



BUILDING PLAN REVIEW COVER SHEET
LAND DEVELOPMENT SERVICES – BUILDING DIVISION



Revised: December 13, 2018

<p>Project name: The Bowman House - Structural Roof Repairs Project address: 211 Center St South, Vienna, VA 22180 Floor(s): 1+basement+attic Suite(s): n/a Work Description: Structural repairs to existing wood roof framing system missing several components Site-related plan #: n/a Applicable code: edition-year: 2015 <input type="checkbox"/> Virginia Construction Code: (new commercial, multi-family and R-3 residential construction) <input type="checkbox"/> New Building <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Virginia Existing Building Code: (existing commercial, multi-family and R-3 residential construction) <input type="checkbox"/> Level 1 Alteration <input checked="" type="checkbox"/> Repair <input type="checkbox"/> Level 2 Alteration <input type="checkbox"/> Change of occupancy <input type="checkbox"/> Level 3 Alteration <input type="checkbox"/> Moved building <input checked="" type="checkbox"/> Historic building <input type="checkbox"/> Addition <input type="checkbox"/> Virginia Residential Code (new and alterations to existing R-5 residential construction) Conditions: list below building-related proffers, development conditions, special permits, variances</p> <table border="1"> <thead> <tr> <th></th> <th>Condition</th> <th>Drawing # reference</th> </tr> </thead> <tbody> <tr> <td>1)</td> <td>n/a</td> <td></td> </tr> <tr> <td>2)</td> <td></td> <td></td> </tr> <tr> <td>3)</td> <td></td> <td></td> </tr> <tr> <td>4)</td> <td></td> <td></td> </tr> </tbody> </table> <p>Zoning application #: _____ Department of Code Compliance case: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No; if yes: Case number: _____</p>		Condition	Drawing # reference	1)	n/a		2)			3)			4)			<p>COMMERCIAL Occupancy/Group(s): A-3 Assembly (per existing drawings) Type(s) of construction: V-B Unprotected (per existing drawings) Number of stories: 1+basement+attic High rise: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Unlimited area building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Number of Type A dwelling units (multi-family): 0 Critical structure: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No; if yes, attach the Statement of Special Inspections For tenant alteration and change of use: Purpose of space: n/a Gross area per floor: _____ (square feet) Area of work: _____ (square feet) Gross area of tenant space: _____ (square feet) Base building design, code/year: _____ Fire protection: Sprinklers: <input type="checkbox"/> Full <input type="checkbox"/> Partial <input checked="" type="checkbox"/> None Fire alarm system: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Approved central station: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Standpipes: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Hazardous materials: <input type="checkbox"/> Combustible liquid <input type="checkbox"/> Flammable liquid <input type="checkbox"/> Other: _____ High pile storage installed: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Fire resistance ratings: (provide design numbers, prescription item number or calculated code section) Floor/ceiling: 0hr Roof/ceiling: 0hr Columns: 0hr Beams: 0hr Corridors: 0hr Tenant walls: 0hr Accessibility per ICC/ANSI A117.1: (choose one) <input checked="" type="checkbox"/> Fully compliant (accessible route to primary function area, including restrooms and drinking fountain) <input type="checkbox"/> Technically infeasible (fixture count cannot be reduced; family/accessible restroom is provided) <input type="checkbox"/> Upgrades required (up to 20% of cost of alterations) Cost of alterations: \$ _____ Cost of upgrades: \$ _____ Upgrades provided: _____</p>	<p>DESIGNER INFORMATION Signed and sealed drawings by a Virginia-licensed registered design professional (RDP) may be required by the Virginia Department of Professional and Occupational Regulation. Learn more by searching for "sealed drawings" on fairfaxcounty.gov. RDP signature* and seal required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No; if yes, signature and seal are provided: <input checked="" type="checkbox"/> On each sheet <input type="checkbox"/> With table of contents (permissible with eplans only) *Signatures must be original on paper-submitted plans and electronically-protected in eplans. Designer information (complete for all applicable trades shown on the drawings): Building: Name: Robert Allison, P.E. Occupation (if not an RDP): _____ Telephone: 703-293-7400 Email: fallison@wrallp.com License number: 23018 Structural: Name: Robert Allison, P.E. Telephone: 703-293-7400 Email: fallison@wrallp.com License number: 23018 Mechanical: Name: n/a Telephone: _____ Email: _____ License number: _____ Electrical: Name: n/a Telephone: _____ Email: _____ License number: _____ Plumbing: Name: n/a Telephone: _____ Email: _____ License number: _____</p> <p>APPROVED Fairfax County - Building Plan Review These plans are approved for permit issuance subject to corrections noted herein. Permit issuance does not waive any code requirements not noted during plan review and does not prevent County inspectors from requiring corrections in the field. Type of Construction (USBC): VB Group(s): R-3 Reviewer's Initials: SLP Plan Number: 2018-2492</p> <p>DRAWINGS MISSING REQUIRED SEALS OR DO NOT HAVE ORIGINAL OR ELECTRONICALLY-PROTECTED SIGNATURES WILL NOT BE ACCEPTED DURING PERMIT APPLICATION.</p>	<p>GENERAL NOTES</p>   <ul style="list-style-type: none"> ➤ Failure to fully complete the applicable fields in this cover sheet may result in a failed plan review and subsequent delay in permit issuance. ➤ This cover sheet must be submitted on 11x17 paper, eplan or incorporated in the building drawings. ➤ Accessibility and energy conservation sections of this cover sheet are certifications endorsed by the applicable designer. Inaccuracies found during plan review must be corrected prior to permit issuance. Inaccuracy found in the field must be corrected prior to subsequent inspections. ➤ Once approved, building drawings are subject to any corrections noted therein. 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Town of Vienna
 Planning & Zoning Department
 MAY 24 2015
 RECEIVED

