HQ1 ATM RELOCATION

DATE: 4.29.25

EXISTING CONDITIONS

SCALE:

ASD | SKY

NAVY FEDERAL CREDIT UNION HQ2 ATM ADDITION

1007 ELECTRIC AVE VIENNA, VIRGINIA 22180

OWNER:
NAVY DEDERAL CREDIT UNION (NFCU)
820 FOLLIN LANE, SE
VIENNA, VA 22180
703.206.3984 / CONTACT: TIM MARKLE

ARCHITECT:
ASD, INC.
3030 CLARENDON BLVD, SUITE 350
ARLINGTON, VA 22201
404.688.3318 / CONTACT : EVAN BURCH

CIVIL ENGINEER
DEWBERRY
8401 ARLINGTON BLVD
FAIRFAX, VA 22031
703.849.0497 / CONTACT: TIM CULLEITON

LANDSCAPE
DEWBERRY
8401 ARLINGTON BLVD
FAIRFAX, VA 22031
703.840.1900 / CONTACT: JACK STORY

STRUCTURAL ENGINEER
DEWBERRY
8401 ARLINGTON BLVD
FAIRFAX, VA 22031
919.424.3754 / CONTACT: JOE WOLHAR

ELECTRICAL ENGINEER
DEWBERRY
8401 ARLINGTON BLVD
FAIRFAX, VA 22031
703.645.9711 / CONTACT: RAY HOLDENER

LOW VOLTAGE,SECURITY,TELECOM
NEWCOMB & BOYD
303 PEACHTREE CENTER AVE NE SUITE 525
ATLANTA, GA 30303
404.293.5577 / CONTACT: MATT HOLLAND

ISSUED FOR: CONFORMED SET
ISSUE DATE: 04/24/25

ASD | SKY

COMMONWEALTH OF VIRGINIA
EVAN BURCH
Lic. No. 401020014
ARCHITECT

NAVY FEDERAL CREDIT UNION

00000.00

VIEW FROM NORTHEAST

ASD | SKY

3030 Clarendon Blvd.
Suite 350
Arlington, VA 22201
T 703.876.9600
www.asdsky.com

NAVY FEDERAL CREDIT UNION

HQ1 AUDITORIUM ADDITION AND INTERIOR RENOVATIONS

820 FOLLIN LANE SE, VIENNA, VA 22180

COMMONWEALTH OF VIRGINIA
EVAN BURCH
Lic. No. 401020014
ARCHITECT

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NO:	DATE:	REMARKS:
0	04/07/25	FOR PERMIT AND PRICING
D	03/28/25	FOR PERMIT
C	02/21/25	90% CD
B	12/13/24	100% DD
A	11/08/24	50% DD

REVISIONS:

DRAWING TITLE:
PROJECT INFORMATION

PROJECT NO.	ISSUE DATE:
71473.00	04/07/25
DRAWN BY: MP/EB	CHECKED BY: GC

SHEET NUMBER:
A0.01

4/21/2025 2:39:20 PM

VIEW FROM NORTH

ASD | SKY

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NAVY FEDERAL CREDIT UNION

HQ1 AUDITORIUM ADDITION AND INTERIOR RENOVATIONS

820 FOLLIN LANE SE, VIENNA, VA 22180

COMMONWEALTH OF VIRGINIA
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71473.00	04/07/25
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MP/EB	GC

SHEET NUMBER:
A0.01

4/21/2025 2:39:20 PM

VIEW FROM NORTHWEST

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NAVY FEDERAL CREDIT UNION

HQ1 AUDITORIUM ADDITION AND INTERIOR RENOVATIONS

820 FOLLIN LANE SE, VIENNA, VA 22180

COMMONWEALTH OF VIRGINIA
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A	11/08/24	50% DD

REVISIONS:

DRAWING TITLE:
PROJECT INFORMATION

PROJECT NO.:	ISSUE DATE:
71473.00	04/07/25
DRAWN BY: MP/EB	CHECKED BY: GC

SHEET NUMBER:
A0.01

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VIEW FROM SOUTH

ASD | SKY

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NAVY FEDERAL CREDIT UNION

HQ1 AUDITORIUM ADDITION AND INTERIOR RENOVATIONS

820 FOLLIN LANE SE, VIENNA, VA 22180

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REVISIONS:

DRAWING TITLE:
PROJECT INFORMATION

PROJECT NO.:	ISSUE DATE:
71473.00	04/07/25
DRAWN BY: MP/EB	CHECKED BY: GC

SHEET NUMBER:
A0.01

4/21/2025 2:39:20 PM

CODE ANALYSIS

I. AUTHORITIES HAVING JURISDICTION:

A. JURISDICTION	TOWN OF VIENNA / FAIRFAX COUNTY
B. PLANNING	CONTACT: JILL G. COOPER – 703–246–4800
C. FIRE MARSHAL	CONTACT: JOHN WALSER – 703–246–4800

II. APPLICABLE BUILDING CODES:

A. BUILDING/DWELLING CODE	2021 VIRGINIA CONSTRUCTION CODE
B. PLUMBING CODE	2021 VIRGINIA PLUMBING CODE
C. MECHANICAL CODE:	2021 VIRGINIA MECHANICAL CODE
D. ELECTRICAL CODE:	2021 VIRGINIA ELECTRICAL CODE
E. FIRE CODE	2021 VIRGINIA FIRE CODE
F. GAS CODE	2021 VIRGINIA GAS CODE
G. ENERGY CODE	2021 VIRGINIA ENERGY CONSERVATION CODE
H. LIFE SAFETY CODE	2021 VIRGINIA CONSTRUCTION CODE
I. ACCESSIBILITY:	2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC / ANSI A117.1)

IV. GENERAL BUILDING FEATURES::

A. CONSTRUCTION TYPE:	TYPE V–B	VIRGINIA CONSTRUCTION CODE, TABLE 601
B. BUILDING HEIGHT:	15'–4"	VIRGINIA CONSTRUCTION CODE, TABLE 504.3
C. NO. OF STORIES:	1	VIRGINIA CONSTRUCTION CODE, TABLE 504.4
D. BUILDING AREA:	1148 SF	VIRGINIA CONSTRUCTION CODE, TABLE 506.2
E. NO. EXITS PER FLOOR:	–	
F. FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS:		
1. PRIMARY STRUCTURAL FRAME	0	VIRGINIA CONSTRUCTION CODE, TABLE 601
2. BEARING WALLS:		
a. EXTERIOR	0	
b. INTERIOR	0	
3. NON BEARING WALLS + PARTITIONS		
a. EXTERIOR		
1. IF LESS THAN 5 FEET	0	
2. IF BETWEEN 5 FEET AND 10 FEET	0	
3. IF OVER 30 FEET	0	
4. NON BEARING WALLS + PARTITIONS		
b. INTERIOR	N/A	
5. FLOOR CONSTRUCTION	N/A	
6. ROOF CONSTRUCTION:	0	
7. CORRIDOR / TENANT SEPARATION	N/A	
8. SHAFT ENCLOSURES	N/A	
G. ELEVATOR LOBBY:	N/A	
H. HORIZONTAL EXIT:	N/A	
J. EXIT ACCESS CORRIDORS:	N/A	

V. OCCUPANCY CLASSIFICATION

A. CLASSIFICATION TYPE:	U – UTILITY AND MISCELLANEOUS	VIRGINIA CONSTRUCTION CODE, 312.1
B. CONSTRUCTION AREA:	1148 SF	
C. OCCUPANT LOAD:	UNNOCUPIED	
D. FIXTURE REQUIREMENTS:	N/A	

VI. EGRESS REQUIREMENTS

A. MAXIMUM TRAVEL DISTANCE	100'
B. MAXIMUM DEAD END CORRIDOR	N/A
C. COMMON PATH OF TRAVEL	N/A
D. EXIT SEPARATION	N/A
E. MINIMUM OPENING OF EXIT DOORS	N/A
F. MINIMUM EXIT RAMP / STAIR WIDTH	N/A
G. MINIMUM CORRIDOR WIDTH	N/A
H. EGRESS CAPACITY (WIDTH PER PERSON)	N/A

PROJECT DESCRIPTION

This project includes the addition of a new two–way drive–through ATM located in the front yard setback of the existing NFCU HQ2 building. The site is a grass field with sparse trees. We propose to build a new driveway to accommodate the ATMS and a fabric tensile structure to provide shade and cover from the weather.

The new driveway approach will accommodate up to twelve stacked vehicles within the new drive area without backing up onto the campus roadways or parking lots.

These two new ATMs are intended to replace the two existing ATMs on the HQ1 building site. The existing ATMs are anticipated to be removed as soon as the new ones are constructed.

A Special Use Variance will be required by the Zoning Department to allow drive–through ATMs to be located in the front yard setback of the property.

Refer to BZA–25136 Variance Request that was submitted on 3/28/25 and approved by Town of Vienna Board of Zoning Appeals on 4/16/25.

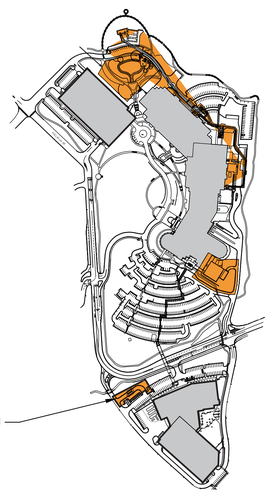
INDEX OF DRAWINGS

SHEET NO.	SHEET TITLE	ORIGINAL ISSUE DATE	REVISION NO.	REVISION ISSUE DATE
CIVIL				
C-001	COVER SHEET	01.24.2025	0	
C-002	ABBREVIATIONS, NOTES & LEGEND	01.24.2025	0	
C-101	EXISTING CONDITIONS AND DEMO PLAN	01.24.2025	0	
C-102	SITE PLAN	01.24.2025	0	
C-103	PAVEMENT PLAN	01.24.2025	0	
C-201	EROSION & SEDIMENT CONTROL PLAN PH I	01.24.2025	0	
C-202	EROSION & SEDIMENT CONTROL PLAN PH II	01.24.2025	0	
C-203	EROSION & SEDIMENT CONTROL NARRATIVE	01.24.2025	0	
C-204	EROSION & SEDIMENT CONTROL DETAILS	01.24.2025	0	
C-205	EROSION & SEDIMENT CONTROL DETAILS	01.24.2025	0	
C-301	STORM SEWER PROFILES	01.24.2025	0	
C-501	CONSTRUCTION DETAILS	01.24.2025	0	
SW-200	SWM DRAINAGE MAP (PRE-DEVELOPMENT)	01.24.2025	0	
SW-201	SWM DRAINAGE MAP (POST-DEVELOPMENT)	01.24.2025	0	
SW-300	SWM NARRATIVE	01.24.2025	0	
SW-301	VRRM SPREADSHEET	01.24.2025	0	
SW-302	SWM COMPUTATIONS	01.24.2025	0	
SW-400	SWM DETAILS	01.24.2025	0	
SW-401	SWM DETAILS	01.24.2025	0	
SW-402	SWM DETAILS	01.24.2025	0	
SW-403	SWM DETAILS	01.24.2025	0	
SW-404	SWM DETAILS	01.24.2025	0	
LANDSCAPE				
L-101	LANDSCAPE PLAN	01.24.2025	0	
L-201	LANDSCAPE SCHEDULE & DETAILS	01.24.2025	0	
ARCHITECTURAL AND SIGNAGE				
G0.00	COVER SHEET	01.24.2025	1	04.24.2025
G0.01	INDEX AND PROJECT INFORMATION	01.24.2025	3	04.24.2025
A1.01	NFCU CAMPUS DEVELOPMENT PLAN	01.24.2025	0	
A2.01	ARCHITECTURAL AND SIGNAGE DEMOLITION PLAN	01.24.2025	0	
A3.01	ARCHITECTURAL AND SIGNAGE PLAN	01.24.2025	0	
A4.01	ENLARGED PLANS, ELEVATIONS, AND DETAILS	01.24.2025	0	
A4.02	ENLARGED PLANS, ELEVATIONS, AND DETAILS	01.24.2025	0	
A4.03	SIGNAGE DETAILS	01.24.2025	0	
	LIGHTING FOOTCANDLE STUDY	01.27.2025	0	
	NFCU DESIGN DIRECTIVE COVER	07.16.2024	0	
	NFCU DESIGN DIRECTIVE A-404	07.15.2024	0	
	NFCU DESIGN DIRECTIVE A-404	07.15.2024	0	
	NFCU DESIGN DIRECTIVE PULLBOX	01.09.2015	0	
STRUCTURAL				
S-001	GENERAL STRUCTURAL NOTES, ABBREVIATIONS, AND SCHEDULES	01.24.2025	0	
S-101	STRUCTURAL FOUNDATION PLAN & DETAILS	01.24.2025	0	
ELECTRICAL				
E0.00	ELECTRICAL COVER SHEET	01.24.2025	2	04.02.2025
E1.01	ELECTRICAL NEW WORK PLAN	01.24.2025	2	04.02.2025
E5.01	ELECTRICAL DETAILS	01.24.2025	0	
E6.01	ELECTRICAL DIAGRAMS AND SCHEDULES	01.24.2025	3	04.02.2025
E7.01	ELECTRICAL SCHEDULES	04.02.2025	1	04.02.2025
TELECOM				
LVD1.00	TELECOM - DEMOLITION SITE PLAN	01.24.2025	0	
LV0.01	LOW VOLTAGE LEGEND & NOTES	01.24.2025	0	
LV0.02	BILL OF MATERIALS	01.24.2025	0	
LV0.03	LOW VOLTAGE PROJECT NOTES	01.24.2025	0	
LV1.03A	TELECOM - HQ2 LOWER LEVEL - AREA A	01.24.2025	0	
LV2.01	TELECOM AND SECURITY - NEW WORK OVERALL SITE PLAN	01.24.2025	0	
LV2.02	TELECOM AND SECURITY - NEW WORK PARTIAL SITE PLAN	01.24.2025	0	
LV5.00	TELECOM AND SECURITY - DETAILS	01.24.2025	0	

ARCHITECTURAL SYMBOLS

NN/A–NNN	ELEVATION INDICATIOR: ELEV.NUMBER – SHEET NUMBER
NN A–NNN	SECTION INDICATOR: DRAWING NUMBER / SHEET NUMBER
NN A–NNN	ENLARGED PLAN/DETAIL: DRAWING NUMBER / SHEET NUMBER
0'–0" A.F.F. B.O. CEILING	ELEVATION HEIGHT INDICATOR: HEIGHT / DESCRIPTION
ALIGN	ALIGN ELEMENTS
#	WINDOW TYPE SYMBOL
NAME ####	ROOM TAG
1	REVISION NUMBER
#	CODED NOTE
#	MILLWORK NOTE
# / #	DOOR & ROOM NUMBER: DOOR TYPE | HARDWARE SET
#	EQUIPMENT NOTE
#	WALL TYPE NOTE

KEY PLAN



LOCATION MAP

ASD | SKY

NAVY FEDERAL CREDIT UNION HQ2 ATM ADDITION

1007 ELECTRIC AVE
VIENNA, VIRGINIA 22180

COMMONWEALTH OF VIRGINIA
EVAN BURCH
Lic. No. 401020014
ARCHITECT

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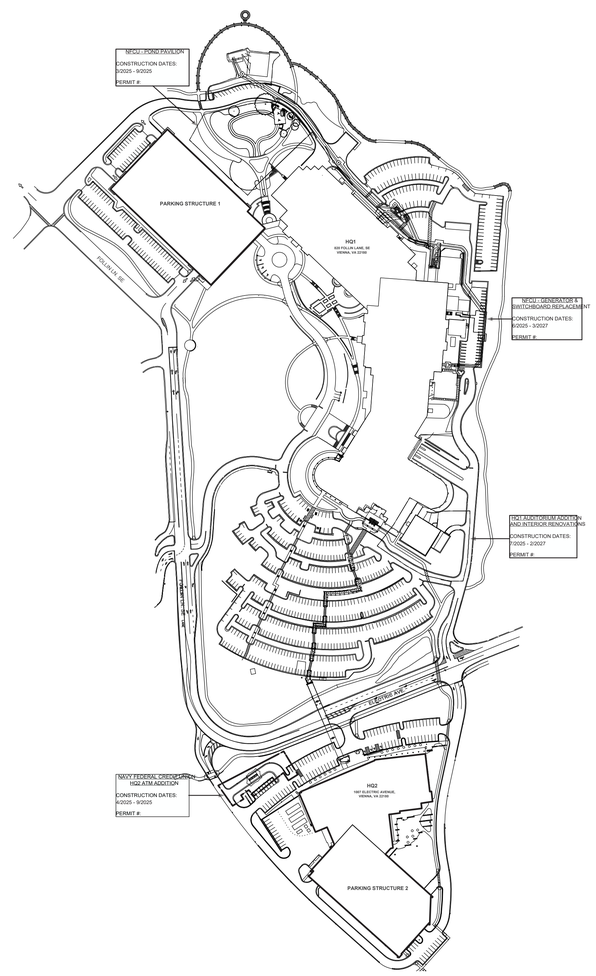
NO.	DATE:	REMARKS:
3	04.24.25	CONFORMED SET
2	04.02.25	ADDENDUM #2
1	03.24.25	ADDENDUM #1
0	01.24.25	PRICING AND PERMIT

REVISIONS:

DRAWING TITLE:
GENERAL PROJECT INFORMATION SHEET

PROJECT NO.:	ISSUE DATE:
71498.00	01.24.2025
DRAWN BY: JLV	CHECKED BY: GC

SHEET NUMBER:
G0.01



1 CAMPUS SITE PLAN

SCALE: 1:2000

ASD | SKY

NAVY FEDERAL CREDIT UNION HQ2 ATM ADDITION

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VIENNA, VIRGINIA 22180

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NO:	DATE:	REMARKS:
0	01.24.2025	PRICING AND PERMIT

REVISIONS:

DRAWING TITLE:
NFCU CAMPUS DEVELOPMENT PLAN

PROJECT NO.:	ISSUE DATE:
71498.00	01.24.2025
DRAWN BY: JLV	CHECKED BY: GC

SHEET NUMBER:
A1.01

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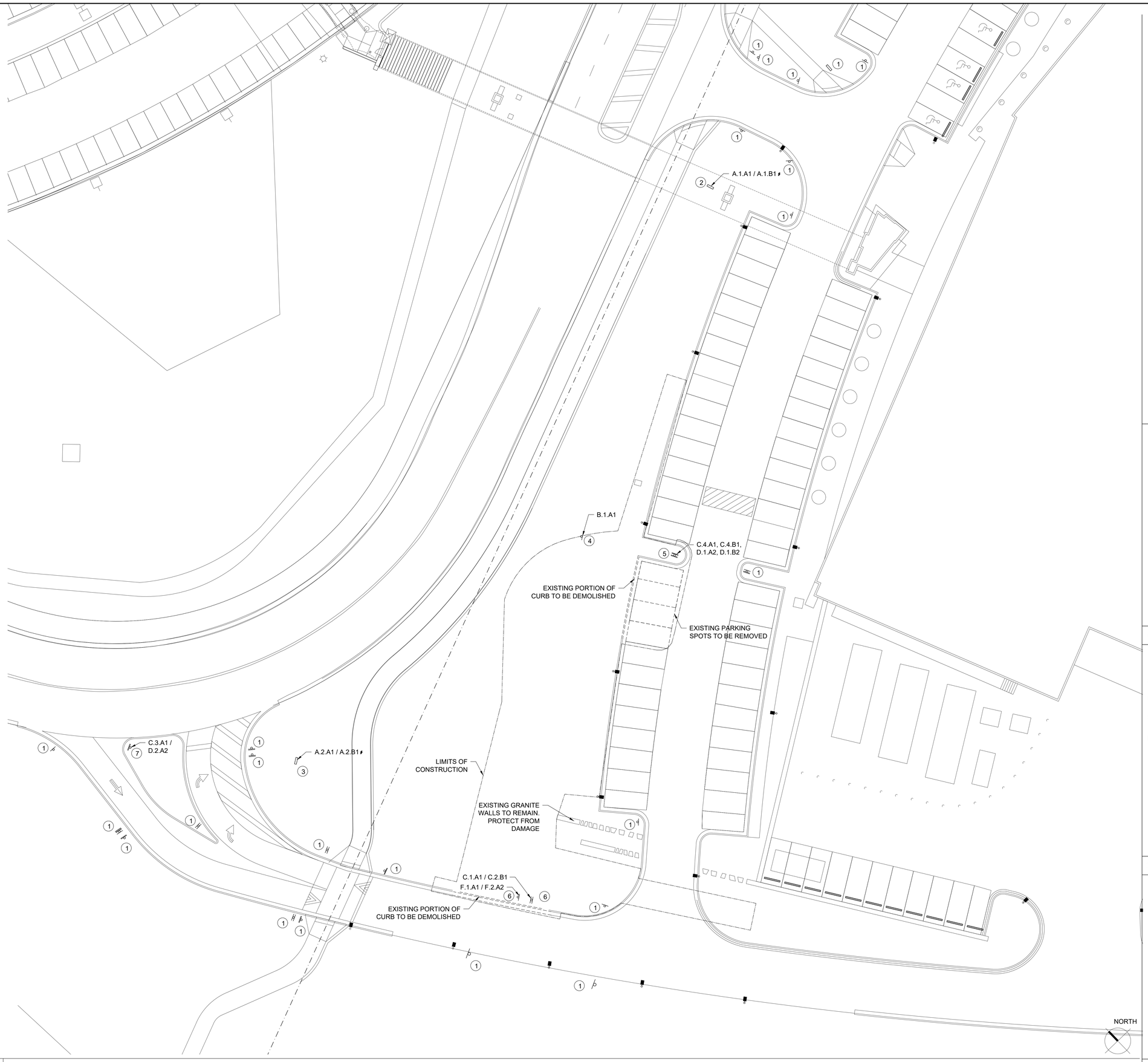

