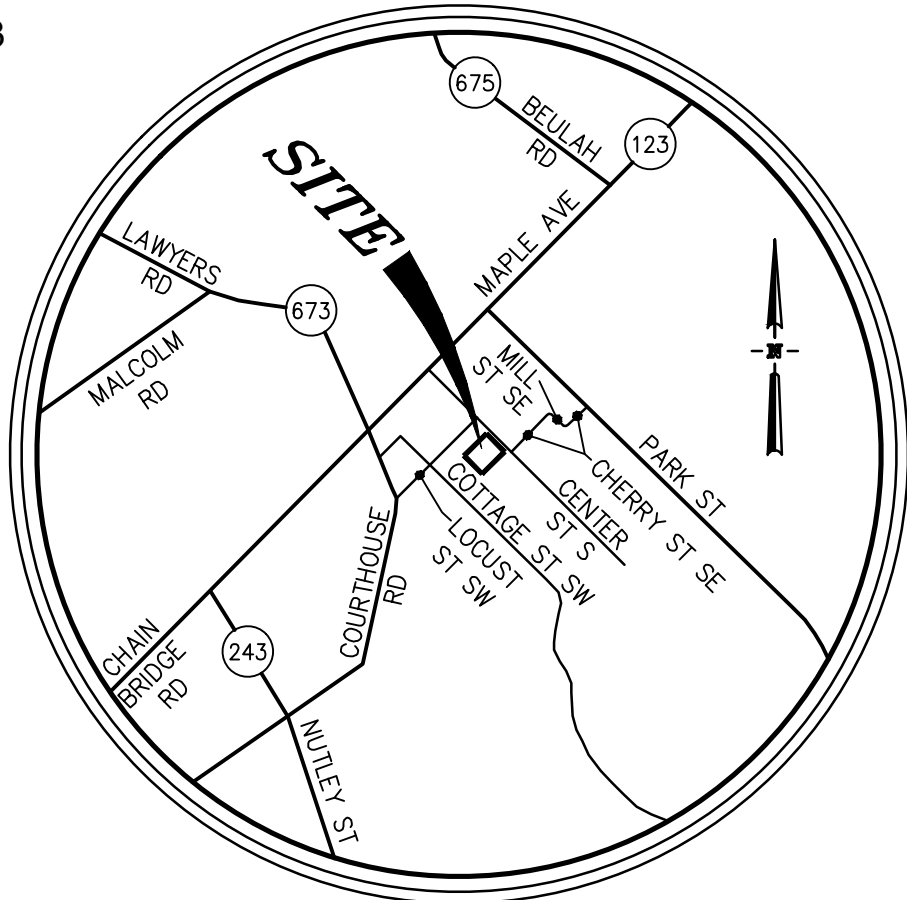


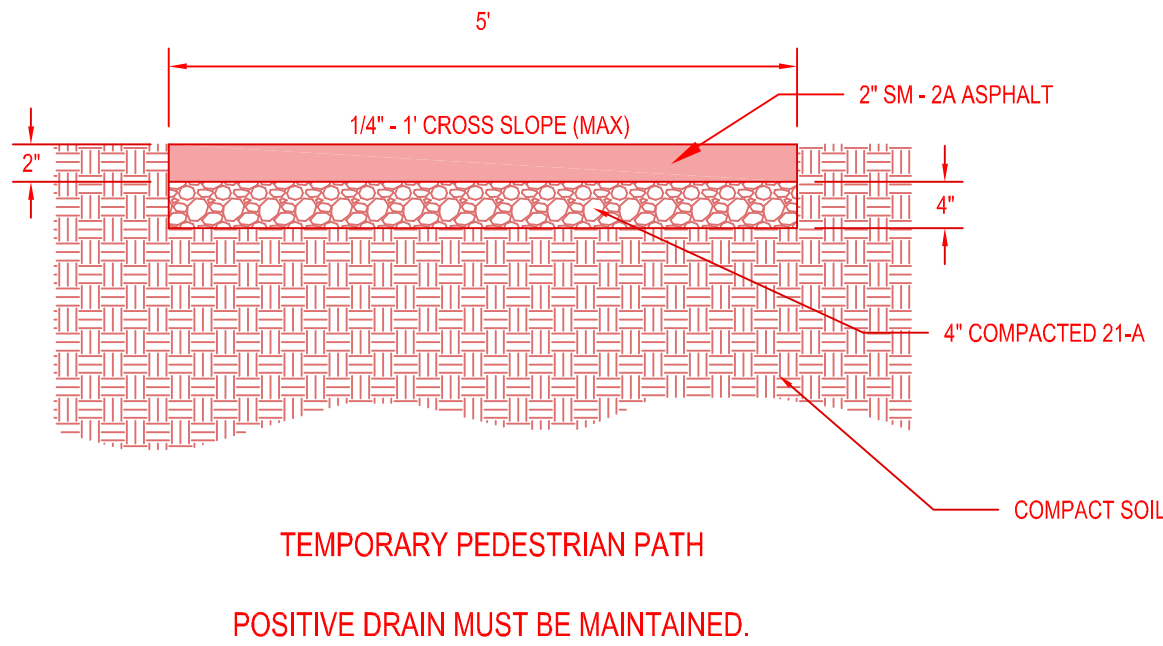
NOTES

- 1.) THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON ASSESSMENT MAP NO. 38-4-((2)), PARCEL 150, AND IS ZONED RS-10.
- 2.) OWNER: TOWN OF VIENNA, VIRGINIA
ADDRESS: 127 CENTER STREET S.
VIENNA, VIRGINIA 22180
RECORDATION: DB. 26512 PG. 70
- 3.) THE BOUNDARY OF THE PROPERTY DELINEATED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY LANDDESIGN ON FEBRUARY 08, 2023 AND IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 NORTH ZONE (U.S. SURVEY FOOT) AS COMPUTED FROM A GPS/VRS SURVEY [NAD 83 (2011) EPOCH 2010.00]. THE GROUND DISTANCES SHOWN HEREON ARE BASED ON APPLICATION OF A SITE COMBINED SCALE FACTOR OF 0.999947631 WITH A BASE POINT EQUAL TO N 7,012,804.0405, E 11,834,741.9554. ALL MONUMENTATION SHOWN HEREON AS IPF, IPS, MON, ETC. ARE FROM THE AFOREMENTIONED FIELD SURVEY. THE BOUNDARY OF THE LANDS DELINEATED HEREON MEETS THE MINIMUM ERROR OF CLOSURE OF 1 IN 20,000.
