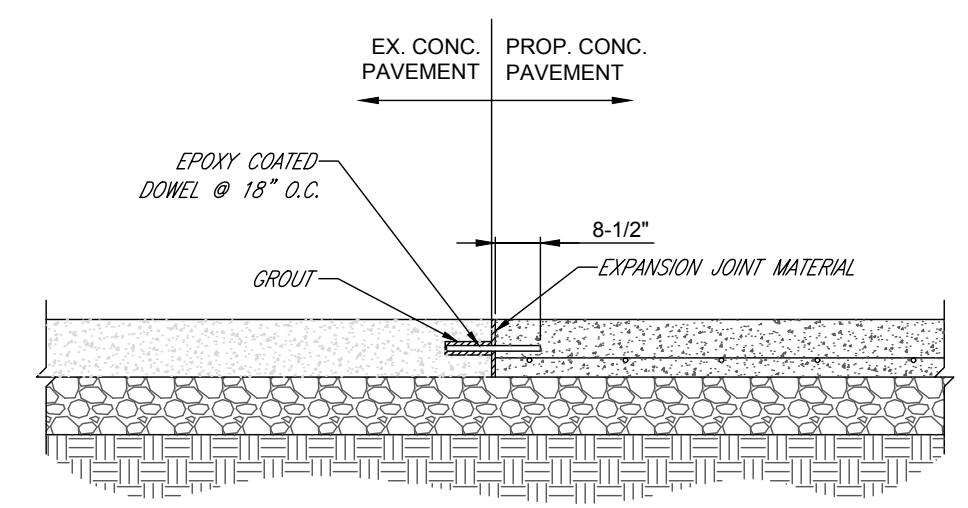
SPILL CURB & GUTTER



COLLECTOR CURB & GUTTER

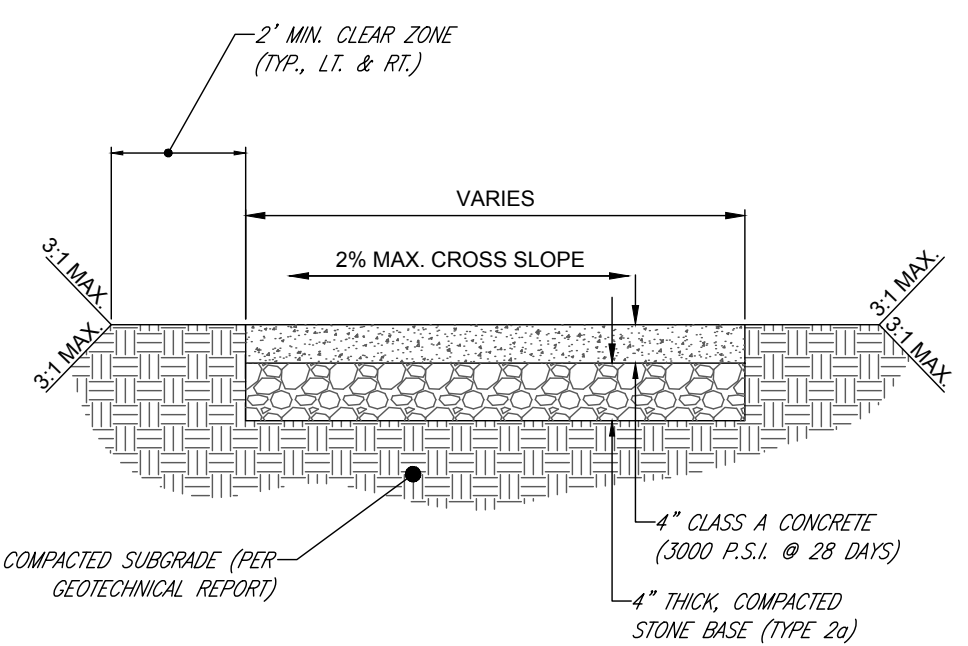
NOTES:
1. CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. @ 28 DAYS.
2. CONSTRUCTION STAKING FOR CURB INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.
3. AT CONTRACTOR'S OPTION, THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER CONTIGUOUS WITH BOTTOM OF ASPHALT PAVEMENT.
4. CONTRACTION JOINTS SHALL BE PLACED @ 10'-0" O.C. TOOLED 1/4" (±1/16") WIDE, 1" DEEP. EXPANSION JOINTS SHALL BE PLACED @ 40'-0" INTERVALS, MAXIMUM, AND ALL P.C.S.
5. GUTTER PAN SLOPE TO BE ADJUSTED WITHIN ACCESSIBLE PARKING SPACES TO MATCH SLOPE BETWEEN SPOT ELEVATIONS.