1 DEMO PLAN

SCALE: 1/16" = 1'-0"

1. EXISTING SIGN AND POLE TO REMAIN
2. EXISTING MONUMENT SIGN TO REMAIN. CLEAN AND PREP FOR IN-PLACE ALTERATIONS
3. EXISTING SIGN BOX TO BE RELOCATED. REMOVE AND SALVAGE BOX FOR REINSTALLATION IN NEW LOCATION. CLEAN AND PREP FOR NEW ALTERATIONS. DEMOLISH EXISTING CONCRETE BASE. EXISTING ELECTRICAL POWER CIRCUIT TO REMAIN AND BE EXTENDED TO NEW SIGN LOCATION
4. EXISTING SIGN AND POLE TO BE RELOCATED. REMOVE AND SALVAGE SIGN AND POLE FOR REINSTALLATION IN NEW LOCATION TO BE DIRECTED BY OWNER
5. REMOVE EXISTING SIGNS AND POLE. RETURN TO OWNER FOR ATTIC STOCK. REINSTALL ONE "SMOKE-FREE CAMPUS" TYPE D ONTO EXISTING POLE IN OPPOSITE ISLAND
6. EXISTING SIGNS AND POLE TO BE RELOCATED. REMOVE AND SALVAGE SIGNS AND POLE FOR REINSTALLATION IN NEW LOCATION
7. EXISTING POLE AND C.3 SIGN TO REMAIN. REMOVE AND DEMOLISH "DELIVERY ENTRANCE" SIGN

4 DEMO PLAN CODED NOTES

(1) CODED NOTE

A . 1 . A1

SIGN TYPE:	A	B	C	D	E	F
SIGN NUMBER:	1	2	3	4	5	
SIGN SIDE:	A1	A2	B1	B2		
ELECTRICAL:	⚡					

A MONUMENT SIGN
B SINGLE SIGN WITH POLE
C VEHICULAR DIRECTIONAL SIGN
D SLOGAN SIGNAGE
E STOP SIGN
F PEDESTRIAN SIGN
G VISITOR PARKING SIGN

3 SIGNAGE LEGEND

SYMBOL	DESCRIPTION	REMARKS
———	EXISTING ITEM TO REMAIN	
– – – –	EXISTING ITEM TO BE DEMOLISHED	

2 DEMOLITION PLAN LEGEND

ASD | SKY

NAVY FEDERAL CREDIT UNION
HQ2 ATM ADDITION

1007 ELECTRIC AVE
VIENNA, VIRGINIA 22180

COMMONWEALTH OF VIRGINIA
EVAN BURCH
Lic. No. 401020014
ARCHITECT

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NO:	DATE:	REMARKS:
0	01.24.2025	PRICING AND PERMIT

REVISIONS:

DRAWING TITLE:
ARCHITECTURAL AND SIGNAGE DEMOLITION PLAN

PROJECT NO:	ISSUE DATE:
71498.00	01.24.2025
DRAWN BY: JLV	CHECKED BY: GC

SHEET NUMBER:
A2.01

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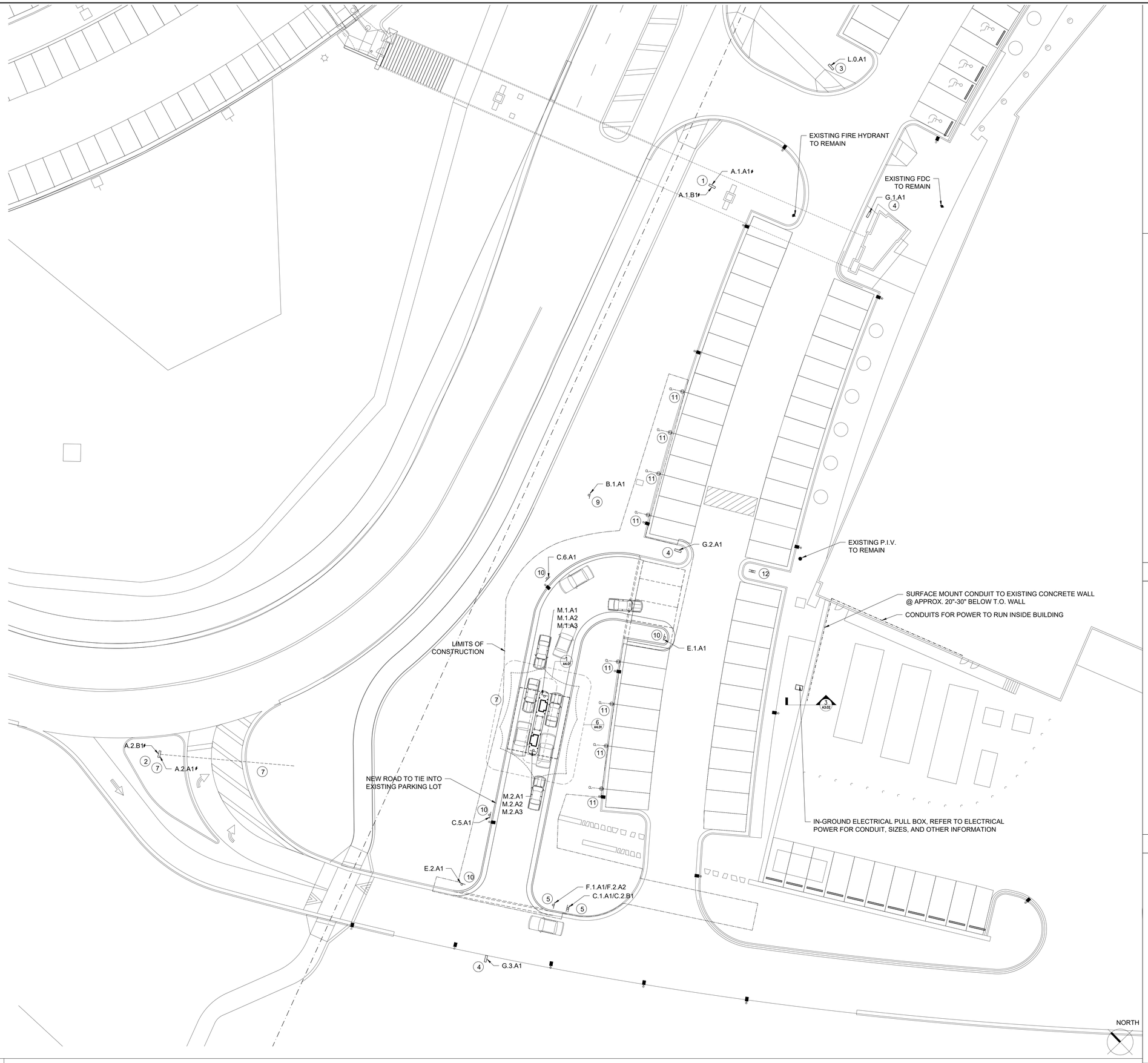


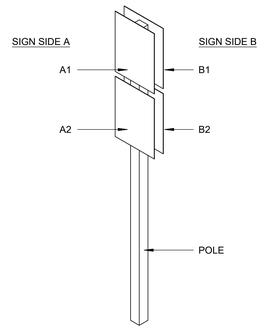
1 SITE PLAN

SCALE: 1/16" = 1'-0"

1. INSTALL NEW SURFACE MOUNTED ACRYLIC BAND SIGN TO EACH SIDE OF EXISTING SIGN. BAND TO BE 8" HIGH BY WIDTH OF SIGN AND INSTALLED AT 4" ABOVE BOTTOM OF BOX SIGN
2. INSTALL NEW SURFACE MOUNTED ACRYLIC BAND SIGN TO EACH SIDE OF RELOCATED SIGN. BAND TO BE 12" HIGH BY WIDTH OF SIGN AND INSTALLED AT 4" ABOVE BOTTOM OF BOX SIGN
3. EXISTING BOX SIGN TO BE COPIED FOR NEW TYPE L SIGNS
4. NEW BOX SIGN AND CONCRETE BASE IN EXISTING PLANTED AREA
5. REINSTALL EXISTING POLE AND SIGNS IN NEW LOCATION TO BE STAKED BY ARCHITECT
6. INSTALL NEW TENSILE STRUCTURE PER SHEET 7/A3.01
7. INSTALL NEW CONCRETE FOUNDATION AND REINSTALL RELOCATED MONUMENT SIGN, EXTEND EXISTING POWER CIRCUIT TO NEW LOCATION
8. REINSTALL SIGN IN LOCATION DIRECTED BY OWNER
9. INSTALL NEW SIGN AND POLE
10. INSTALL EXISTING SIGN AND POLE FROM OWNER'S ATTIC STOCK
11. FUTURE EV CHARGING STATION, REFER TO ELECTRICAL
12. REINSTALL "SMOKE FREE CAMPUS" SIGN ON THIS POLE. REFER TO NOTE 5 ON A1.01

4 PLAN CODED NOTES

(1) CODED NOTE



3 SIGN SIDE DIAGRAM

A . 1 . A1

SIGN TYPE:	A	B	C	D	E	F
SIGN NUMBER:	1	2	3	4	5	
SIGN SIDE:	A1	A2	B1	B2		
ELECTRICAL:	⚡					

FUTURE ELECTRIC VEHICLE CHARGING STATION: EV

A MONUMENT SIGN
B SINGLE SIGN WITH POLE
C VEHICULAR DIRECTIONAL SIGN
D SLOGAN SIGNAGE
E STOP SIGN
F PEDESTRIAN SIGN
G VISITOR PARKING SIGN

2 SIGNAGE LEGEND

ASD | SKY

NAVY FEDERAL CREDIT UNION HQ2 ATM ADDITION

1007 ELECTRIC AVE
VIENNA, VIRGINIA 22180

COMMONWEALTH OF VIRGINIA
EVAN BURCH
Lic. No. 401020014
ARCHITECT

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NO.	DATE:	REMARKS:
0	01.24.2025	PRICING AND PERMIT

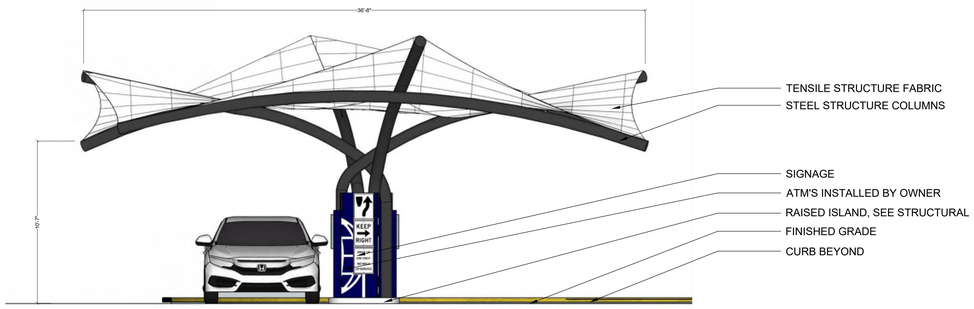
REVISIONS:

DRAWING TITLE:
ARCHITECTURAL AND SIGNAGE SITE PLAN

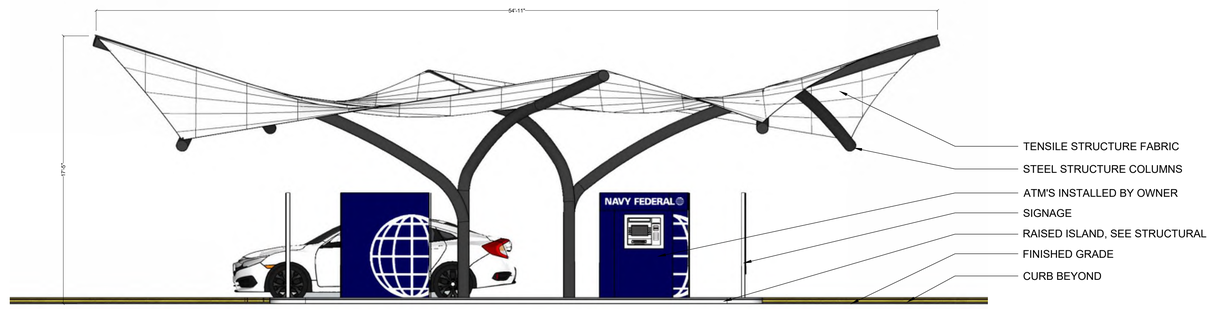
PROJECT NO.:	ISSUE DATE:
71498.00	01.24.2025
DRAWN BY: JLV	CHECKED BY: GC

SHEET NUMBER:
A3.01

Y:\71498.00 NFCU ATM Relocation\Drawings\CAD FILES\239116_NFCU HQ2 ATM ADDITION PROJECT.dwg



2 NORTH & SOUTH ELEVATION SCALE: 1/4" = 1'-0"



1 EAST & WEST ELEVATION SCALE: 1/4" = 1'-0"

ASD | SKY

NAVY FEDERAL CREDIT UNION HQ2 ATM ADDITION

1007 ELECTRIC AVE
VIENNA, VIRGINIA 22180

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Associated Space Design, Inc. 2025

NO:	DATE:	REMARKS:
0	04.28.2025	ASI 1

REVISIONS:

DRAWING TITLE:
STRUCTURE ELEVATIONS

PROJECT NO.:	ISSUE DATE:
71498.00	04.28.2025
DRAWN BY: JLV	CHECKED BY: GC

SHEET NUMBER:
A5.01

TENSILE STRUCTURE (ATM CANOPY)

ARCHITECT'S SPECIFICATION

PART 2 PRODUCTS

2.01 MANUFACTURERS

A. G.H. Bruce, LLC, Custom Tensile Sculptures, www.ghbruce.com.
   1. 525 E Rogers Road, Tucson, AZ 85705.
   2. 520-903-9005, ghbruce.com.

2.02 FABRICATION

A. Fit and shop assemble items in largest practical sections, for delivery to site.

B. Fabricate items with joints tightly fitted and secured.

C. Grind exposed joints flush and smooth with adjacent finish surface. Make exposed joints butt tight, flush, and hairline. Ease exposed edges to small uniform radius.

D. Furnish components required for anchorage of fabrications. Fabricate anchors and related components of same material and finish as fabrication, except where specifically noted otherwise.

E. Shop weld and finish welds for junction box mounting brackets and hand holes.

2.03 FINISHES - STEEL

A. Prime paint all other steel items except those noted. Refer to Painting Section for specific requirements.
   1. Exceptions: Galvanize bollards.
   2. Tensile shade structure to be pre-finished by the fabricator in the shop.

B. Prepare surfaces to be primed in accordance with SSPC-SP2.

C. Clean surfaces of rust, scale, grease, and foreign matter prior to finishing.

D. Galvanizing of Structural Steel Members: Galvanize after fabrication to ASTM A123/A123M requirements. Provide minimum 1.7 oz/sq ft galvanized coating.

E. Galvanizing of Non-structural Items: Galvanize after fabrication to ASTM A123/A123M requirements.

REFERENCE IMAGES

(THE IMAGES BELOW ARE SIMILAR IN COLOR/STYLE/SPECIFICATION)

PROPOSED COLORS

TENSILE STRUCTURE AND CANOPY FABRIC IS DELEGATED DESIGN BY THE GENERAL CONTRACTOR. INFORMATION REGARDING TENSILE FABRIC IS NOT YET DETERMINED, HOWEVER DESIGN INTENT IS FOR WHITE, NON-REFLECTIVE, OPAQUE MATERIAL.

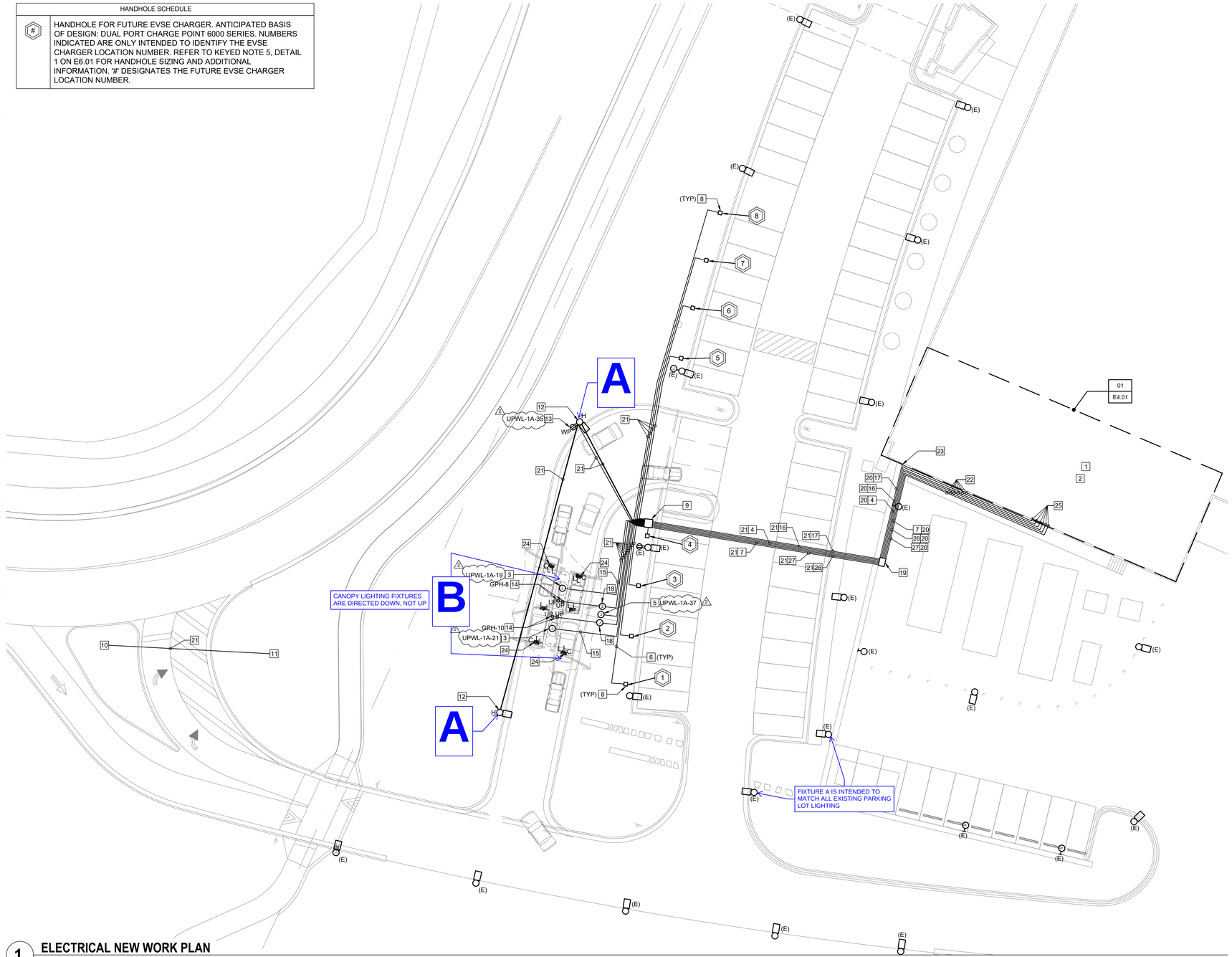
REGARDING SAMPLES

THE SAMPLES PROVIDED FOR BAR REVIEW ARE REPRESENTATIVE OF THE BASIS OF DESIGN PRODUCT. THE GENERAL CONTRACTOR (TBD) MAY ELECT TO PROCURE A DIFFERENT, BUT COMPARABLE, PRODUCT THAT MEETS THE DETAILS OF THE ARCHITECT'S SPECIFICATIONS (SEE LEFT).