- 4.) THE SITE SHOWN HEREON IS REFERENCED VERTICALLY TO THE VIRGINIA COORDINATE SYSTEM OF 1983 NORTH (U.S. SURVEY FOOT) AND NGVD29 AS COMPUTED FROM A GPS FIELD SURVEY. VERTICAL DATUM WAS DERIVED USING THE CORPSCON SOFTWARE, U.S. ARMY CORPS OF ENGINEERS CONVERTING THE DATUM FROM GPS OBSERVATIONS IN NAVD88 TO NGVD29.
- 5.) THE PROPERTY DELINEATED HEREON IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF FAIRFAX COUNTY, VIRGINIA COMMUNITY-PANEL NUMBER 515525-0145-E AND TOWN OF VIENNA, VIRGINIA COMMUNITY-PANEL NUMBER 510053-0145-E (MAP NUMBER 51059C0145E) EFFECTIVE DATE: SEPTEMBER 17, 2010.
- 6.) NO TITLE REPORT FURNISHED.
- 7.) REPRESENTATION OF UNDERGROUND PIPE IDENTIFIED ON THIS SURVEY AS _____ RCP, DIP OR PVC ARE BASED ON SURFACE OBSERVATIONS OF PIPE ALIGNMENTS AND ASSOCIATED SANITARY OR STORM DRAINAGE SURFACE STRUCTURES AND DOES NOT REPRESENT ACTUAL UNDERGROUND LOCATIONS OF SAID UTILITIES.