CONCRETE CURB & GUTTER DETAIL
NOT TO SCALE



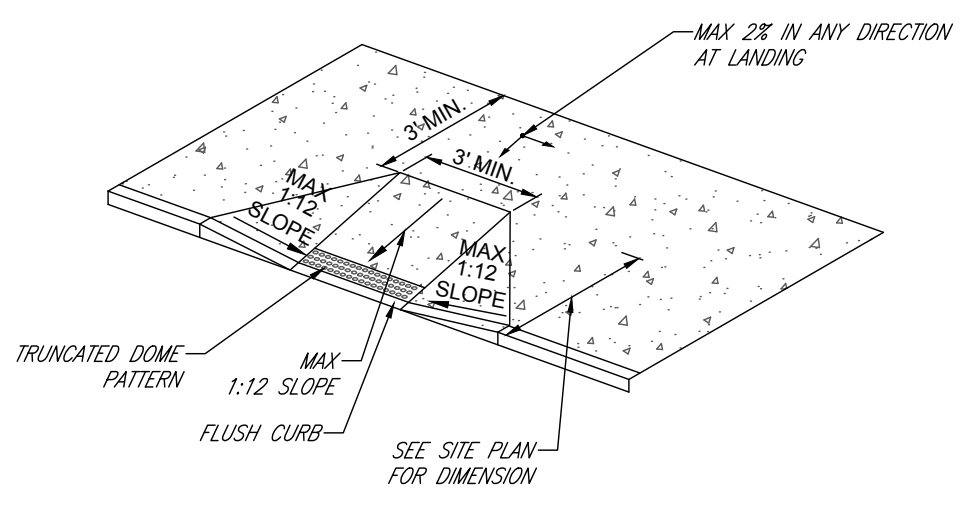
NOTE:
1. CONTRACTOR TO BLOW OUT DUST FROM DRILLED HOLES PRIOR TO APPLYING GROUT.

CONCRETE DOWELING DETAIL
NOT TO SCALE



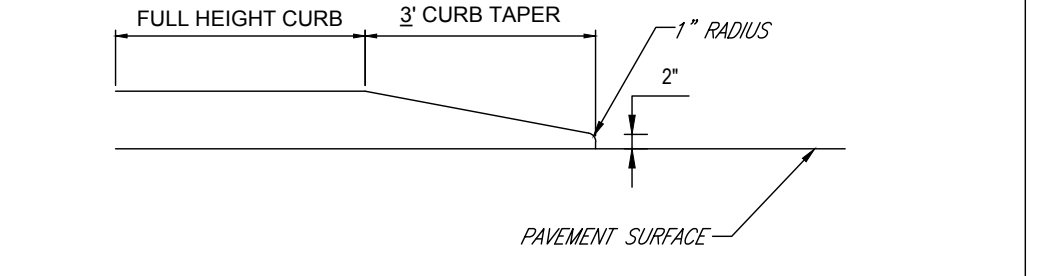
NOTE:
1. EXPANSION JOINTS 1/2" WIDE PREMOLDED BIT. MATERIAL SHALL BE INSTALLED AT 30' INTERVALS, CRACK CONTROL JOINTS TO BE SPACED AT INTERVALS EQUAL TO SIDEWALK WIDTH.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE

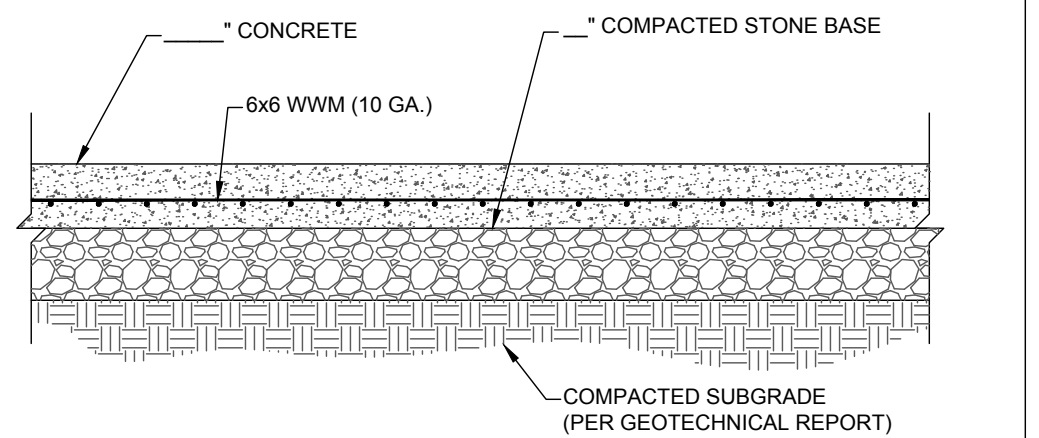


NOTE:
1. ADA ACCESSIBLE RAMP CONSTRUCTION SHALL CONFORM TO CURRENT ADA ACCESSIBLE GUIDELINES.

ADA ACCESSIBLE RAMP DETAIL
NOT TO SCALE



CURB TAPER DETAIL
NOT TO SCALE



NOTE:
1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF _____ PER GEOTECHNICAL REPORT PREPARED BY _____ DATED _____ (PROJECT # _____) FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

(TBD) STANDARD DUTY CONCRETE SECTION
NOT TO SCALE

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	05/20/2021	REV PER TOWN COMMENTS	SC

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ALWAYS CALL 811
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NOT APPROVED FOR CONSTRUCTION

PROJECT No.: S202089
DRAWN BY: SC
CHECKED BY: CM
DATE: 06/04/2021
CAD ID: SSD-0

PROP. SITE PLAN DOCUMENTS
FOR



PROPOSED FINANCIAL INSTITUTION W/ DRIVE-THRU
315 MAPLE AVE E
TOWN OF VIENNA, VIRGINIA
TAX MAP #: 0382-02-0024

BOHLER
12825 WORLDGATE DR. SUITE 700
HERNDON, VIRGINIA 20170
Phone: (703) 709-9500
Fax: (703) 709-9501
VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
TRAVIS W. D'AMICO
Lic. No. 048497
06/04/2021
PROFESSIONAL ENGINEER

SHEET TITLE:
SITE DETAILS
SHEET NUMBER:
C-1002
REVISION 1 - 05/20/2021