DRAWING KEYED NOTES :

1. APPROXIMATE LOCATION OF NEW EVSE PANEL. REFER TO DETAIL 2 FOR ADDITIONAL INFORMATION.
2. APPROXIMATE LOCATION OF EXISTING PANEL INTENDED TO SERVE NEW OUTDOOR ATM. REFER TO DETAIL 2 FOR ADDITIONAL INFORMATION.
3. LOCATION OF NEW OUTDOOR ATM. REFER TO ARCHITECTURAL DRAWING A3.01 FOR LOCATIONS, DIMENSIONS, AND ADDITIONAL INFORMATION. COORDINATE WITH ATM REQUIREMENTS, SERVICE ENTRY LOCATIONS, ETC.
4. ROUTE (2) SETS OF CONDUIT FROM ATM LOCATION INTO THE EXISTING BUILDING FOR UPS POWER WIRING. THE CONDUIT SHALL BE ROUTED IN THE FOLLOWING MANNER: ROUTE (2) NEW SETS OF CONDUIT FROM EXISTING UPS POWER PANEL UPWL-1A TO THE NEW ATM LOCATION. COORDINATE CONDUIT PATHWAY IN THE FIELD PER FIELD CONDITIONS. REFER TO THE ELECTRICAL DISTRIBUTION DIAGRAM ON DRAWING E6.01 AND PANEL SCHEDULES ON DRAWING E.701 FOR FEEDER AND CONDUIT SIZES. COORDINATE WITH ATM REQUIREMENTS, SERVICE ENTRY LOCATIONS, ETC.
5. CIRCUIT (2) NEW SECURITY CAMERAS WITHIN THE CANOPY LIGHTING STRUCTURE TO EXISTING UPS POWER PANEL UPWL-1A. ROUTE (1) CONDUIT FROM THE NEW SECURITY CAMERA LOCATION TO THE EXISTING UPS POWER PANEL UPWL-1A WITHIN THE EXISTING BUILDING. COORDINATE CONDUIT PATHWAY IN THE FIELD PER FIELD CONDITIONS. CONTRACTOR TO COORDINATE WITH THE SECURITY INSTALLER TO DETERMINE SECURITY CAMERA LOCATION WITHIN THE ATM CANOPY LIGHTING STRUCTURE. REFER TO DETAIL 11 ON DRAWING E5.01 FOR ADDITIONAL INFORMATION. REFER TO THE ELECTRICAL DISTRIBUTION DIAGRAM ON DRAWING E6.01 AND PANEL SCHEDULES ON DRAWING E7.01 FOR FEEDER AND CONDUIT SIZES.
6. ROUTE (2) NEW CONDUIT FROM OUTDOOR PULL BOX TO EACH OF THE (8) FUTURE EVSE HAND HOLES INDICATED. INSTALL CONDUITS VIA DIRECTIONAL DRILLING BELOW EXISTING PARKING LOT AREA AND SIDEWALKS; REFER TO DETAIL 9 ON DRAWING E5.01. CONDUIT DEPTH IN PARKING LOT TO BE A MINIMUM DEPTH OF 24" PER NEC TABLE 300.5. REFER TO THE ELECTRICAL DISTRIBUTION DIAGRAM ON DRAWING E6.01 AND PANEL SCHEDULES ON DRAWING E7.01 FOR FEEDER AND CONDUIT SIZES.
7. ROUTE (16) NEW CONDUITS FROM OUTDOOR PULL BOX TO THE NEW ELECTRICAL POWER PANEL EVSE WITHIN THE EXISTING BUILDING. INSTALL CONDUITS IN VIA DIRECTIONAL DRILLING BELOW EXISTING PARKING LOT AREA AND SIDEWALKS. REFER TO THE ELECTRICAL DISTRIBUTION DIAGRAM AND PANEL SCHEDULES ON DRAWING E.601 FOR FEEDER AND CONDUIT SIZES.
8. PROVIDE NEW HANDHOLE FOR FUTURE EVSE. REFER TO KEYED NOTE 5, DETAIL 1 ON E6.01 FOR SIZING AND ADDITIONAL INFORMATION.
9. PROVIDE NEW 36" X 36" X 16" (MINIMUM SIZE INDICATED PER NEC) OUTDOOR PULL BOX FOR ROUTING OF CONDUIT FOR FUTURE EVSE HANDHOLES AND NEW ATM UNITS. ONLY POWER CONDUCTORS WILL BE CONTAINED WITHIN THIS BOX. NO DATA CONDUCTORS ARE INTENDED.
10. NEW LOCATION OF RELOCATED EXTERIOR ILLUMINATED SIGN BY OWNER. EXTEND EXISTING CIRCUIT PREVIOUSLY SERVING THE EXTERIOR SIGN FROM THE PREVIOUS SIGN LOCATION TO THE NEW LOCATION INDICATED. MATCH/EXTEND WIRING AND RACEWAY TO FACILITATE THE NEW LOCATION. INSTALL CONDUITS VIA DIRECTIONAL DRILLING BELOW EXISTING STREET AND SIDEWALKS. THE CONDUIT DEPTH IN THE DRIVEWAY IS TO BE A MINIMUM DEPTH OF 24" PER NEC TABLE 300.5.
11. PREVIOUS LOCATION OF RELOCATED ILLUMINATED EXTERIOR SIGN BY OWNER. PROVIDE A NEW IN-GROUND RATED HANDHOLE AT THE EXISTING SIGN LOCATION FOR EXISTING WIRE TERMINATION AND FOR EXTENDING THE EXISTING CIRCUIT TO THE NEW SIGNAGE LOCATION AS REQUIRED BY KEYED NOTE 10.
12. NEW TYPE H 120V EXTERIOR LAMP FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR. ROUTE (1) CONDUIT FROM THE NEW LAMP POST LOCATION TO THE EXISTING CIRCUIT CURRENTLY SERVING EXTERIOR LIGHTING FIXTURES WITHIN THE AREA INDICATED. MATCH EXISTING BUILDING SITE EXTERIOR LAMP BASIS OF DESIGN. CONNECT TO EXISTING CONTROLS SERVING EXISTING LIGHTING FIXTURES WITHIN THE AREA INDICATED. COORDINATE CONDUIT PATHWAY IN THE FIELD PER FIELD CONDITIONS BELOW GRADE. CONFIRM CIRCUIT DOES NOT EXCEED 16 AMPS. PER AS-BUILT DOCUMENTATION, THIS PANEL SHOULD BE PANEL GPH, WITH EXISTING LIGHTING CONTROLS BEING PROVIDED BY MASTER LIGHTING CONTROL PANEL LCP1. PROVIDE 24", ROUND CONCRETE BASE FOR 3" POLE WITH CAP. REFER TO DETAIL 10 ON DRAWING E5.01 FOR ADDITIONAL INFORMATION. REFER TO THE ELECTRICAL DISTRIBUTION DIAGRAM AND PANEL SCHEDULES ON DRAWING E.601 FOR FEEDER AND CONDUIT SIZES. REFER TO THE LUMINAIRE SCHEDULE ON DRAWING E7.01 FOR ADDITIONAL LIGHTING FIXTURE INFORMATION.
13. PROVIDE 120V WEATHERPROOF DUPLEX RECEPTACLE FOR CONNECTION TO OUTDOOR TELECOM ENCLOSURE AND MEDIA CABINET. ROUTE (1) NEW CONDUIT FROM EXISTING UPS POWER PANEL UPWL-1A WITHIN EXISTING BUILDING HQ2 TO THE NEW OUTDOOR TELECOM ENCLOSURE AND MEDIA CABINET LOCATION. REFER TO THE ELECTRICAL DISTRIBUTION DIAGRAM ON DRAWING E6.01 AND PANEL SCHEDULES ON DRAWING E7.01 FOR FEEDER AND CONDUIT SIZES.
14. APPROXIMATE LOCATION OF NEW ATM CANOPY LIGHTING STRUCTURE BY OTHERS. ROUTE (1) CONDUIT FROM THE NEW CANOPY LIGHTING STRUCTURE TO PANEL GPH WITHIN THE EXISTING BUILDING. COORDINATE CONDUIT PATHWAY IN THE FIELD PER FIELD CONDITIONS BELOW GRADE. CONNECT TO EXISTING CONTROLS SERVING EXISTING LIGHTING FIXTURES WITHIN THE AREA INDICATED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY CONTACTORS, RELAYS, INTERFACE DEVICES, PROGRAMMING REQUIRED FOR A COMPLETE, OPERATIONAL INSTALLATION. REFER TO DETAIL 11 ON DRAWING E5.01 FOR ADDITIONAL INFORMATION. REFER TO THE ELECTRICAL DISTRIBUTION DIAGRAM ON E6.01 AND PANEL SCHEDULES ON E7.01 FOR FEEDER AND CONDUIT SIZES. REFER TO THE LUMINAIRE SCHEDULE ON DRAWING E7.01 FOR ADDITIONAL INFORMATION ON THE TYPE L LIGHTING FIXTURES INDICATED. COORDINATE WITH THE CANOPY STRUCTURE FABRICATOR AND STRUCTURAL CONTRACTOR AS REQUIRED.
15. ROUTE (1) CONDUIT FROM ATM LOCATION INTO THE EXISTING BUILDING FOR UPS POWER WIRING. THE CONDUIT SHALL BE ROUTED IN THE FOLLOWING MANNER: ROUTE (1) NEW CONDUIT FROM EXISTING UPS POWER PANEL UPWL-1A TO THE NEW ATM LOCATION. COORDINATE CONDUIT PATHWAY IN THE FIELD PER FIELD CONDITIONS INSIDE THE SPACE AND BELOW GRADE. REFER TO THE ELECTRICAL DISTRIBUTION DIAGRAM ON DRAWING E6.01 AND PANEL SCHEDULES ON DRAWING E7.01 FOR FEEDER AND CONDUIT SIZES.
16. ROUTE (2) CONDUIT FROM THE NEW CANOPY LIGHTING STRUCTURE TO PANEL GPH WITHIN THE EXISTING BUILDING. COORDINATE CONDUIT PATHWAY IN THE FIELD PER FIELD CONDITIONS BELOW GRADE. REFER TO THE ELECTRICAL DISTRIBUTION DIAGRAM ON DRAWING E6.01 AND PANEL SCHEDULES ON E7.01 FOR FEEDER AND CONDUIT SIZES. COORDINATE WITH THE CANOPY STRUCTURE FABRICATOR AND STRUCTURAL CONTRACTOR AS REQUIRED.
17. ROUTE (1) CONDUIT FROM THE NEW SECURITY CAMERA LOCATION TO THE EXISTING UPS POWER PANEL UPWL-1A WITHIN THE EXISTING BUILDING. COORDINATE CONDUIT PATHWAY IN THE FIELD PER FIELD CONDITIONS. CONTRACTOR TO COORDINATE WITH THE SECURITY INSTALLER TO DETERMINE SECURITY CAMERA LOCATION WITHIN THE ATM CANOPY LIGHTING STRUCTURE. REFER TO DETAIL 11 ON DRAWING E5.01 FOR ADDITIONAL INFORMATION. REFER TO THE ELECTRICAL DISTRIBUTION DIAGRAM ON DRAWING E6.01 AND PANEL SCHEDULES ON DRAWING E7.01 FOR FEEDER AND CONDUIT SIZES. COORDINATE WITH THE CANOPY STRUCTURE FABRICATOR AND STRUCTURAL CONTRACTOR AS REQUIRED.
18. PROVIDE NEW IN-GROUND RATED JUNCTION BOX FOR ROUTING NEW FEEDERS AND CONDUIT TO NEW ATM CANOPY STRUCTURE.
19. PROVIDE NEW 36" X 36" X 16" WALL MOUNTED NEMA 4 EXTERIOR RATED HOFFMAN BOX FOR ROUTING OF CONDUIT TO BE INSTALLED VIA DIRECTIONAL DRILLING. PROVIDE HINGED, LATCHABLE/LOCKABLE RAIN TIGHT COVER. ONLY POWER CONDUCTORS WILL BE CONTAINED WITHIN THIS BOX. NO DATA CONDUCTORS ARE INTENDED.
20. THE INDICATED CONDUITS, LOCATED BETWEEN THE EXTERIOR RATED HOFFMAN BOX AND THE POINT OF PENETRATION INTO THE EXISTING BUILDING, ARE TO BE ROUTED HIGH ON THE EXPOSED BACK OF THE RETAINING WALL ON THE GENERATOR SIDE, ABOVE THE EXISTING SOUND PANELS. CONDUIT WILL THEN DROP DOWN BEHIND THE SOUND PANELS BEFORE PENETRATING THE RETAINING WALL AT THE LOCATION INDICATED IN KEYED NOTE 19 ABOVE. SOUND PANELS TO BE REMOVED AS NEEDED TO ACCOMMODATE CONDUIT INSTALLATION, AND THEN REINSTALLED FOLLOWING CONSTRUCTION.
21. CONDUITS INSTALLED UNDER THE EXISTING PARKING LOT, DRIVEWAY, AND SIDEWALKS SHALL BE INSTALLED USING DIRECTIONAL DRILLING SO AS TO AVOID HAVING TO CUT THE PARKING LOT, DRIVEWAY, AND SIDEWALKS. TRENCHING SHALL NOT BE ALLOWED UNLESS SPECIFICALLY STATED IN WRITING BY THE OWNER. IF TRENCHING IS PERFORMED, THE PARKING LOT, DRIVEWAY, AND SIDEWALKS SHALL BE RESTORED TO MATCH EXISTING TO THE SATISFACTION OF THE OWNER.
22. CONDUITS INSTALLED ALONG THE EXTERIOR SURFACE OF THE EXISTING BUILDING ARE TO BE INSTALLED ALONG THE PRECAST JUST BELOW THE FIRST FLOOR WINDOWS. COORDINATE WITH NFCU AND ARCHITECT PRIOR TO COMMENCING.
23. CONDUITS INSTALLED ALONG THE EXTERIOR SURFACE OF THE EXISTING BUILDING WILL DROP AT THE LOCATION INDICATED, TO A HEIGHT BELOW THE TOP OF THE RETAINING WALL. COORDINATE WITH NFCU AND ARCHITECT PRIOR TO COMMENCING.
24. APPROXIMATE LOCATION OF NEW SECURITY CAMERAS WITHIN THE CANOPY LIGHTING STRUCTURE, DENOTED BY SUBSCRIPT "C" AND REFERENCE WITHIN KEYED NOTE 5 ABOVE.
25. NEW KEYED NOTE: ALL CONDUITS PENETRATING THE RETAINING WALL BELOW GRADE SHALL BE SEALED BETWEEN THE OUTER SIDE OF THE CONDUIT AND THE CONCRETE WITH SUITABLE WATERPROOF WATER SEALANT AS APPROVED BY THE ARCHITECT.
26. ROUTE (1) CONDUIT FROM THE NEW 120V WEATHERPROOF TELECOM ENCLOSURE DUPLEX RECEPTACLE TO THE EXISTING UPS POWER PANEL UPWL-1A WITHIN THE EXISTING BUILDING. COORDINATE CONDUIT PATHWAY IN THE FIELD PER FIELD CONDITIONS. REFER TO THE ELECTRICAL DISTRIBUTION DIAGRAM ON DRAWING E6.01 AND PANEL SCHEDULES ON DRAWING E7.01 FOR FEEDER AND CONDUIT SIZES.
27. ROUTE (2) NEW 1-1/4" CONDUITS FROM OUTDOOR PULL BOX TO THE NEW ELECTRICAL POWER PANEL EVSE WITHIN THE EXISTING BUILDING. INSTALL CONDUITS VIA DIRECTIONAL DRILLING BELOW EXISTING PARKING LOT AREA AND SIDEWALKS.

HANDHOLE SCHEDULE	
#	HANDHOLE FOR FUTURE EVSE CHARGER. ANTICIPATED BASIS OF DESIGN: DUAL PORT CHARGE POINT 6000 SERIES. NUMBERS INDICATED ARE ONLY INTENDED TO IDENTIFY THE EVSE CHARGER LOCATION NUMBER. REFER TO KEYED NOTE 5, DETAIL 1 ON E6.01 FOR HANDHOLE SIZING AND ADDITIONAL INFORMATION. '#' DESIGNATES THE FUTURE EVSE CHARGER LOCATION NUMBER.