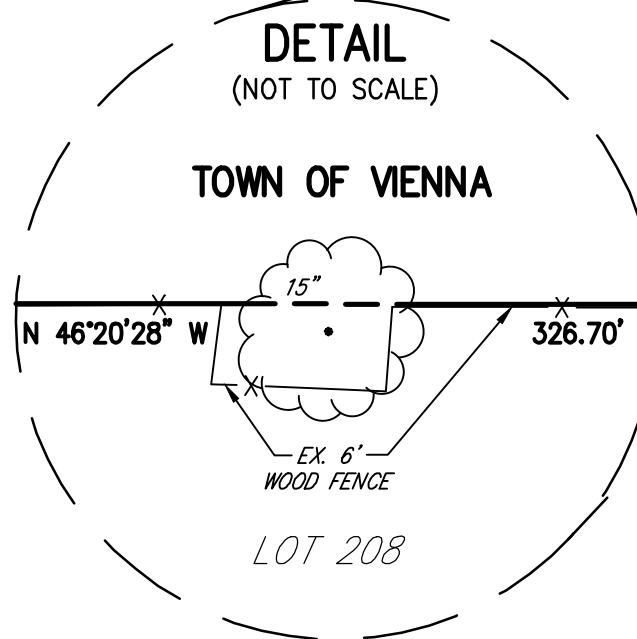
ATTACHMENT 03



VICINITY MAP
SCALE: 1" = 2,000'



- LEGEND**
- AC = ACRES
A/C = AIR CONDITIONER
ALUM = ALUMINUM
APPROX. LOC. = APPROXIMATE LOCATION
ASPH. = ASPHALT
BLDG = BUILDING
CO = CLEANOUT
CONC. = CONCRETE
C&G = CURB AND GUTTER
DB. = DEED BOOK
DEPT. = DEPARTMENT
DESC. = DESCRIPTION
DRN. = DRAINAGE
ELEC. = ELECTRIC
ESMT. = EASEMENT
EX. = EXISTING
FF = FIRST FLOOR
IPF = INVERT
INV. = IRON PIPE FOUND
MB = MAILBOX
MH = MANHOLE
NP = NO PARKING
PG. = PAGE
PVC = POLYVINYL CHLORIDE
RCP = REINFORCED CONCRETE PIPE
R.D. = ROOF DRAIN
R/W = RIGHT-OF-WAY
SAN. = SANITARY
SF. = SQUARE FEET
STM. = STORM
S/W = SIDEWALK
TEPD. = TELEPHONE PEDESTAL
VERCO = VIRGINIA ELECTRIC POWER COMPANY
C = CENTERLINE OF TRAVELWAY
ENTRANCE
FH = FIRE HYDRANT
GUY WIRE
PP = POWER POLE
SIGN
WM = WATER METER
WV = WATER VALVE
FENCE
OVERHEAD WIRE
SHRUB LINE
TREE LINE



TAX MAP: 38-4-((2))-149A
TOWN OF VIENNA
DB. 23068 PG. 295

EX. BRICK AND METAL WALL
HEIGHT VARIES 7'-9'

LOT 207

LOT 208

LOT 209

LOT 210

LOT 217

LOT 218

LOT 219

LOT 220

LOT 221

LOT 222

LOT 223

TAX MAP: 38-4-((2))-150
TOWN OF VIENNA
DB. 26512 PG. 70
#301 CENTER STREET S.
130,680 SF. OR 3.00000 AC.

Rear Parking Lot to be used for
Construction Parking for Library Project

STRIPE EXISTING SPACE
TO PROVIDE ACCESS

PROPOSED
ASPHALT PATH

30' 15' 0' 30' 60'
SCALE: 1" = 30'

Town of Vienna
Approved
05/09/2025

PROPOSED SITE PLAN
PREPARED BY TOWN OF VIENNA STAFF USING
EXISTING CONDITIONS PLAT AS BASE
April 29, 2025

PLAT SHOWING
BOUNDARY AND TOPOGRAPHIC SURVEY
OF THE PROPERTY OF
TOWN OF VIENNA
DEED BOOK 26512 PAGE 70
TOWN OF VIENNA
HUNTER MILL DISTRICT
FAIRFAX COUNTY, VIRGINIA
SCALE: 1" = 30' DATE: FEBRUARY 08, 2023

LandDesign
12600 FAIR LAKES CIRCLE, SUITE 100
FAIRFAX, VA 22033
703.449.8100
WWW.LANDDESIGN.COM