1 ELECTRICAL NEW WORK PLAN

SCALE: 1/8" = 1'-0"

NEW WORK PLAN DRAWING GENERAL NOTES :

1. FIXTURES AND DEVICES INDICATED WITH AN '(N)' ARE NEW.
2. ALL FIXTURES AND DEVICES INDICATED ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE. FIXTURES INDICATED WITH AN '(E)' ARE ALSO EXISTING TO REMAIN. FIXTURES AND DEVICES TO MAINTAIN CONNECTION TO EXISTING CIRCUITS. CONTRACTOR MAY RE-USE FIXTURES (LIGHTS OR EXIT SIGNS), PROVIDED THEY ARE DEEMED IN ACCEPTABLE QUALITY BY THE OWNER AND ARCHITECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANNING, LAYING OUT, COORDINATING, AND INSTALLING THE NEW ELECTRICAL CIRCUITING IN A MANNER THAT IS AS CLEAR AND CONCISE AS FEASIBLE. THE INTENT IS FOR THE CIRCUITING BETWEEN FIXTURES AND OTHER DEVICES TO BE MANAGEABLE AND CLEAR TO NFCU FACILITIES AND CONTRACTORS IN THE FUTURE SHOULD TRACING AND REPAIR BE NECESSARY. THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW BY NFCU, THE ARCHITECT, AND THE ENGINEER, A DETAILED SHOP DRAWING SHOWING THE ROUTING/LOCATIONS, SIZES (CONDUIT AND WIRING), PANEL NAME/CIRCUIT NUMBER, AND DEPTH BELOW GRADE. THE CONTRACTOR SHALL NOT INSTALL ANY BURIED CONDUIT OR WIRING UNTIL SUCH SHOP DRAWING HAS BEEN RETURNED TO THE CONTRACTOR AND DEEMED READY TO PROCEED.
4. SEE ELECTRICAL DISTRIBUTION DIAGRAM ON DRAWING E6.01 FOR INFORMATION REGARDING FEEDER SIZING.
5. CONDUIT ROUTING INDICATED ON PLANS IS DIAGRAMMATIC ONLY. EXACT ROUTING TO BE COORDINATED WITH FIELD CONDITIONS AND BETWEEN ALL TRADES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO DEMOLITION OR EXCAVATION
7. CONTRACTOR SHALL ERECT ALL NECESSARY PROTECTIVE DEVICES AROUND THE LIMITS OF CONSTRUCTION AND PROVIDE PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL MEASURES DURING CONSTRUCTION AS NEEDED.
8. DIRECTIONAL DRILL UNDER EXISTING CURBS AND SIDEWALKS TO EXTENT POSSIBLE TO MINIMIZE DISTURBANCE.
9. WHERE THE NEW EQUIPMENT LOCATIONS INTERFERE WITH EXISTING BUSHES, THE CONTRACTOR SHALL REMOVE BUSHES INCLUDING ROOTS, BACKFILL WITH SUITABLE SOIL, AND REPLACE WITH SOD. COORDINATE ALL WORK WITH NFCU, ARCHITECT, AND LANDSCAPE ARCHITECT PRIOR TO ANY WORK THAT IMPACTS LANDSCAPING.
10. CONTRACTOR SHALL COORDINATE SUBSURFACE UTILITY MARKOUT PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL SUBMIT A DETAILED PROPOSED WORK PLAN FOR THE INSTALLATION OF UNDERGROUND CONDUIT PRIOR TO CONSTRUCTION START. REFER TO DRAWING E1.01 FOR REQUIREMENTS AND INFORMATION.
12. THESE DRAWINGS INDICATE A PROPOSED BASIS OF DESIGN PATH AND MEANS OF EXTENDING NEW CONDUITS/CIRCUITS FROM ONE SIDE OF THE PAVED AREA (INCLUDING SIDEWALK) AND THE OTHER SIDE, NAMELY DIRECTIONAL DRILLING, WITH PULL BOXES ON EACH END. THE INTENT OF THE BASIS OF DESIGN IS TO AVOID CUTTING, TRENCHING, AND PATCHING THE PAVED AREA. THE OWNER, ARCHITECT, AND ENGINEER WILL CONSIDER SUGGESTIONS OFFERED BY THE CONTRACTOR IN THE BIDDING PHASE FOR ALTERNATE PATH(S) AND/OR MEANS OF EXTENDING NEW CONDUITS/CIRCUITS FROM ONE SIDE TO THE OTHER SIDE. ALL SUCH SUGGESTIONS SHALL BE COMPLETE WITH DETAILED DESCRIPTION AND DIAGRAM/DRAWING OF THE CONTRACTOR'S PROPOSED ROUTING AND MEANS, IMPACT ON PROJECT SCHEDULE, AND IMPACT ON BID COST (WHETHER DEDUCTIVE OR ADDITIVE). THE CONTRACTOR SHALL NOT PROCEED WITH A PATH OR MEANS OTHER THAN THE BASE BID WITHOUT THE OWNER'S WRITTEN APPROVAL. ANY ALTERNATE PATH AND MEANS THAT INVOLVES CUTTING, TRENCHING, AND PATCHING THE PAVED AREA SHALL BE REQUIRED TO RESTORE THE PAVED AREA SURFACE AND APPEARANCE TO MATCH EXISTING TO THE APPROVAL OF THE OWNER WHO RESERVES THE RIGHT TO REJECT ANY WORK. BY PROPOSING AN ALTERNATE APPROACH, THE CONTRACTOR ACCEPTS THESE REQUIREMENTS AND CONDITIONS. REFER TO THE SPECIFICATIONS AND GENERAL CONDITIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS APPLICABLE TO ALTERNATE APPROACHES.
13. ALL EXPOSED WORK SHALL BE FULLY PRESENTED TO AND APPROVED BY NFCU PRIOR TO COMMENCING ANY OF THE WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, CONDUITS AND OTHER ITEMS INSTALLED ON THE EXTERIOR OF THE BUILDING AND ON THE RETAINING WALL. IN ADDITION, ALL LOCATIONS OF INGROUND BOXES AND OTHER DEVICES SHALL BE APPROVED BY NFCU AND THE ARCHITECT PRIOR TO COMMENCING THE INSTALLATION.
14. CONTRACTOR SHALL SUBMIT 1/8" SCALE SHOP DRAWING SET INCLUDING ALL INTENDED INSTALLATION METHODS, CONDUIT RUNS, PULL BOXES, AND OTHER PERTINENT INFORMATION.

01 - LUMINAIRE SCHEDULE

MARK	DESCRIPTION	MOUNTING	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN MODEL NUMBER	LAMPS NO.	LAMPS WATTS	LAMPS TYPE	VOLTS	BALLAST/DRIVER or DIMMING	REMARKS
H	OUTDOOR POLE LIGHT	MATCH BASE BUILDING	MATCH BASE BUILDING	MATCH BASE BUILDING	1	38	W LED	120	MATCH BASE BUILDING	FIXTURE, LAMP, AND POLE PROVIDED BY NFCU
L	DENALI LED	360 HD	B-K LIGHTING	DE-LED-TR-X125-WFL-9-C-010-277	1	21	W LED	277	0-10V	

SITE LIGHTING

THE FOLLOWING SHEETS SHOW LIGHT FIXTURE CUTSHEETS AND FOOTCANDLES FOR EACH FIXTURE

N

Dewberry Architects Inc.
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678.530.0022
GA Lic. No. PEF002398 (6/30/2020)

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NAVY FEDERAL CREDIT UNION HQ2 ATM ADDITION

1007 ELECTRIC AVE
VIENNA, VA 22180

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Dewberry Engineers Inc.
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Fairfax, VA 22031
703 698 9440 Phone
703 849 4881 Fax

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Raymond S Holdener Digitally signed by Raymond S Holdener 2025.04.24 17:32:08-04'00'

COMMONWEALTH OF VIRGINIA
RAYMOND S. HOLDENER
Lic. No. 0402020002
PROFESSIONAL ENGINEER

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Associated Space Design, Inc. 2024

NO:	DATE:	REMARKS:
2	4/2/2025	ADDENDUM 2
1	3/13/2025	ISSUED FOR PERMIT AND PRICING
0	1/24/2025	ISSUED FOR PERMIT AND PRICING

REVISIONS:

DRAWING TITLE: ELECTRICAL NEW WORK PLAN

PROJECT NO.:	ISSUE DATE:
50184423	04.02.25
DRAWN BY: CB	CHECKED BY: RH

SHEET NUMBER: **E1.01**

3/20/2025 6:07:15 AM
U:\DEWBERRY\DEWBERRY\ROOT LOCAL\OFFICE\SF\ARFAX\ABES\TOLK\PROJECT_DELIVERABLE_DATA\PROJECT\50184423 - NFCU HQ2 ATM PROJECT\CAD\ELECTRICAL\E1.01 ELECTRICAL NEW WORK PLAN.DWG

A POLE LIGHTING (2 NEW TO MATCH ALL EXISTING INCLUDING HEIGHT, LUMEN OUTPUT, SPREAD, ETC.)

Submitted by Chesapeake Lighting

CapitalTristate — THE ELECTRICAL DISTRIBUTOR OF CHOICE

Job Name:	Catalog Number:	Type:
(new) NAVY FEDERAL CREDIT UNION - HDQ CAMPUS DEVELOPMENT	GLEON-AE-02-LED-E1-SL4-BZ-700/ LS/HSS-BZ Notes:	H1 PROJECT16-69677

McGraw-Edison

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 6000K CCT and 3000K CCT.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

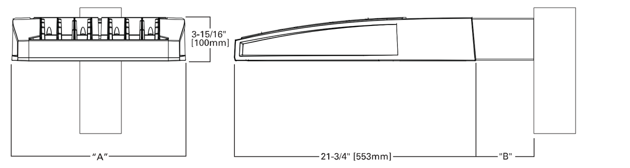
Mounting
STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during assembly. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. 3G vibration rated. QUICK MOUNT ARM: Arm is bolted directly to the pole and the fixture slides onto the quick mount arm and is secured via a single fastener, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty
Five-year warranty.

GLEON
GALLEON LED
1-10 Light Squares
Solid State LED
AREA/SITE LUMINAIRE

DIMENSIONS

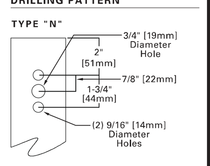


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length [1]	Weight with Arm (lbs.)	EPA with Arm [2] (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



CERTIFICATION DATA
UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium™ Qualified*

ENERGY DATA
Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

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*www.designlights.org

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Submitted by Chesapeake Lighting

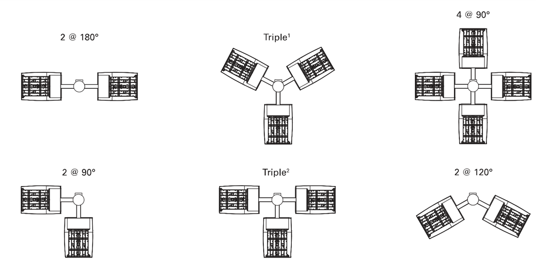
CapitalTristate — THE ELECTRICAL DISTRIBUTOR OF CHOICE

Job Name:	Catalog Number:	Type:
(new) NAVY FEDERAL CREDIT UNION - HDQ CAMPUS DEVELOPMENT	GLEON-AE-02-LED-E1-SL4-BZ-700/ LS/HSS-BZ Notes:	H1 PROJECT16-69677

GLEON GALLEON LED

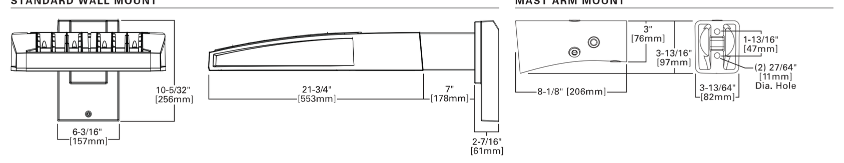
ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart
GLEON-AE-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AE-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AE-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AE-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AE-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AE-10	16" Extended Arm (Required)	16" Extended Arm (Required)

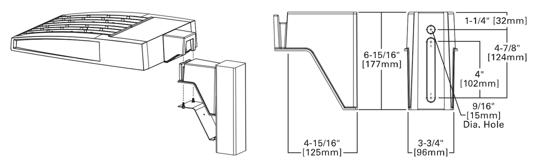


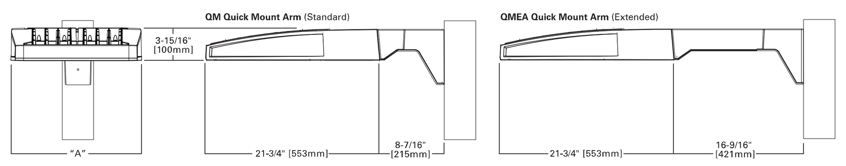
NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

STANDARD WALL MOUNT / MAST ARM MOUNT



QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)





QUICK MOUNT ARM DATA

Number of Light Squares [1, 2]	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	15-1/2" (394mm)	35 (15.91 kgs.)	38 (17.27 kgs.)	1.11
5-6 [3]	21-5/8" (549mm)	46 (20.91 kgs.)	49 (22.27 kgs.)	
7-8	27-5/8" (702mm)	56 (25.45 kgs.)	59 (26.82 kgs.)	

NOTES: 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-6 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole.

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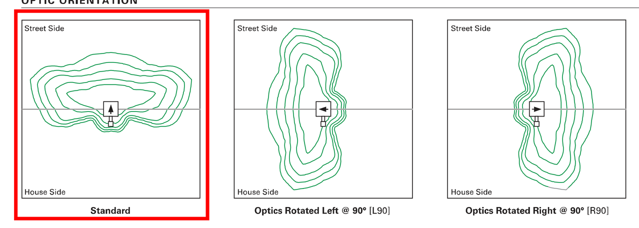
Submitted by Chesapeake Lighting

CapitalTristate — THE ELECTRICAL DISTRIBUTOR OF CHOICE

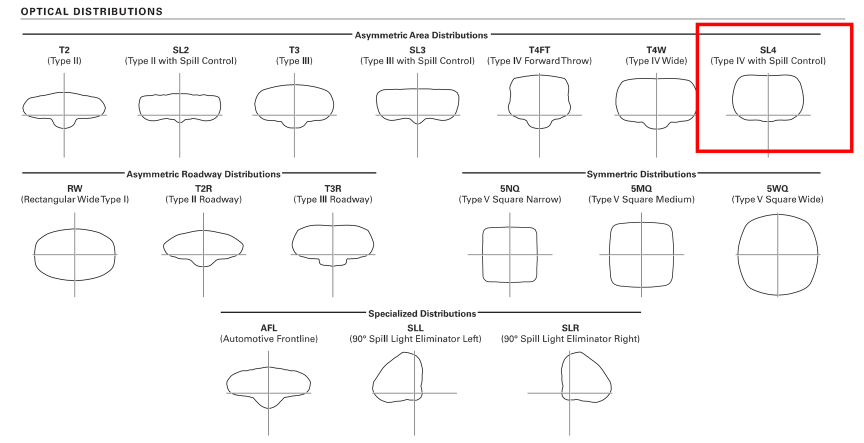
Job Name:	Catalog Number:	Type:
(new) NAVY FEDERAL CREDIT UNION - HDQ CAMPUS DEVELOPMENT	GLEON-AE-02-LED-E1-SL4-BZ-700/ LS/HSS-BZ Notes:	H1 PROJECT16-69677

GLEON GALLEON LED

OPTIC ORIENTATION



OPTICAL DISTRIBUTIONS



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CapitalTristate — THE ELECTRICAL DISTRIBUTOR OF CHOICE

Job Name:	Catalog Number:	Type:
(new) NAVY FEDERAL CREDIT UNION - HDQ CAMPUS DEVELOPMENT	GLEON-AE-02-LED-E1-SL4-BZ-700/ LS/HSS-BZ Notes:	H1 PROJECT16-69677

GLEON GALLEON LED

NOMINAL POWER AND LUMENS (700MA)

Number of Light Squares		1	2	3	4	5	6	7	8	9	10
Drive Current		700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA
Nominal Power (Watts)		38	72	105	138	176	210	243	276	314	348
Input Current @ 120V (A)		0.32	0.59	0.86	1.14	1.45	1.72	2	2.28	2.58	2.86
Input Current @ 208V (A)		0.21	0.36	0.51	0.67	0.87	1.02	1.18	1.34	1.53	1.69
Input Current @ 240V (A)		0.19	0.32	0.45	0.59	0.77	0.90	1.04	1.18	1.35	1.49
Input Current @ 277V (A)		0.20	0.29	0.40	0.51	0.69	0.80	0.91	1.02	1.20	1.31
Optics											
T2	Lumens	3,854	7,531	11,237	14,847	18,395	22,013	26,033	29,497	32,904	36,430
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T2R	Lumens	4,091	7,995	11,929	15,762	19,529	23,370	27,638	31,316	34,932	38,676
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3	Lumens	3,928	7,676	11,453	15,133	18,750	22,437	26,534	30,065	33,537	37,132
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T3R	Lumens	4,015	7,846	11,707	15,469	19,166	22,936	27,124	30,733	34,283	37,957
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T4FT	Lumens	3,951	7,720	11,519	15,221	18,858	22,567	26,688	30,240	33,732	37,347
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	Lumens	3,900	7,620	11,370	15,024	18,615	22,276	26,343	29,849	33,296	36,864
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL2	Lumens	3,847	7,518	11,217	14,821	18,364	21,975	25,988	29,447	32,847	36,368
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
SL3	Lumens	3,927	7,675	11,451	15,131	18,747	22,434	26,531	30,061	33,533	37,126
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL4	Lumens	3,731	7,292	10,880	14,376	17,812	21,315	25,208	28,562	31,861	35,275
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5
5NQ	Lumens	4,051	7,916	11,811	15,606	19,336	23,139	27,365	31,006	34,587	38,294
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
5MQ	Lumens	4,125	8,062	12,029	15,894	19,692	23,565	27,869	31,577	35,224	38,999
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
5WQ	Lumens	4,136	8,083	12,061	15,936	19,745	23,628	27,943	31,661	35,318	39,103
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
SLL/SLR	Lumens	3,451	6,744	10,063	13,296	16,474	19,714	23,314	26,416	29,467	32,625
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
RW	Lumens	4,014	7,844	11,704	15,465	19,162	22,930	27,118	30,726	34,274	37,948
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
AFL	Lumens	4,029	7,873	11,747	15,522	19,231	23,014	27,216	30,838	34,399	38,086
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

* Nominal data for 4000K CCT.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C*	> 90%	> 170,000

* 50°C lumen maintenance data applies to 530mA and 700mA drive currents.

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Submitted by Chesapeake Lighting

CapitalTristate — THE ELECTRICAL DISTRIBUTOR OF CHOICE

Job Name:	Catalog Number:	Type:
(new) NAVY FEDERAL CREDIT UNION - HDQ CAMPUS DEVELOPMENT	GLEON-AE-02-LED-E1-SL4-BZ-700/ LS/HSS-BZ Notes:	H1 PROJECT16-69677

GLEON GALLEON LED

ORDERING INFORMATION

Sample Number: GLEON-AE-04-LED-E1-T3-GM-700

Product Family [1, 2]	Light Engine	Number of Light Squares [3]	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON=Galleon	**AE**=1A Drive Current	**01**=1 **02**=2 **03**=3 **04**=4 **05**=5 **06**=6 **07**=7 [4] **08**=8 [4] **09**=9 [5] **10**=10 [5]	**LED**=Solid State Light Emitting Diodes	**E1**=(120-277V) **347**=347V [6] **480**=480V [6, 7]	**T2**=Type II **T2R**=Type II Roadway **T3**=Type III **T3R**=Type III Roadway **T4FT**=Type IV Forward Throw **T4W**=Type IV Wide **5NQ**=Type V Narrow **5MQ**=Type V Square Medium **5WQ**=Type V Square Wide **SL2**=Type II w/Spill Control **SL3**=Type III w/Spill Control **SL4**=Type IV w/Spill Control **SLL**=90° Spill Light Eliminator Left **SLR**=90° Spill Light Eliminator Right **RW**=Rectangular Wide Type I **AFL**=Automotive Frontline	**AP**=Grey **BZ**=Bronze **BK**=Black **DP**=Dark Platinum **GM**=Graphite Metallic **WH**=White	**[Blank]**=Arm for Round or Square Pole **EA**=Extended Arm [8] **MA**=Mast Arm Adapter [9] **WM**=Wall Mount **QM**=Quick Mount Arm (Standard Length) [10] **QMEA**=Quick Mount Arm (Extended Length) [11]

Options (Add as Suffix)

2L=Two Circuits [12, 13]
7030=70 CRI / 3000K [14]
8030=80 CRI / 3000K [15]
7050=70 CRI / 5000K [15]
7060=70 CRI / 6000K [14]
530=Drive Current Factory Set to 530mA [16]
700=Drive Current Factory Set to 700mA [16]
P=Button Type Photocontrol (120, 208, 240 or 277V)
PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle
R=NEMA Twistlock Photocontrol Receptacle
HA=50°C High Ambient [13, 17]
MS/DIM-L08=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height [18, 19, 20, 21, 22]
MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height [18, 19, 20, 21, 22]
MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height [18, 19, 20, 21]
MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range) [18, 19, 20, 21, 25]
MS/X-L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height [18, 19, 20, 21, 22, 26]
MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height [18, 19, 20, 21, 23, 26]
MS/X-L40=Bi-Level Motion Sensor, 21' - 40' Mounting Height [18, 19, 20, 21, 24, 26]
MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range) [18, 19, 20, 21, 25, 26]
MS-L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height [18, 19, 20, 21, 22]
MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height [18, 19, 20, 21, 23]
MS-L40=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height [18, 19, 20, 21, 24]
MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range) [18, 19, 20, 25]
DIMRF-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height [27]
DIMRF-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height [27]
L90=Optics Rotated 90° Left
R90=Optics Rotated 90° Right
MT=Factory Installed Mesh Top
TH=Tool-less Door Hardware
LCF=Light Square Trim Plate Painted to Match Housing [28]
HSS=Factory Installed House Side Shield [29]
CE=CE Marking [30]

Accessories (Order Separately)

OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V
OA/RA1027=NEMA Photocontrol - 480V
OA/RA1201=NEMA Photocontrol - 347V
OA/RA1013=Photocontrol Shorting Cap
OA/RA1014=120V Photocontrol
MA1252=10kV Surge Module Replacement
MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon
MA1037-XX=2 @ 180° Tenon Adapter for 2-3/8" O.D. Tenon
MA1197-XX=3 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon
MA1188-XX=4 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon
MA1189-XX=2 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon
MA1190-XX=3 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon
MA1191-XX=2 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon
MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon
MA1039-XX=2 @ 180° Tenon Adapter for 3-1/2" O.D. Tenon
MA1192-XX=3 @ 120° Tenon Adapter for 3-1/2" O.D. Tenon
MA1193-XX=4 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon
MA1194-XX=2 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon
MA1195-XX=3 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon
FSIR-100=Wireless Configuration Tool for Occupancy Sensor [31]
GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares
GLEON-MT2=Field Installed Mesh Top for 5-6 Light Squares
GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares
GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares
GLEON-QM=Quick Mount Arm Kit [10]
GLEON-QM-EA=Quick Mount Extended Length Arm Kit [11]
LS/HSS=Field Installed House Side Shield [29, 32]

BZ

NOTES:
1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
2. DesignLights Consortium™ Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
3. Standard 4000K CCT and minimum 70 CRI.
4. Not compatible with extended quick mount arm (QMEA).
5. Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA).
6. Requires the use of a step down transformer when combined with MS/DIM, MS/X or DIMRF.
7. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
8. May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
9. Factory installed.
10. Maximum 8 light squares.
11. Maximum 6 light squares.
12. 2L is not available with MS/X or MS/DIM at 347V or 480V. 2L in AE-02 through AE-04 requires a larger housing, normally used for AE-05 or AE-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
13. Not available with LumaWatt wireless sensors.
14. Extended lead times apply. Use dedicated IES files for 3000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
15. Extended lead times apply. For 8030, factor 7030 IES files x .92 (8% lumen loss). For 7050, use 7060 IES files.
16. 1 Amp standard. Use dedicated IES files for 530mA and 700mA when performing layouts. These files are published on the Galleon luminaire product page on the website.
17. 50°C lumen maintenance data applies to 530mA and 700mA drive currents.
18. Consult factory for more information.
19. Utilizes internal step-down transformer when 347V or 480V is selected.
20. The FSIR-100 accessory is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
21. Not available with HA option.
22. Approximately 22' detection diameter at 8' mounting height.
23. Approximately 40' detection diameter at 20' mounting height.
24. Approximately 60' detection diameter at 40' mounting height.
25. Approximately 100' detection diameter at 40' mounting height.
26. Replace X with number of light squares operating in low output mode.
27. LumaWatt wireless sensors are factory installed only requiring network components RF-EM-1, RF-GW-1 and RF-ROUT-1 in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
28. Not available with house side shield (HSS).
29. Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected.
30. CE is not available with the DIMRF, MS, MS/X, MS/DIM, P, R or PER7 options. Available in 120-277V only.
31. This tool enables adjustment of parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
32. One required for each Light Square.

EATON Powering Business Worldwide

Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

TD500020EN
2016-01-29 10:56:52

EXISTING POLE LIGHT

B

CANOPY LIGHTING

DENALI LED (INTEGRAL)

IP66 RATED

DATE: | PROJECT: | TYPE:

CATALOG NUMBER LOGIC:

*Accommodates up to 2 lens/shielding media.

**120V only.

TITLE 24, JA8 COMPLIANT

CATALOG NUMBER LOGIC

Example: DE - LED - TR - x98 - SP - BZW - 9 - 11 - A - NON - 120 - 25

MATERIAL

Aluminum

SERIES

DE - Denali

SOURCE

LED - Chip on Board (COB) Technology

HOUSING

TR - Integral Driver

LED TYPE

x98 - 13W/2700K/80CRI	x101 - 13W/2700K/90CRI	✓
x99 - 13W/3000K/80CRI	x102 - 13W/3000K/90CRI	✓
x103 - 13W/3500K/80CRI	x104 - 13W/3500K/90CRI	✓
x100 - 13W/4000K/80CRI	x121 - 13W/4000K/90CRI	✓
x122 - 21W/2700K/80CRI	x126 - 21W/2700K/90CRI	✓
x123 - 21W/3000K/80CRI	x127 - 21W/3000K/90CRI	✓
x124 - 21W/3500K/80CRI	x128 - 21W/3500K/90CRI	✓
x125 - 21W/4000K/80CRI	x129 - 21W/4000K/90CRI	✓

OPTICS

SP - Spot (17°) FL - Flood (45°) WFL - Wide Flood (55°)

FINISH (See page 3 for full-color swatches)

Standard Finishes (BZP, BZW, BLP, BLW, WHP, WHW, SAP, VER)

Premium Finish (ABP, AMG, AQW, BCM, BGE, BPP, CAP, CMG, CRM, HUG, NBP, OCP, RMG, SDS, SMG, TXF, WCP, WIR)

Also available in RAL Finishes

LENS TYPE*

9 - Clear (Standard)

12 - Soft Focus 13 - Rectilinear

SHIELDING*

11 - Honeycomb Baffle

CAP STYLE

A - 45°

B - 90°

C - Flush

D - 45° Less Weephole (Downward Aiming Only)

E - 90° Less Weephole (Downward Aiming Only)

CONTROLS

NON - Non Dimming

ELV - Dimming Driver (For use with Electronic Low Voltage Dimmer)**

INC - Dimming Driver (For use with incandescent dimmer)**

010 - 0-10V Dimming Driver (Dimming ≤3-100%)

INPUT VOLTAGE

120 - 120 VAC

277 - 277 VAC

B-K LIGHTING | MADE IN THE USA | 559.438.5800 | INFO@BKLIGHTING.COM | BKLIGHTING.COM

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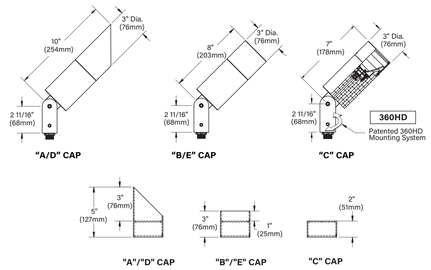
10/27/2023 SKU-1245 P1
SUB-2783-00

DENALI LED (INTEGRAL)

IP66 RATED

DATE: | PROJECT: | TYPE:



STANDARD FINISHES

Satin Black (BLP), Satin Bronze (BZP), Satin White (WHP), Satin Aluminum (SAP), Black Wrinkle (BLW), Bronze Wrinkle (BZW), White Wrinkle (WHW), Verde (VER)

Click Here to view larger, full-color swatches of all available finishes on our website.

PREMIUM FINISHES

Cascade Mtn. Granite (CMG), Rocky Mtn. Granite (RMG), Sierra Mtn Granite (SMG), Aleutian Mtn Granite (AMG), Textured Forest (TXF), Black Chrome (BCM), Beige (BGE), Weathered Copper (WCP), Old Copper (OCP), Hunter Green (HUG), Antique Brass Powder (ABP), Brown Patina Powder (BPP), Sonoran Desert Sandstone (SDS), Weathered Iron (WIR), Clear Anodized Powder (CAP), Cream (CRM), Antique White (AQW), Natural Brass Powder (NBP)

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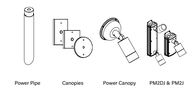
10/27/2023 SKU-1245 P1
SUB-2783-00

DENALI LED (INTEGRAL)

IP66 RATED

DATE: | PROJECT: | TYPE:

Accessories (Configure separately)



Power Pipe | Canopies | Power Canopy | PM2DI & PM2J

SPECIFICATIONS

ELECTRICAL	WATTAGE	13W or 21W LED
	LED	COB technology and modular design with electrical quick disconnects allow for easy field upgrade and maintenance. LM-80 certified. Title 24, JA8 compliant options available. Minimum 50,000 hour rated life at 70% of initial lumens (L70).
	COLOR MANAGEMENT	COB technology delivers natural white light. Exact color point conformity exceeds ANSI C78.377 standard. Module exceeds 80 CRI (RA=80, R9≥6). Color point uniformity 2 SDCM color control for 2700K-4000K CCT.
	WIRING	INC/ELV Wiring: 3 Wire, 18GA, Stranded, XLPE, 125°C, 300V, UL3265 rated wire 0-10 Wiring: 5 Wire, (3) 18GA and (2) 22GA, Stranded, XLPE, 125°C, 300V, UL3265 rated wire
	DRIVER	Incandescent/ELV Control Option Driver: Dimming driver for use with standard incandescent or electronic low voltage dimmers (10-100% range), 120VAC only. 0-10 Control Option Driver: Dimming driver for use with standard 0-10V dimmers (≤3-100% dim. range), 120-277VAC. With [1] 440mA (13W) / 700mA (21W), 50/60Hz. >0.9 Power Factor, (INC/ELV)10.0A/(0-10) <250mA in-rush current , .20%THD (nominal at 120VAC full load). Output over-voltage, overcurrent, and short circuit protection with auto recovery. Class 2 power supply. FCC47CFR Part 15 Compliant Class B (120VAC)/Class A (277VAC).
PHYSICAL	MATERIALS	Furnished in copper-free aluminum (6061-T6).
	BODY	Unibody design with enclosed, water-proof wireway and integral heat sink is fully machined from solid billet. Anti-condensation and corrosion vent equalizes fixture pressure and eliminates potential for damage to internal components.
	KNUCKLE	360HD Mounting System features a mechanical taperlock, allowing full 180° vertical adjustment without the use of aim-limiting serrated teeth. High temperature, silicone 'O' Ring provides water-tight seal and compressive resistance to maintain fixture position. Design withstands 73 lbs. static load prior to movement for optical alignment with a ½" pipe thread for mounting. Biaxial source control additionally provides 360° horizontal rotation in addition to vertical adjustment. Aim & Lock technology allows precision adjustment without the redundant tightening and loosening of knuckle screw.
	CAP	Fully machined and accommodates two (2) lens or louver media.
	LENS	Shock-resistant, tempered glass lens is factory adhered to fixture cap and provides hermetically sealed optical compartment.
	HARDWARE	Tamper-resistant, stainless steel hardware. 360HD hardware is black oxide treated for additional corrosion resistance.
	OPTICS	Interchangeable optics permit changes in the field.
	FINISH	StarGuard, our 15-stage chromate-free process, cleans and conversion coats aluminum components prior to application of Class 'A' TGIC polyester powder coating and is RoHS compliant.
	WARRANTY	5-year limited warranty.
	CERTIFICATION & LISTING	UL tested to IESNA LM-79. UL Listed. Certified to CAN/CSA/ANSI Standards. RoHS compliant components. Suitable for indoor or outdoor use, in wet locations, and for installation within 4' of the ground. IP66 Rated. Made in the USA with sustainable processes.

TITLE 24, JA8

RoHS

MADE IN THE USA

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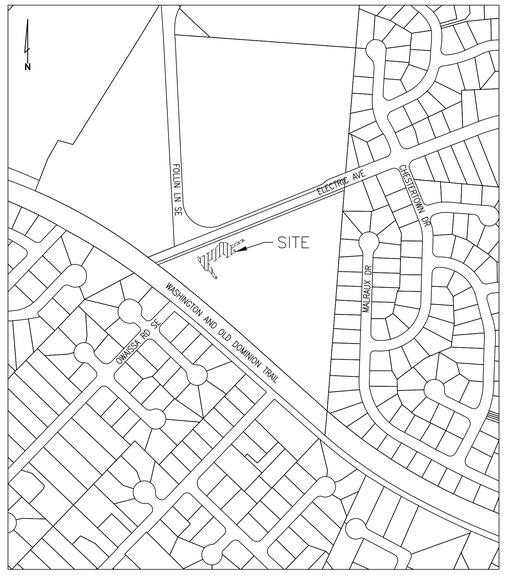
10/27/2023 SKU-1245 P1
SUB-2783-00

CANOPY LIGHTING FIXTURES ARE DIRECTED DOWN, NOT UP

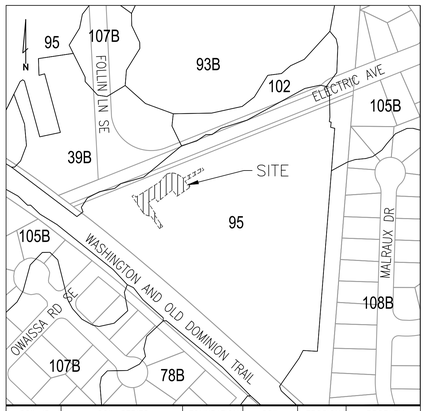
SITE PLAN
NAVY FEDERAL CREDIT UNION
ATM RELOCATION

Town of Vienna, Virginia

VICINITY MAP
SCALE 1"=300'



SOILS MAP
SCALE 1"=200'



SOIL ID NUMBERS	SOIL SERIES NAME	FOUNDATION SUPPORT	SOIL DRAINAGE	EROSION POTENTIAL	PROBLEM CLASS
39B	GLENELG SILT LOAM	GOOD	GOOD	HIGH	I
95	URBAN LAND	N/A	N/A	N/A	IVB
102	WHEATON LOAM	GOOD	FAIR	HIGH	IVB

IS THE SITE LOCATED ON NATURALLY OCCURRING ASBESTOS (NOA) SOIL?
YES ☐ NO ☒

(SOIL INFORMATION PER FAIRFAX COUNTY MAPPING)

OWNER INFORMATION:

TAX MAP #:	0393 ((2)) 3C
SITE ADDRESS	1007 ELECTRIC AVE VIENNA, VA 22180
OWNER:	NAVY FEDERAL CREDIT UNION DB 24392 PG 0503

SHEET INDEX

Sheet #	Sheet Title
C-001	COVER SHEET
C-002	ABBREVIATIONS, NOTES & LEGEND
C-100	PROPERTY MAP
C-101	EXISTING CONDITIONS AND DEMO PLAN
C-102	SITE PLAN
C-103	GRADING AND DRAINAGE PLAN
C-104	UTILITY PLAN
C-201	EROSION & SEDIMENT CONTROL PLAN PH I
C-202	EROSION & SEDIMENT CONTROL PLAN PH II
C-203	EROSION & SEDIMENT CONTROL NARRATIVE
C-204	EROSION & SEDIMENT CONTROL DETAILS
C-301	STORM SEWER PROFILES
C-501	CONSTRUCTION DETAILS
C-SW-200	SWM DRAINAGE MAP (PRE-DEVELOPMENT)
C-SW-201	SWM DRAINAGE MAP (POST-DEVELOPMENT)
C-SW-300	SWM NARRATIVE
C-SW-301	VRRM SPREADSHEET
C-SW-302	SWM COMPUTATIONS
C-SW-400	SWM DETAILS
C-SW-401	SWM DETAILS
C-SW-402	SWM DETAILS
C-SW-403	SWM DETAILS
C-SW-404	SWM DETAILS

ZONING TABULATION:

SITE AREA: 469,047 SF OR 10.77 AC
ZONING: CORPORATE PARK DISTRICT (CP)
EXISTING USE: PROFESSIONAL OFFICE

ZONING REQUIREMENTS	REQUIRED	EXISTING
MAXIMUM BUILDING HEIGHT:	45 FT	44.88 FT
MINIMUM YARD REQUIREMENTS :		
FRONT-	50 FT	124.21 FT
SIDE-	50 FT	104.19 FT
REAR-	50 FT	107.26 FT
MAXIMUM OPEN SPACE:	30% MIN	24.9%

PARKING TABULATION:

PARKING REQUIRED:

OFFICE:	234,391 SF
	RATE: 1SP/200 SF
	(BASED ON TOWN OF VIENNA CODE 18-130 C,H)
	234,291 / 200 = 1,172 SP
TOTAL PARKING REQUIRED:	1,172 SP
TOTAL PARKING PROVIDED:	
PRE-DEVELOPMENT:	1,184 SP
POST-DEVELOPMENT:	1,180 SP
H/C PARKING:	
REQUIRED:	22 SP INCLUDING 3 VAN
PROVIDED:	22 SP INCLUDING 6 VAN

ASD | SKY
3030 Clarendon Blvd.
Suite 350
Arlington, VA 22201
T 703.876.9600
www.asdsky.com

NAVY FEDERAL CREDIT UNION HQ2 ATM ADDITION

1007 ELECTRIC AVE
VIENNA, VA 22180

Dewberry
Dewberry Engineers Inc.
8401 Arlington Boulevard
Fairfax, VA 22031
703 698 9440 Phone
703 849 4881 Fax

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COMMONWEALTH OF VIRGINIA
Peter C. Colbert
NOT FOR CONSTRUCTION
4/28/2025
Lic. No. 20112
PROFESSIONAL ENGINEER

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Associated Space Design, Inc. 2024

NO:	DATE:	REMARKS:
1	TBD	ASI 01
0	1/24/2025	ISSUED FOR PERMIT AND PRICING

REVISIONS:

DRAWING TITLE:
COVER SHEET

PROJECT NO.: 50184423	ISSUE DATE: 25.04.28
DRAWN BY:	CHECKED BY:

SHEET NUMBER:
C-001

ABBREVIATIONS

A	A	AREA OR ARC
	AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
	AC	ACRE
	ACC	ACCESS DOOR
	ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
	ARCH	ARCHITECTURAL
	ASPH	ASPHALT
	ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
B	BB	BOTTOM OF LINE
	BC	BOTTOM OF CURB
	BF	BASEMENT FLOOR
	BLD	BUILDING
	BLDG	BUILDING
	BM	BENCHMARK
	BOV	BLOW OFF VALVE
	BRK	BRICK
	BRL	BUILDING RESTRICTION LINE
	BW	BOTTOM OF WALL
C	C	COEFFICIENT OF RUNOFF
	CATV	CABLE TELEVISION
	CC	CENTER TO CENTER
	CFS (Q)	CUBIC FEET PER SECOND
	CH	CHORD
	CG	CURB AND GUTTER
	CIP	CAST IRON PIPE
	℄	CENTERLINE
	CON	CONCRETE PAD
	CONC	CONCRETE
	CO	CLEAN OUT
	CONT.	CONTINUATION
	CS	CURB STOP
	CSP	CONCRETE STOOP
	CSW	CONCRETE SIDEWALK
	CT	COURT
	CN	(RUNOFF) CURVE NUMBER
D	d	DEPTH
	DA	DRAINAGE AREA
	DB	DEED BOOK
	DETL	DETAIL
	DI	DROP INLET
	DIP	DUCTILE IRON PIPE
	DOM	DOMESTIC
	DR	DRIVE
	DTL	DETAIL
	DWA	ASPHALT DRIVEWAY
	DWC	CONCRETE APRON
	DWG	DRAWING
	D/W	DRIVE WAY
	△	DELTA
E	E	RATE OF SUPERELEVATION IN FEET PER FOOT
	EC	EROSION CONTROL
	ESMT	EASEMENT
	EG	EDGE OF GUTTER
	ELEV	ELEVATION
	EP	EDGE OF PAVEMENT
	ES	END SECTION
	EW	END WALL
	EX	EXISTING
	EXIST	EXISTING
	ELEC	ELECTRICAL
	EBL	EAST BOUND LANE
F	F	FIRE LINE
	FAR	FLOOR AREA RATIO
	FC	FACE OF CURB
	FDC	FIRE DEPARTMENT CONNECTION (SIAMESE)
	FW	FAIRFAX WATER
	FF	FIRST FLOOR
	FFE	FINISHED FLOOR ELEVATION
	FG	FINISHED GRADE
	FH	FIRE HYDRANT
	FP	FLOOD PLAIN
	FCPA	FAIRFAX COUNTY PARK AUTHORITY
	FOY	FOYER
	FPS	FEET PER SECOND
	FT	FEET
G	G	GAS
	GF	GARAGE FLOOR
	GFA	GROSS FLOOR AREA
	Gr.	GRADE
	GR	GUARD RAIL
H	HC	HANDICAPPED PARKING SPACE
	HGL	HYDRAULIC GRADE LINE
	HP	HIGH POINT
	HR	HAND RAIL
	HT	HEIGHT
I	I	RAINFALL INTENSITY
	ID	INSIDE DIAMETER
	IN	INCH
	INV	INVERT
	IP	IRON PIPE
	IPF	IRON PIPE FOUND
	IPS	IRON PIPE SET
J	JB	JUNCTION BOX
K	K	SIGHT DISTANCE COEFFICIENT
L	L	LENGTH
	LAT	LATERAL
	LL	LOWER LEVEL
	LP	LOW POINT
	LS	LOADING SPACE
	LCG	LIMITS OF CLEARING & GRADING
M	M	MONUMENT FOUND
	MECH	MECHANICAL
	MH	MANHOLE
	MI	MILE
	MS	MEDIAN STRIP
	MSL	MEAN SEA LEVEL
	MIN	MINIMUM
	MAX	MAXIMUM
N	N/F	NOW OR FORMERLY
	NFA	NET FLOOR AREA
	NO., #	NUMBER
	NBL	NORTH BOUND LANE
O	OC	ON CENTER
	OD	OUTSIDE DIAMETER
	OH	OVERHEAD
P	P	PERIMETER
	PC	POINT OF CURVATURE
	PCC	POINT OF COMPOUND CURVES
	PCEP	POINT OF CURVE EDGE OF PAVEMENT
	PCTC	POINT OF CURVATURE TOP OF CURB
	PFM	PUBLIC FACILITIES MANUAL
	PG	PAGE
	PGL	POINT OF GRADE LINE
	PI	POINT OF INTERSECTION
	PL	PROPERTY LINE
	PMP	OLD PUMP
	PRC	POINT OF REVERSE CURVES
	PRELIM	PRELIMINARY
	PROP, PR	PROPOSED
	PT	POINT OF TANGENCY
	PVMT	PAVEMENT
	PVT	POINT OF VERTICAL TANGENT
	P&P	PLAN AND PROFILE
	PSI	POUNDS PER SQUARE INCH
Q	Q	AMOUNT OF RUNOFF
R	R	RADIUS
	RCP	REINFORCED CONCRETE PIPE
	RD	ROAD
	RESTR.	RESTRAINED (VALVE)
	RET	RETAINING
	REV	REVISION
	RR	RAILROAD
	RTE, RT	ROUTE
	R/W	RIGHT OF WAY
	RGP	ROUGH GRADING PLAN
	ROM	REMOTE OUTSIDE MONITOR
S	SAN	SANITARY
	SD	SIGHT DISTANCE
	SECT	SECTION
	SEW	SEWER
	SHT	SHEET
	SF	SQUARE FEET
	SP	SITE PLAN
	SPEC	SPECIFICATION
	ST	STREET
	STA	STATION
	STD	STANDARD
	STM	STORM
	SVC	SERVICE
	S/W	SIDE WALK
	Sx	CROSS SLOPE
T	T	TANGENT
	TB	TEST BORE
	TBR	TO BE REMOVED
	TC	TOP OF CURB
	TCAN	TRASH CAN
	TEL	TELEPHONE
	TP	TEST PIT
	TB	TOP OF BANK
	TW	TOP OF WALL
U	UD	UNDER DRAIN
	UG	UNDERGROUND
	UL	UPPER LEVEL
	UP	UTILITY POLE
V	V	VELOCITY
	VA	VAN ACCESSIBLE
	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
	VF	VERTICAL FOOT
W	W\M	WATER MAIN
	W\L	WATER LINE
	WBL	WEST BOUND LANE
	WSEL	WATER SURFACE ELEVATION
X		
Y	YI	YARD INLET
	YR	YEAR
Z	Z	SIDE SLOPES

LEGEND

ADDITIONAL LEGEND INFORMATION PROVIDED ON APPLICABLE SHEETS

PROPOSED IMPROVEMENTS BY OTHERS	
EXISTING INTERMEDIATE CONTOUR	86
EXISTING CONTOUR INDEX	200
PROPOSED CONTOUR	86
EXISTING EDGE OF PAVEMENT	EX. E.P.
PROPOSED EDGE OF PAVEMENT	PROP. E.P.
PROPOSED HEADER CURB	
EXISTING CURB	
PROPOSED CURB & GUTTER	
PROPOSED CG-6	CG-6
TRANSITION FROM CG-6 TO CG-6R	CG-6 CG-6R
EXISTING WATERLINE W/TEE	W W
PROPOSED WATERLINE W/TEE	W
EXISTING TELEPHONE LINE	T T
PROPOSED TELEPHONE LINE	T
EXISTING STORM SEWER	EX. 15" RCP SD
PROPOSED STORM SEWER	23 15" RCP 24
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS A SS
EXISTING ELECTRIC SERVICE	E E
PROPOSED ELECTRIC SERVICE	E
EXISTING GAS LINE	G
PROPOSED GAS LINE	G
PROPERTY LINE	
EASEMENT LINE	
CENTER LINE	10+00 11+00
LIMITS OF CLEARING & GRADING	
EXISTING SPOT ELEVATIONS	×12.0
PROPOSED SPOT ELEVATION	+12 0
EXISTING TREE LINE	
EXISTING TREE W/TRUNK DIAMETER	12'DIM.
EXISTING TREE W/DRIPLINE	
PROPOSED TREE	
FLOW LINE OF SWALE	
FENCE LINE	
EXISTING UTILITY POLE	
PROPOSED UTILITY POLE	
EXISTING FIRE HYDRANT	
PROPOSED FIRE HYDRANT	
EXISTING WATER VALVE	W
PROPOSED WATER VALVE	W
WATER METER (SINGLE & DOUBLE)	
STREET SIGN (SEE SIGNAGE PLAN)	
PARKING INDICATOR INDICATES THE NUMBER OF PARKING SPACES	9
TEST PIT	
EXISTING STREET LIGHT	
PROPOSED STREET LIGHT	
PROPOSED TRAFFIC SIGNAL (APPROX. LOCATIONS)	

GENERAL NOTES

ADDITIONAL DESIGN AND CONSTRUCTION NOTES ARE PROVIDED IN APPLICABLE SECTIONS.

1. ALL CONSTRUCTION SHALL CONFORM TO TOWN OF VIENNA AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
2. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE , AND LOCAL LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED TO, ENVIRONMENTAL PROTECTION AGENCY (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT, NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHAPS), AND NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEALTH (NIOSH).
3. WHEN DURING THE COURSE OF CONSTRUCTION, ANY OBJECT OF AN UNUSUAL NATURE IS ENCOUNTERED, THE CONTRACTOR SHALL CEASE WORK IN THAT AREA AND IMMEDIATELY NOTIFY THE PROPER AUTHORITY, TOWN OF VIENNA AND/OR THE ARCHITECT/ENGINEER.
4. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN IN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
5. ALL UTILITIES WHICH WILL BE PLACED UNDER EXISTING PUBLIC STREETS SHALL BE BORED OR JACKED, UNLESS PERMISSION TO OPEN CUT IS OBTAINED FROM VDOT.
6. CONTROLLED FILLS MUST BE COMPACTED TO 95% AS DETERMINED PER STANDARD PROCTOR AASHTO T-99 OR ASTM D 698. DENSITY MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER AND THE RESULTS SUBMITTED TO TOWN OF VIENNA PRIOR TO FOOTING CONSTRUCTION.
7. ALL FILL SOILS UNDER EXPANDED PAVED AREAS SHALL BE COMPACTED TO 95% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM SPECIFICATION D-698 STANDARD PROCTOR METHOD, WITHIN + OR - 2% OF OPTIMUM MOISTURE FOR THE FULL WIDTH OF ANY DEDICATED RIGHT-OF-WAY AND ALL PARKING LOTS; PRIVATE STREETS; PARKING BAYS; CURB AND GUTTER; AND SIDEWALKS ADJACENT TO STREETS AND PARKING LOTS (NOT INTENDED TO INCLUDE LEADWALKS), WITH UPPER 1.0 FT. COMPACTED TO 100% OF THE MAXIMUM DRY DENSITY PER ASTM D-698.
8. ALL STREET CUT AND PATCH WORK IN PUBLIC RIGHT-OF-WAY REQUIRED FOR UTILITIES INSTALLATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH TOWN OF VIENNA AND VDOT STANDARDS AND SPECIFICATIONS.
9. A SMOOTH GRADE SHALL BE MAINTAINED FROM EDGE OF PAVEMENT OF EXISTING ROAD TO PROPOSED CURB AND GUTTER AND/OR PROPOSED PAVEMENT TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR THE PONDING OF ANY WATER ON THE ROADWAY. REMOVE AND RECONSTRUCT EXISTING PAVEMENT AND/OR CURB AS DICTATED BY FIELD CONDITIONS TO PROVIDE POSITIVE DRAINAGE AT TIE-IN-POINTS.
10. PROPOSED SIDEWALKS MUST BE CONSTRUCTED WITH UD3 UNDERDRAINS WHEN LONGITUDINAL GRADES ARE 3% OR GREATER UNLESS SOIL TEST CONFIRM THAT THEY ARE NOT NEEDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION (APPLIES TO SIDEWALK IN RIGHT-OF-WAY ONLY).
11. THE DEVELOPER WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STREET AND UTILITIES WHICH OCCURS AS A RESULT OF HIS CONSTRUCTION PROJECT WITHIN OR CONTIGUOUS TO THE EXISTING RIGHT-OF-WAY.
12. COMPACTION OF BACKFILL IN UTILITY TRENCHES SHALL BE IN ACCORDANCE WITH TOWN OF VIENNA & V.D.O.T. STANDARDS & SPECIFICATIONS.
13. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO GRAVE SITES OR BURIAL PLOTS ON THIS PROPERTY.
14. THERE ARE NO DOWNSTREAM IMPOUNDMENTS IN THE INFLUENCE AREA OF THE PROPOSED DEVELOPMENT.
15. THIS PLAN COMPLIES FULLY WITH THE AMENDED CHESAPEAKE BAY PRESERVATION ORDINANCE PER THE JULY 7, 2003 BOARD POLICY FOR THE TREATMENT OF APPROVED AND PENDING PLANS OF DEVELOPMENT, WITH AN EFFECTIVE DATE OF NOVEMBER 18, 2003 AND WITH REVISIONS ADOPTED BY THE BOARD WITH AN EFFECTIVE DATE OF JULY 12, 2005.
16. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL. THE DEVELOPER SHALL SUBMIT A SIGNING, STRIPING AND/OR SIGNALIZATION PLAN TO THE VDOT LAND DEVELOPMENT SECTION A MINIMUM OF 30 DAYS PRIOR TO PERMIT APPLICATION. THE DEVELOPER SHALL NOT COMMENCE CONSTRUCTION OF ANY PAVEMENT COURSE WITHOUT AN APPROVED STRIPING PLAN.
17. ALL RETAINING WALLS 3' AND GREATER IN HEIGHT REQUIRE A SEPARATE BUILDING PERMIT.
18. ALL ROOF DRAINS AND NON-STANDARD PIPE WILL BE CONSTRUCTED UNDER A SEPARATE PLUMBING PERMIT PER IBC INTERNATIONAL PLUMBING CODE.
19. ALL EXTERIOR LIGHTING FIXTURES PROPOSED WITH THIS PLAN SHALL BE FULL CUT-OFF OR DIRECTIONALLY SHIELDED TYPES.
20. ALL ADA ACCESSIBILITY IMPROVEMENTS PROPOSED/SHOWN ON THIS PLAN, INCLUDING BUT NOT LIMITED TO PARKING SPACES, AISLES, ROUTES, AND SLOPES, COMPLY WITH THE 2010 ASA STANDARDS FOR ACCESSIBLE DESIGN AND THE 2012 USBC.

TOWN OF VIENNA GENERAL NOTES

1. A PRE-CONSTRUCTION MEETING MUST BE HELD PRIOR TO THE START OF CONSTRUCTION. CALL 703-255-6384 TO SCHEDULE THE PRE-CONSTRUCTION MEETING.
2. ALL CONSTRUCTION GENERATED DEBRIS MUST BE HAULED AWAY BY THE CONTRACTOR OR OWNER.
3. PRIOR TO THE REMOVAL OF ANY TOWN TREES (TREES WITHIN THE RIGHT OF WAY), THE APPLICANT OR THEIR REPRESENTATIVE SHALL CONTACT THE TOWN OF VIENNA ARBORIST AT 703-255-6360 TO COORDINATE HAVING THE TOWN ARBORIST ONSITE DURING ALL TOWN TREE REMOVAL.
4. TREE PROTECTION FOR ANY TOWN TREE, AS SHOWN ON PLAN, MUST BE INSTALLED PRIOR TO ANY SITE WORK.
5. IT IS UNLAWFUL TO PERFORM ANY CONSTRUCTION ABOVE FOUNDATION CORNERS PRIOR TO APPROVAL OF SETBACKS. WORK COMPLETED IN VIOLATION OF THIS REQUIREMENT IS SUBJECT TO DEMOLITION.
6. ALL DUMPSTERS/PODS ARE TO BE PLACED ON PRIVATE PROPERTY.
7. FRONT ELEVATION CHECKS ARE REQUIRED.
8. WALL CHECK SURVEYS ARE REQUIRED AND MUST BE SUBMITTED PRIOR TO CONSTRUCTION ABOVE FOUNDATION CORNERS.
9. A CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO OCCUPANCY. ALL REQUIRED DOCUMENTATION AND INSPECTIONS MUST BE SUBMITTED/COMPLETED BEFORE THE TOWN OF VIENNA WILL ISSUE A CERTIFICATE OF OCCUPANCY.
10. EXISTING SANITARY SEWER LATERALS ARE TYPICALLY CAPPED AT OR NEAR THE PROPERTY LINE. THE REUSE OF THE PORTION OF THE EXISTING SANITARY SEWER LATERAL BETWEEN THE TOWN OWNED SEWER MAIN AND THE CAPPED END MAY BE ALLOWED PROVIDING THAT A LICENSED PLUMBER CERTIFIES THAT THE EXISTING PIECE OF PIPE IS GRADED PROPERLY AND IN LIKE NEW CONDITION. THE REUSE OF A PORTION OF THE EXISTING LATERAL DOES NOT IMPLY THAT THE TOWN IS WARRANTING THE CONDITION IN ANY WAY.

SURVEY NOTES

1. THE SITE SHOWN HERON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM FIELD RUN BOUNDARY AND HORIZONTAL AND VERTICAL CONTROL SURVEY .
2. THE SITE SHOWN HERON IS REFERENCED TO THE NATIONAL VERTICAL DATUM 1929
3. THE BOUNDARY INFORMATION SHOWN HEREON, FROM EXISTING RECORDS, WAS COMPILED BY DEWBERRY ENGINEERS INC.
4. EXISTING TOPOGRAPHIC AND PLANIMETRIC INFORMATION WAS COMPILED FROM FIELD RUN SURVEY BY DEWBERRY ENGINEERS INC DATED 9-18-2024.
4. EXISTING STORM AND SANITARY UTILITY INFORMATION WAS COMPILED FROM FIELD SURVEY BY DEWBERRY ENGINEERS INC DATED 9-18-2024.

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Associated Space Design, Inc. 2024

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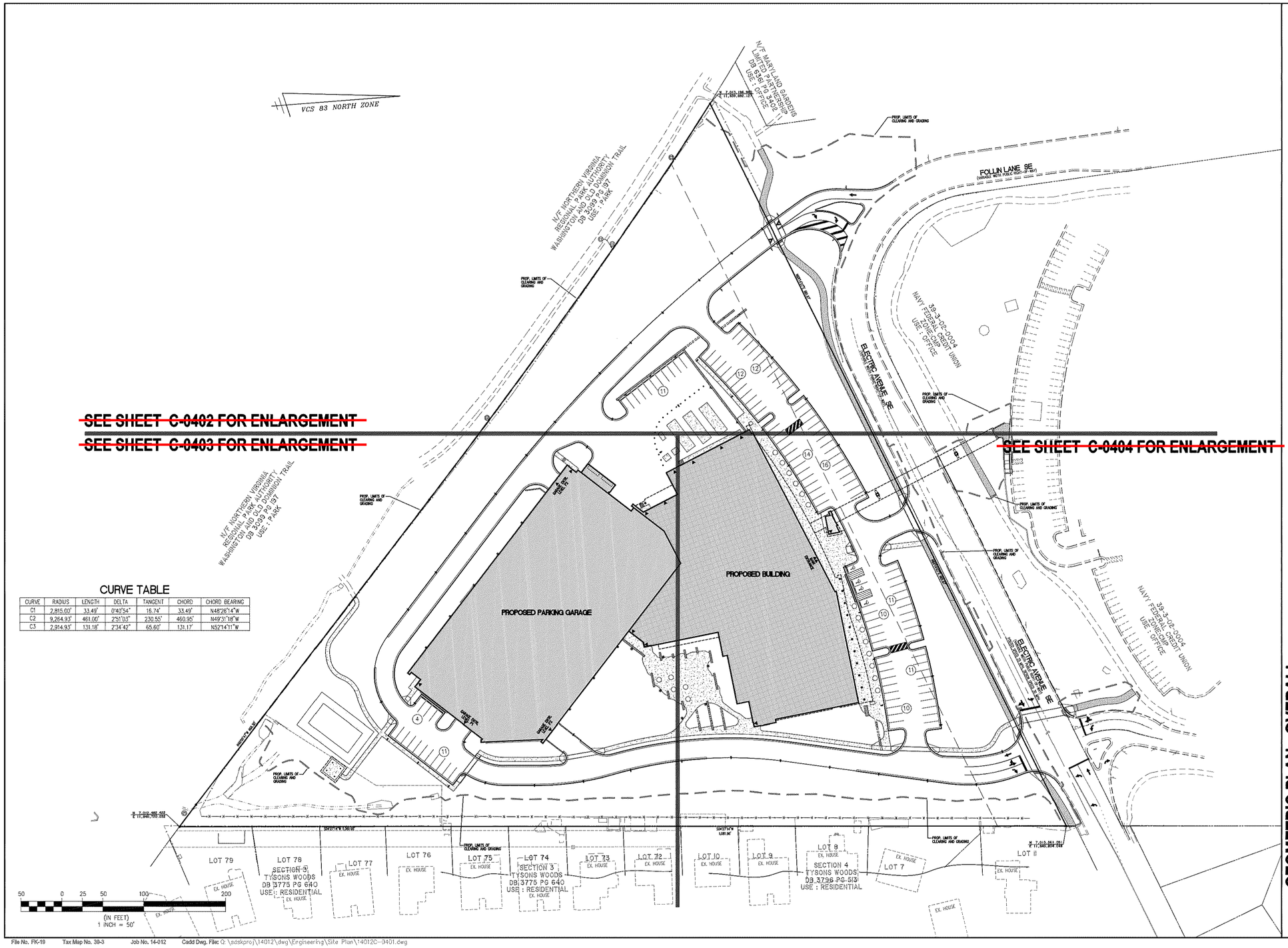
REVISIONS:

DRAWING TITLE:
ABBREVIATIONS NOTES AND LEGEND

PROJECT NO.:	ISSUE DATE:
50184423	25.04.28
DRAWN BY:	CHECKED BY:

SHEET NUMBER:
C-002



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
C1	2,815.00'	33.49'	0°40'54"	16.74'	33.49'	N48°26'14"W
C2	9,264.93'	461.00'	2°51'03"	230.55'	460.95'	N49°31'18"W
C3	2,914.93'	131.18'	2°34'42"	65.60'	131.17'	N52°14'11"W

File No. FK-19 Tax Map No. 39-3 Job No. 14-012 Cadd Dwg. File: Q:\sdskproj\14012\dwg\Engineering\Site Plan\14012C-0401.dwg

SHEET: C-0401

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(703) 532-6163 Fax (703) 533-1301
www.WLPINC.com
ESTABLISHED 1945

SCALE: 1"=50' DATE: 8/29/2014, 9/26/2014, 11/12/2014, 12/04/2014, 2/4/15 DRAWN: DYNBERNWISO/TT CHECKED: AVI/BP

ARON M. VINSON Lic. No.041851 2/4/15

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

GEOMETRIC PLAN - OVERALL
NAVY FEDERAL CREDIT UNION CAMPUS EXPANSION
TOWN OF VIENNA
FAIRFAX COUNTY, VIRGINIA

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COMMONWEALTH OF VIRGINIA
Peter C. Gallivan
PETER CHARLES GALLIVAN
Lic. No. 2017
4/28/2025
PROFESSIONAL ENGINEER

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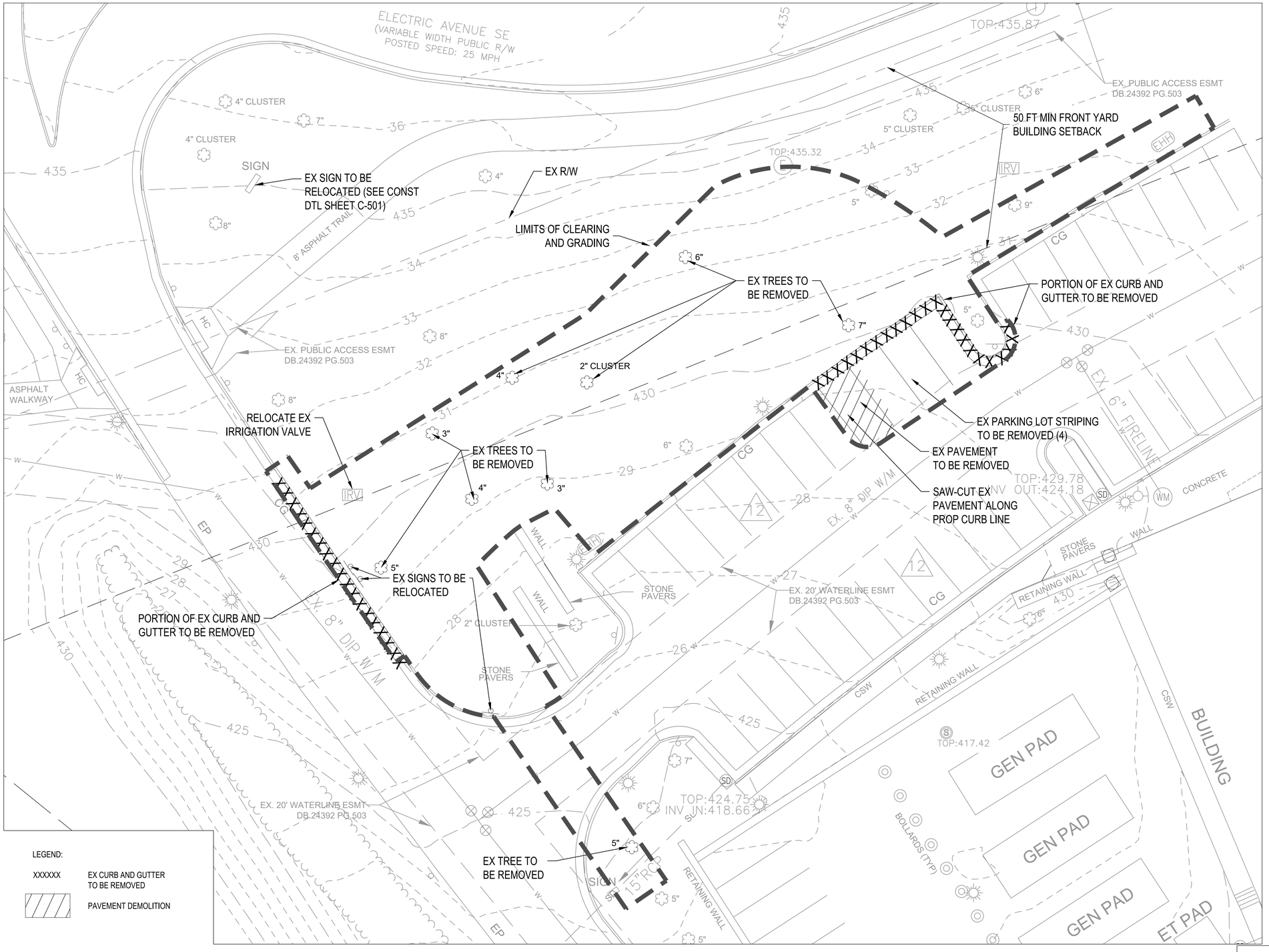
REVISIONS:

DRAWING TITLE: PROPERTY MAP

PROJECT NO.:	ISSUE DATE:
50184423	25.04.28
DRAWN BY:	CHECKED BY:

SHEET NUMBER: C-100

NOTE:
1. FOR INFORMATION ONLY
2. DRAWING TAKEN FROM APPROVED SITE PLAN FOR NAVY FEDERAL CREDIT UNION CAMPUS EXPANSION DATED 2-4-2015



LEGEND:

XXXXXX EX CURB AND GUTTER TO BE REMOVED

PAVEMENT DEMOLITION

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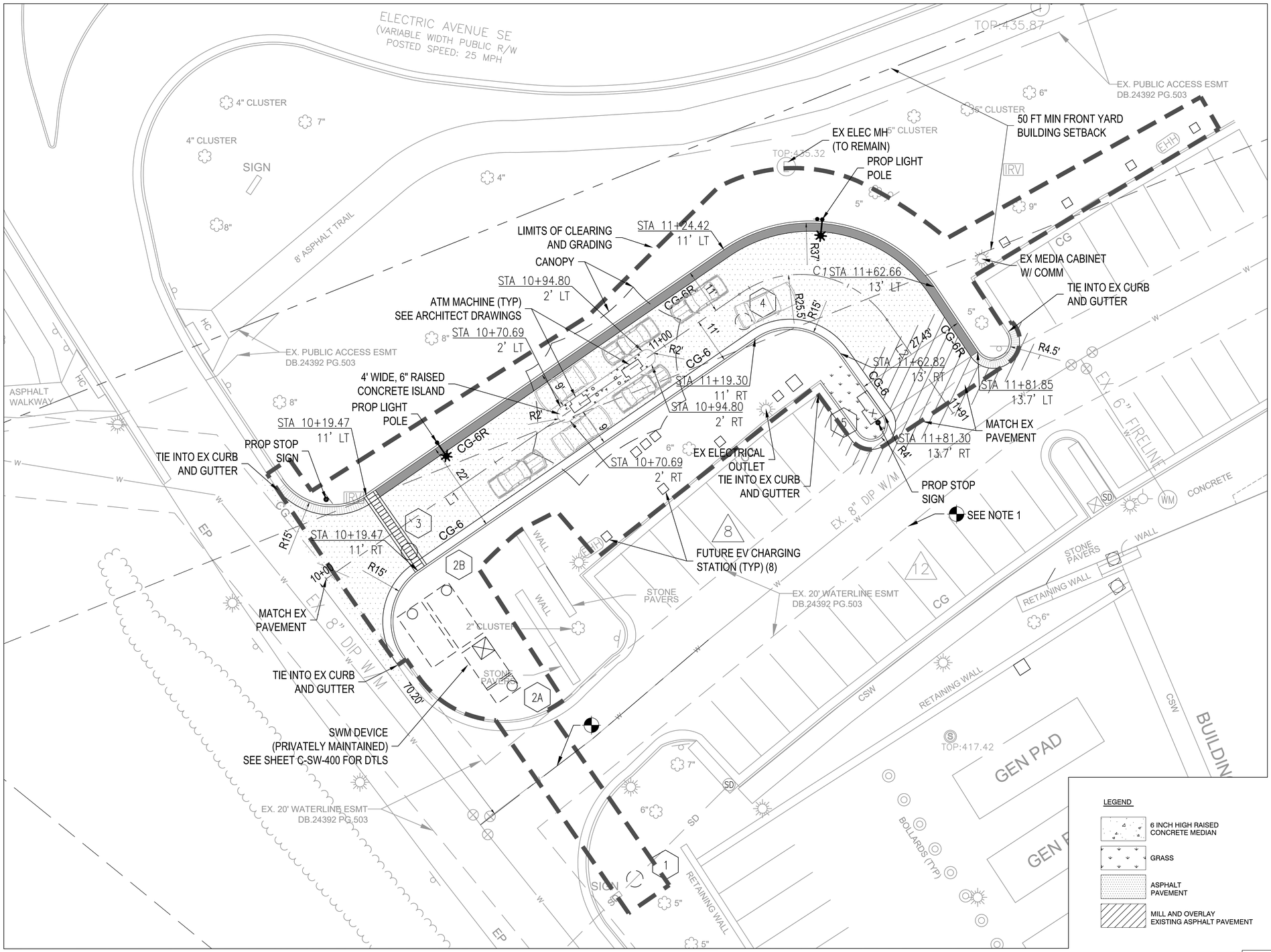
REVISIONS:

DRAWING TITLE:
EXISTING CONDITIONS AND DEMO PLAN

PROJECT NO.:	ISSUE DATE:
50184423	25.04.28
DRAWN BY:	CHECKED BY:

SHEET NUMBER:
C-101



LEGEND

- 6 INCH HIGH RAISED CONCRETE MEDIAN
- GRASS
- ASPHALT PAVEMENT
- MILL AND OVERLAY EXISTING ASPHALT PAVEMENT

VCS-83

10 0 10
SCALE IN FEET

NOTE:

1. CONTRACTOR SHALL TEST PIT EXISTING 8-INCH DIP WATERMAIN PRIOR TO INSTALLATION OF ELECTRICAL CONDUIT BY DIRECTIONAL BORE. TARGET FOR DIRECTIONAL BORE 4.5 FEET ABOVE SERVICE YARD SLAB.

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PROFESSIONAL ENGINEER

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DRAWING TITLE:
SITE PLAN

PROJECT NO.:	ISSUE DATE:
50184423	25.04.28
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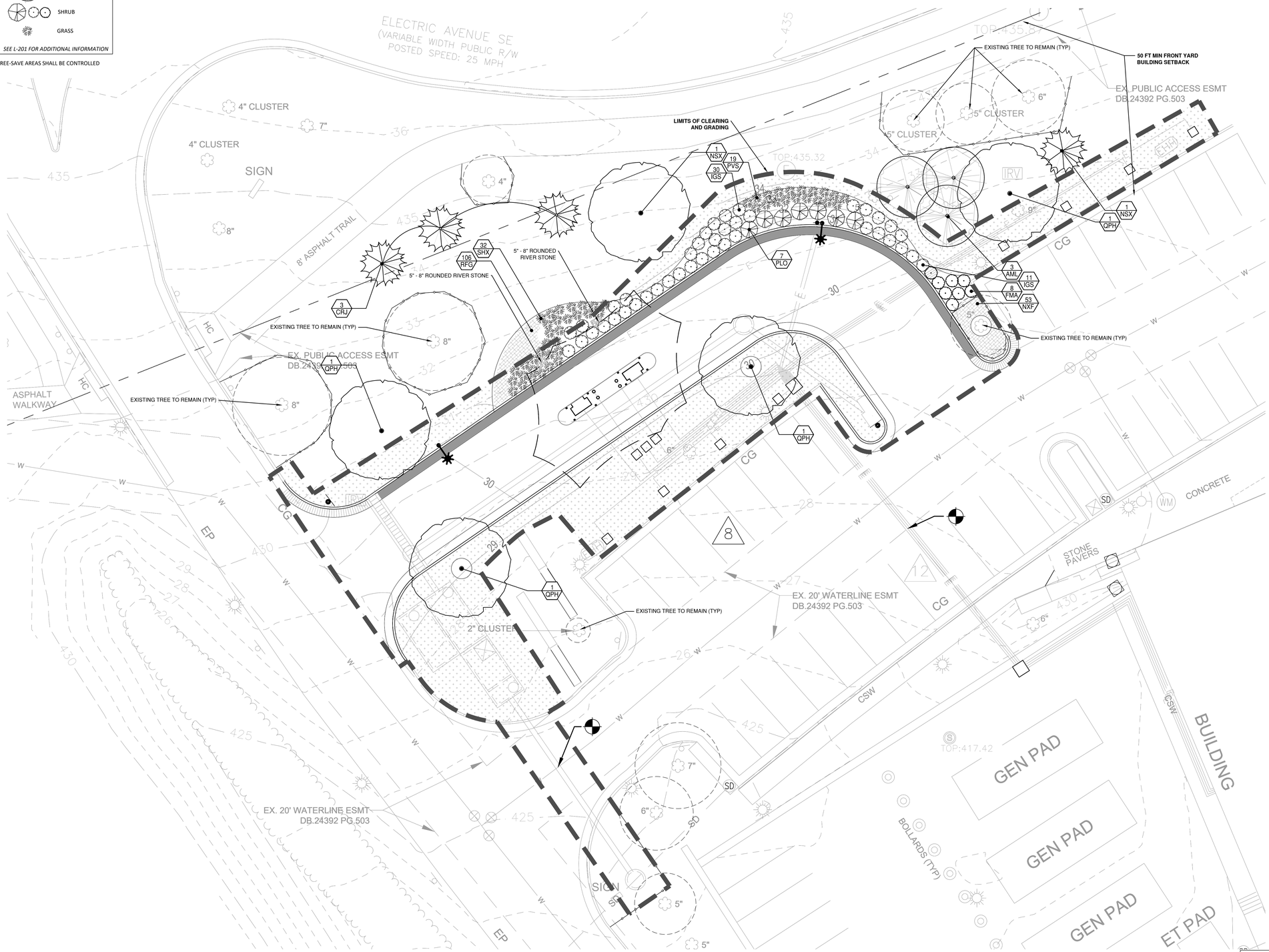
C-102

PLANTING LEGEND

- LAWN
- GROUNDCOVER / PERENNIALS
- DECORATIVE RIVER STONE
- EXISTING TREE (TO REMAIN)
- TREE PROTECTION FENCE
- CANOPY TREE
- UNDERSTORY TREE
- SHRUB
- GRASS

SEE L-201 FOR ADDITIONAL INFORMATION

NOTES:
1. ALL INVASIVE PLANTS AND VINES WITHIN TREE-SAVE AREAS SHALL BE CONTROLLED AND REMOVED FROM TREES.



SCALE IN FEET (10 0 10)

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COMMONWEALTH OF VIRGINIA
C. JOHN B. STORY JR.
LIC. NO. 1322
04.28.25
LANDSCAPE ARCHITECT

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NO:	DATE:	REMARKS:
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0	1/24/2025	ISSUED FOR PRICING AND PERMIT

REVISIONS:

DRAWING TITLE:
TREE PRESERVATION AND LANDSCAPE PLAN

PROJECT NO.:	ISSUE DATE:
50184423	25.04.28
DRAWN BY:	CHECKED BY:

SHEET NUMBER:
L-101

PLANT SCHEDULE

QTY	KEY	LATIN NAME	COMMON NAME	SIZE	ROOT CONDITION	20-YEAR CCA PER TREE (SF)	TOTAL CCA PROVIDED (SF)
Trees							
3	AML	Amelanchier arborea	Downy Serviceberry	2 - 2 1/2" cal.	B&B - 3 STEM	150	450
3	CRJ	Cryptomeria japonica	Japanese Cryptomeria	8' ht.	B&B	150	450
1	INX	Ilex x Nellie Stevens'	Nellie Stevens Holly	8' ht.	B&B	200	200
1	NSX	Nyssa sylvatica	Blackgum	2 - 2 1/2" cal.	B&B	250	250
4	QPH	Quercus phellos 'Hightower'	Hightower Willow Oak	2 - 2 1/2" cal.	B&B	300	1,200
12							**2,550**
Shrubs							
8	FMA	Fothergilla major 'Mt Airy'	Mt Airy Fothergilla	3 gal.			
41	IGS	Ilex glabra 'Shamrock'	Shamrock Inkberry	3 gal.			
7	PLO	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel	3 gal.			
Perennials and Grasses							
53	NXF	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 gal.	18" o.c.		
19	PVS	Panicum virgatum	Switchgrass	1 gal.	18" o.c.		
106	RFG	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-Eyed Susan	1 qt.	12" o.c.		
32	SHX	Sporobolus heterolepsis	Prairie Dropseed	1 gal.	24" o.c.		
Turf 4,110 sf							
		Tall fescue blend					
Decorative Stone 11 sf							
		Earth Tones (grey, brown, blue and red)	Rounded River Stone	5"-8"			

TREE CANOPY COVERAGE CALCULATIONS

	Acreage	sq. ft.
Site Area	10.77	469,045
Tree Canopy Coverage Required (10%)[1]	2.15	93,809
Crown Coverage Provided		
Existing (14012 SP, 02.04.2015)	6.98	304,174
Existing Canopy to be Removed	-0.06	-2,400
Proposed	0.06	2,550
Total Canopy Coverage Provided	6.99	304,324

1 §18-559.2

GENERAL NOTES

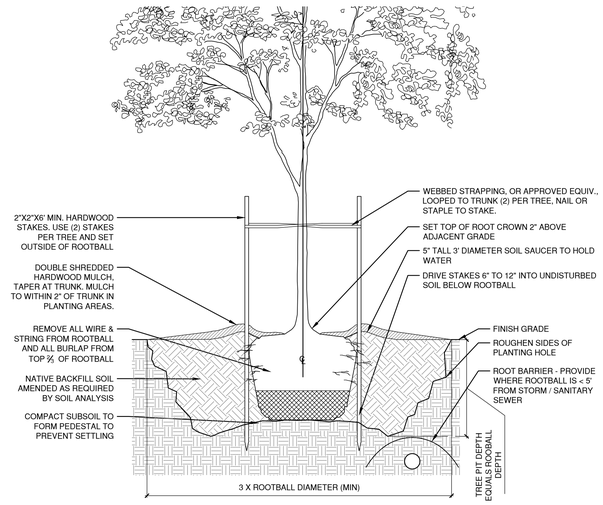
1. THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF/HERSELF WITH THE CONDITIONS OF THE CONTRACT, LOCAL CONDITIONS RELATING TO THE LOCATION, ACCESSIBILITY AND GENERAL CHARACTER OF THE CONSTRUCTION SITE AND LOCAL LABOR CONDITIONS SO THAT HE/SHE UNDERSTANDS THE NATURE, EXTENT, DIFFICULTIES AND RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK.
2. CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL GOVERNING ORDINANCES, CODES AND REGULATIONS.
3. CONTRACTOR SHALL VERIFY DIMENSIONS, GRADES, LEVELS, BOUNDARIES AND CONSTRUCTION INDICATED ON CONTRACT DRAWINGS BEFORE PROCEEDING WITH THE WORK AND SHALL IMMEDIATELY BRING ANY DISCREPANCIES TO THE OWNER AND ARCHITECT.
4. ALL MATERIALS SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS.
5. DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
6. DO NOT SCALE DRAWINGS. NUMERICAL DIMENSIONS SUPERSEDE SCALED DIMENSIONS. CONSULT THE ARCHITECT FOR DIMENSIONS NOT INDICATED OR IN ERROR.
7. CONTRACTOR SHALL NOT MAKE OR CAUSE TO BE MADE OR PERMIT A SUBCONTRACTOR TO MAKE ANY CHANGE TO WHAT IS SPECIFIED IN THE CONTRACT DOCUMENTS WITHOUT SPECIFIC AUTHORIZATION OF THE ARCHITECT.
8. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE FOR ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH THE REQUIREMENTS SPECIFIED IN THE OWNER AGREEMENT IS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
9. FOR THE MEANS AND METHODS OF CONSTRUCTION OF THIS PROJECT, CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF WORK.
10. ALL WORK SHALL BE COMPLETED TO AT LEAST THE STANDARDS ESTABLISHED FOR THE INDUSTRY OR TRADE FOR A PARTICULAR ITEM. ANY QUESTIONS RELATED TO QUALITY SHALL BE ADDRESSED TO THE ARCHITECT PRIOR TO THE SUBMISSION OF BIDS OR THE ORDERING, FABRICATION, INSTALLATION OR STORAGE OF THESE ITEMS.

GENERAL LANDSCAPE NOTES

1. LANDSCAPE WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, THE SUPPLYING OF ALL PLANT MATERIALS SPECIFIED, THE FURNISHING OF ALL LABOR, EQUIPMENT, WATER, ELECTRICITY, EQUIPMENT AND ALL MATERIALS CALLED. THE WORK SHALL INCLUDE MAINTAINING OF ALL PLANTS AND PLANTING AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE ARCHITECT AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE.
2. ALL LANDSCAPE WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
3. PERMITTING IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. VERIFICATION OF EXISTING CONDITIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. THIS INCLUDES BUT IS NOT LIMITED TO: SOIL CONDITIONS, UTILITIES (UNDERGROUND AND ABOVE GROUND) EXISTING STRUCTURES, ETC.
5. THE CONTRACTOR SHOULD BE COMPLETELY FAMILIAR WITH LANDSCAPE PLANS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES, POTENTIAL PROBLEMS, ETC. SHOULD BE MADE KNOWN TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
6. ALL REASONABLE SAFEGUARDS ARE TO BE TAKEN IN ORDER TO PROTECT EXISTING STRUCTURES, PAVEMENT, FURNISHINGS, LAWN AND LANDSCAPING. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE THAT OCCURS AS A RESULT OF CONTRACTOR NEGLIGENCE.
7. EXISTING AND PROPOSED DRAINAGE PATTERNS ARE NOT TO BE DISTURBED BY THE CONTRACTOR IN A WAY THAT IS INCONSISTENT WITH THE LANDSCAPE PLANS.
8. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK TO BE PERFORMED WITH THE WORK OF OTHER SUBCONTRACTORS ON THE SITE, INCLUDING SCHEDULING AND PHYSICAL INTERFERENCE.
9. THE CONTRACTOR MUST CONFIRM THE AVAILABILITY OF ALL SPECIFIED PLANT MATERIAL PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL ARRANGE FOR APPROVAL OF PLANT MATERIALS BY THE ARCHITECT VIA FIELD VISITS/TAGGING AND OR SUBMISSION OF PHOTOS OF ALL TREES AT THE DISCRETION OF THE ARCHITECT.
10. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE AMERICAN STANDARDS FOR NURSERY STOCK AS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE INC.
11. ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. ALL CONTAINER AND TREE CALIPER SIZES ARE MINIMUM. CONTAINER OR CALIPER SIZE MAY BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.
12. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL AT THE JOB SITE BY THE ARCHITECT PRIOR TO INSTALLATION. WHEN DELIVERED PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS, THE ARCHITECT RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE CONTRACTOR TO REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED AND FOUND TO BE ACCEPTABLE. THE CONTRACTOR SHALL REMOVE REJECTED PLANTS AND MATERIALS FROM THE PLANTING SITE WITHIN 72 HOURS AND REPLACE WITH ACCEPTABLE MATERIALS.
13. NO PLANT SUBSTITUTIONS WILL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT. ANY SUBSTITUTIONS MUST BE SUBMITTED IN WRITING ACCOMPANIED BY PICTURES OR SAMPLES FOR APPROVAL BY THE ARCHITECT PRIOR TO INSTALLATION.
14. ALL SHRUB BEDS SHALL BE TILLED TO MINIMUM DEPTH OF 12".
15. ALL LAWN AREAS SHALL BE TILLED TO A MINIMUM DEPTH OF 6".
16. PLANTING BEDS TO BE SEPARATED FROM LAWN AREAS WITH METAL EDGING (1/8" X 5-1/2" MIN.) AS SPECIFIED OR 4" DEEP EXCAVATED TRENCH. THE TRENCH SHALL HAVE A VERTICAL FACE AGAINST THE LAWN AREA, AND A GENTLY TAPERED EDGE LEADING INTO THE SHRUB BED.
17. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SOIL IN ALL PLANTED AREAS IS OF AN APPROPRIATE TYPE AND CONSISTENCY FOR PLANTING AND AT THE CORRECT PH. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING SOIL SUITABILITY, AND ANY NECESSARY AMENDMENTS SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING VEGETATION AS REQUIRED AND PREPARING PLANTING AREAS PRIOR TO INSTALLATION OF PLANT MATERIALS.
19. THE LANDSCAPE CONTRACTOR SHALL TEST THE SITE SOILS TO VERIFY THAT THEY ARE ACCEPTABLE FOR PROPER GROWTH OF PLANT MATERIALS AND ADEQUATE DRAINAGE IN PLANT BEDS AND PLANTERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE LOCATION, AND PROCUREMENT OF EXISTING ON-SITE SOIL SAMPLES WITH THE ARCHITECT. REPRESENTATIVE SAMPLES SHALL BE SUBMITTED TO A CERTIFIED TESTING LABORATORY FOR ANALYSIS. THE FINDINGS, TOGETHER WITH RECOMMENDATIONS FOR AMENDING THE SOILS SHALL BE REVIEWED AND APPROVED BY THE OWNER AND ARCHITECT PRIOR TO DELIVERY AND INSTALLATION OF PLANT MATERIALS AT THE JOB.
20. THE LANDSCAPE CONTRACTOR SHALL ENSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. VERTICAL DRILLING THROUGH HARDPAN AND COMPACTED FILL SHALL BE ACCOMPLISHED TO ENSURE DRAINAGE.
21. ALL PLANTING BEDS SHALL BE STAKED AND OR PAINTED BY THE CONTRACTOR FOR APPROVAL BY THE ARCHITECT PRIOR TO PLANT INSTALLATION. TREES SHALL BE LOCATED WITH STAKES OR FLAGS FOR APPROVAL BY THE ARCHITECT PRIOR TO INSTALLATION.
22. ALL PROPOSED TREES SHALL BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED OUTLINES SHALL NOT BE OBSTRUCTED AND SHALL BE SMOOTH AND FLOWING. IF TREES ARE LOCATED OUTSIDE PLANTING BEDS IN SOD AREAS, MAINTAIN A MINIMUM 3' WIDE OFFSET.
23. THE PLANT QUANTITIES SHOWED ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
24. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE AMOUNT OF SOD OR SEED REQUIRED TO INSTALL LAWN AREAS ACCORDING TO THE LANDSCAPE PLANS. ANY ADDITIONAL SOD OR SEEDED AREAS ADDED TO THE PLANS DURING THE INSTALLATION PROCESS SHALL BE PROVIDED BY THE CONTRACTOR AT A MUTUALLY AGREED UPON SQ. FT. UNIT COST. AREAS TO BE SODDED OR SEEDED SHALL BE AMENDED PER SOILS REPORT TO PROVIDE REQUIRED NUTRIENTS AND SOIL PH OF BETWEEN 6.0 AND 7.0.
25. ALL LAWN AREAS WITHIN THE PROJECT'S BOUNDARY SHALL BE SODDED OR SEEDED WITH A SUN/SHADE SOD OR SEED MIX AS FOLLOWS:
    a. SHADOW/SHADE
        - SIMMONS CREEPING RED FESCUE 24.73%
        - VIKING H2O HARD FESCUE 24.19%
        - AMBROSE CHEWINGS FESCUE 23.23%
        - PALMER III PERENNIAL RYEGRASS 22.96%
    b. SUN
        - TITANIUM G I S TALL FESCUE 34.59%
        - VALKYRIE I S TALL FESCUE 34.48%
        - DYNAMITE G I S 29.40%
26. TOPSOIL FOR ALL LAWN AREAS SHALL BE RAKED SMOOTH TO FINISH GRADE, STABILIZED AND FREE OF RUTS, MOUNDS, RIDGES AND STONES / DEBRIS GREATER THAN 1 INCH.
27. SATISFACTORY TURF:
    a. SODDED: AT END OF MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE TURF HAS BEEN ESTABLISHED, FREE OF WEEDS, OPEN JOINTS, BARE AREAS, AND SURFACE IRREGULARITIES.
    b. SEEDED: AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF TURF HAS BEEN ESTABLISHED, FREE OF WEEDS, SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SQUARE FOOT AREA AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY AND PLUMB CONDITION OF ALL INSTALLED PLANT MATERIALS AND REPLACING ANY DAMAGED PLANT MATERIAL. WITH PLANTS OF EQUAL KIND, SIZE AND CONDITION AT NO ADDITIONAL COST TO THE OWNER. NO CHAINS OR CABLES ATTACHED TO THE TRUNK SHALL BE USED WHEN INSTALLING PLANT MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PREVENT PLANTS AND TREES FROM FALLING OR BEING BLOWN OVER, AND TO REPLACE ALL PLANTS WHICH ARE DAMAGED DUE TO INADEQUATE GUYING OR STAKING, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL REMOVE ALL STAKING MATERIALS THE END OF THE WARRANTY PERIOD AND DISPOSE OFFSITE.
29. ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" LAYER OF MULCH AS SPECIFIED. ALL TREES SHALL HAVE A 3" THICK MULCH RING PLACED AROUND THE BASE OF THE TRUNK. THE LANDSCAPE SCOPE OF WORK INCLUDES MULCHING AS AN INTEGRAL PART THE PROJECT AND NOT AS A SEPARATE COST ITEM.
30. ALL PLANT MATERIALS SHALL RECEIVE ADEQUATE WATERING BY THE CONTRACTOR AS REQUIRED UNTIL FINAL ACCEPTANCE BY OWNER.
31. ALL EXISTING PLANT BEDS TO REMAIN WITHIN THE CONSTRUCTION LIMIT LINE SHALL BE LEFT UNDISTURBED. EXISTING TREES TO REMAIN, AS NOTED ON THE DRAWINGS SHALL BE LEFT UNDISTURBED AND PROTECTED BY BARRICADES ERECTED AT THE PERIMETER OF THE TREE DRIPLINE(S) OR AS SPECIFIED ON THE TREE PRESERVATION DRAWINGS. NO VEHICLE SHALL TRAVERSE THIS AREA NOR SHALL ANY STORAGE OF MATERIALS OR EQUIPMENT BE PERMITTED WITHIN THE AREA OF THE TREE DRIPLINE(S). ANY EXISTING PLANT BEDS OR TREES DAMAGED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED BY THE RESPONSIBLE PARTY AT THEIR OWN EXPENSE.
32. NO TREES SHALL BE PLANTED WITHIN DESIGNATED UTILITY CORRIDORS, PUBLIC RIGHTS OF WAY (WITHOUT RIGHTS OF WAY UTILIZATION PERMIT) NOR ANY PLANTS LOCATED WITHIN FOUR FEET (4') OF ANY SWALE CENTERLINE IDENTIFIED ON THE DRAWINGS. FIELD ADJUST AS NECESSARY AND REVIEW ADJUSTMENTS WITH THE ARCHITECT PRIOR TO INSTALLATION.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EFFECTIVE TRAFFIC CONTROL AND REMOVAL OF ALL DEBRIS AND EXCAVATED BACKFILL OFF-SITE ON A DAILY BASIS AT NO ADDITIONAL COST TO THE OWNER.
34. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWING SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE ARCHITECT ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. THE ARCHITECT'S ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF UNITS AND A CHECK FOR THE CONTRACTOR TO COMPARE WITH HIS OWN ESTIMATES. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIAL ACCORDING TO DRAWINGS.
35. ALL PLANTS SHALL BE WARRANTED TO REMAIN ALIVE AND HEALTHY AND IN THRIVING CONDITION FOR ONE YEAR FROM THE DATE OF JOB ACCEPTANCE. PLANTS SHALL BE SPECIMEN QUALITY. PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
36. HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND NOT LESS THAN 50 PERCENT OF THE PLANTS SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
37. SHADE TREES SHALL BE STRAIGHT UNLESS OTHERWISE SPECIFIED. SEE SPECIFICATIONS FOR FERTILIZER AND AMENDMENT ADDITIVES.
38. THE TRUNK FLARE DEPTH FOR ALL TREES SHOULD BE VISIBLE AT +/- 2" ABOVE GRADE.
39. ALL B&B TREES SHALL BE 100% ROOT PRUNED AT OR AFTER THE MIDPOINT OF THEIR LIFESPAN IN THE NURSERY. CONTRACTOR RESPONSIBLE FOR OBTAINING INFORMATION REGARDING NURSERY GROWING PRACTICES AND PROVISION OF THIS INFORMATION TO THE ARCHITECT.
40. WIRE BASKETS SHOULD HAVE TOP RUNG CUT AWAY FROM BASKET HORIZONTALLY, AND REMAINDER OF BASKET TO REMAIN.
41. ALL B&B TREES SHALL BE MOVED WITH STRAPPING CONNECTED TO WIRE BASKET ONLY, NEVER ATTACHED DIRECTLY TO TREE TRUNK. CONTAINER PLANTS SHALL BE MOVED IN A WAY THAT IS COMPLETELY SUPPORTED BY THE CONTAINER, NOT THE TREE TRUNK.
42. ALL TREES TO BE INSTALLED WITH MOST ATTRACTIVE SIDE FACING PREDOMINANT POINT OF VISIBILITY.
43. CONTRACTOR TO ENSURE ALL TREE ROOTS BE STURDILY ESTABLISHED IN BALL THAT HAS BEEN TIGHTLY WRAPPED AND SECURELY TIED WITH TWINE OR WIRE, OR PINNED.
44. TREES SPECIFIED TO HAVE CLEAR TRUNK HEIGHT TO BE PURCHASED FROM THE NURSERY WITH SAID CLEAR TRUNK HEIGHT, NOT FIELD-PRUNED BY CONTRACTOR.

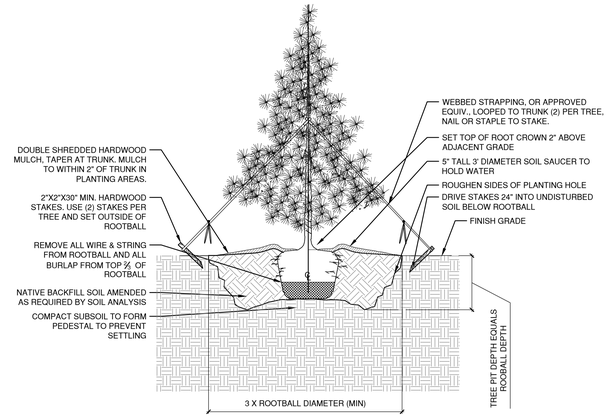
TREE PROTECTION STANDARDS

1. THE FOLLOWING TREE PROTECTION PRACTICES ARE TO BE FOLLOWED.
2. A PRE-CONSTRUCTION MEETING WITH THE TOWN OF VIENNA'S URBAN ARBORIST SHALL BE HELD ONSITE SO THAT THE ARBORIST CAN EXPLAIN PROTECTION MEASURES TO OPERATORS, CONSTRUCTION SUPERVISORS, AND/OR CONTRACTOR'S REPRESENTATIVES.
3. CONTRACTOR SHALL STAKE CLEARING LIMITS ONSITE IN ORDER TO FACILITATE LOCATION FOR TRENCHING AND FENCING INSTALLATION FOR TREE PROTECTION.
4. NO CLEARING OR GRADING SHALL BEGIN IN AREAS WHERE TREE PRESERVATION MEASURES HAVE NOT BEEN COMPLETED.
5. THE USE OF HEAVY EQUIPMENT IS STRICTLY PROHIBITED WITHIN TREE PRESERVATION AREAS, INCLUDING FOR THE PURPOSE OF REMOVING UNWANTED TREES. STRUCTURES, PADS, ETC. SHALL BE REMOVED BY HAND.
6. THE SEQUENCE FOR TREE PRESERVATION MEASURES, IF REQUIRED, SHALL BE IN THIS ORDER: ROOT PRUNING TRENCHING, TREE PROTECTION FENCING, TREE PRUNING AND CHEMICAL TREATMENT, AERATION SYSTEMS INSTALLED. THESE MEASURES SHALL BE DIRECTED INTHE FIELD BY THE CONSTRUCTION SUPERVISOR.
7. TREE PROTECTION FENCING SHALL BE MAINTAINED BY THE CONTRACTOR THROUGH DURATION OF CONSTRUCTION. NO ALTERATION SHALL OCCUR WITHOUT PRIOR APPROVAL BY A TOWN REPRESENTATIVE.
8. CRITICAL ROOT ZONE SHALL BE DEFINED AS 1.5' RADIUS PER 1" OF DBH (DIAMETER AT BREAST HEIGHT), WHICH SHALL BE MEASURED AT A HEIGHT OF 4.5' FROM HIGHEST POINT OF GROUND AT BASE OF TRUNK.
9. PROTECTION PROVIDED SHALL CONSIST OF FENCING AROUND THE TREE TO THE DRIP LINE, AND ENCLOSED AREAS SHALL BE KEPT FREE OF ALL SOIL, EQUIPMENT, AND CONSTRUCTION MATERIAL STORAGE, WHICH INCLUDES FINAL GRADING AND LANDSCAPING EFFORTS.
10. ROOT PRUNING REQUIREMENTS: UNLESS OTHERWISE INSTRUCTED BY THE TOWN'S ARBORISTS, ROOT PRUNING MUST BE PERFORMED WHEN LIMITS OF DISTURBANCE FALL WITHIN CRITICAL ROOT ZONE OF TREES TO BE SAVED. ROOTS SHALL BE PRUNED TO A MINIMUM DEPTH OF 12" AT OR BEFORE THE LIMITS OF DISTURBANCE.
11. TREES THAT ARE DETERMINED BY THE TOWN ARBORIST TO BE IN "POOR" CONDITION SHALL NOT COUNT TOWARD CANOPY COVERAGE CALCULATIONS.
12. ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH CURRENT AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 PRUNING STANDARDS. SPIKES SHALL NOT BE USED TO CLIMB LIVE TREES UNLESS THE TREE IS BEING REMOVED.



1 TREE PLANTING

Scale: NTS



2 EVERGREEN TREE PLANTING

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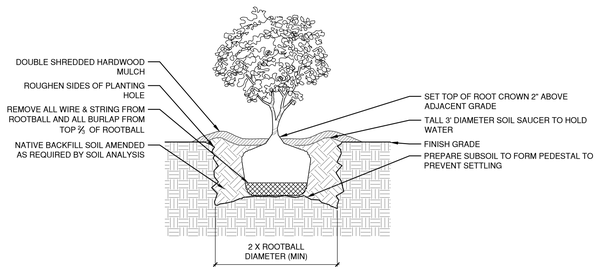

3 B&B SHRUB PLANTING

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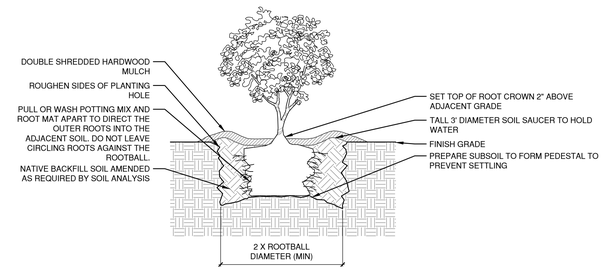
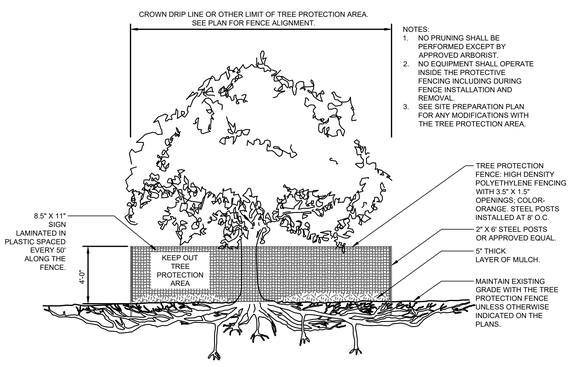


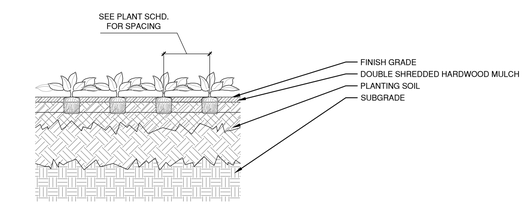
4 CONTAINER SHRUB PLANTING

Scale: NTS



5 TREE PROTECTION

Scale: NTS



6 PERENNIAL PLANTING

Scale: NTS

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COMMONWEALTH OF VIRGINIA
JOHN B. STORY JR.
LICENSED
LANDSCAPE ARCHITECT
04.28.25
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Associated Space Design, Inc. 2024

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DRAWING TITLE:
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