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GENERAL STRUCTURAL NOTES

GENERAL:

- THIS PROJECT CONSISTS OF STRUCTURAL REPAIRS TO THE ROOF SUPPORT SYSTEM FOR THE BOWMAN HOUSE.
- FIELD VERIFY ALL DIMENSIONS, LOCATIONS AND ELEVATIONS SHOWN ON DRAWINGS FOR EXISTING STRUCTURES. BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- COORDINATE SCHEDULING OF ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, WITH THE OWNER. THIS BUILDING IS CURRENTLY OCCUPIED.
- THE REPAIRS INDICATED IN THESE DRAWINGS REFLECT THE MINIMUM FRAMING FOR THE FINAL REPAIRED CONDITION OF THE ROOF. SOME EXISTING FULL AND PARTIAL WOOD MEMBERS ARE NOT REFLECTED IN THESE DRAWINGS. THESE EXISTING MEMBERS ARE PERMITTED TO REMAIN IN PLACE, PROVIDED THEY ARE NOT IN CONFLICT WITH REPAIRS AND THEY DO NOT NEGATIVELY IMPACT THE STRUCTURAL SYSTEM.
- SPECIAL INSPECTIONS WILL BE PERFORMED BY WRA IN ACCORDANCE WITH THE PROGRAM INDICATED IN THE STATEMENT OF SPECIAL INSPECTIONS. COORDINATE APPLICABLE ACTIVITIES AND SCHEDULE WITH THE OWNER AND SPECIAL INSPECTOR. PROVIDE SAFE ACCESS INCLUDING LADDERS TO THE INSPECTOR FOR SPECIAL INSPECTIONS.
- THE DRAWINGS SHOW THE FINAL CONDITION OF THE STRUCTURES. PROVIDE MEANS TO STABILIZE THE STRUCTURES DURING ALL TEMPORARY CONDITIONS. DESIGN OF TEMPORARY STRUCTURAL SUPPORT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- SCALES NOTED ON THE DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DO NOT OBTAIN DIMENSIONAL INFORMATION FROM DIRECT SCALING OF THE DRAWINGS.
- DEMOLISH AND REMOVE ALL NON-STRUCTURAL ITEMS IN THE ATTIC BEFORE BEGINNING STRUCTURAL REPAIR WORK. THESE ITEMS INCLUDE BUT ARE NOT LIMITED TO: SHELVING, CASES, AND PLATFORMS.

ROUGH CARPENTRY:

- DESIGN OF ALL ROUGH CARPENTRY CONSTRUCTION IS IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL, ANSI/APC NDS (2015), "NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION WITH 2015 NDS SUPPLEMENTS".
- ALL WOOD FRAMING MEMBERS MUST COMPLY WITH PS-20, "AMERICAN SOFTWOOD LUMBER STANDARD". MAXIMUM MOISTURE CONTENT MUST BE 19 PERCENT. WOOD SPECIES AND GRADE MUST BE DOUGLAS-FIR LARCH NO. 1, OR AN APPROVED WOOD SPECIES AND GRADE OF EQUAL OR BETTER STRUCTURAL PROPERTIES.
- MINIMUM STRUCTURAL PROPERTIES FOR NEW VISUALLY-GRADED WOOD MEMBERS:
 - BENDING (F_b) = 1,000 PSI
 - TENSION PARALLEL TO THE GRAIN (F_t) = 675 PSI
 - SHEAR PARALLEL TO THE GRAIN (F_v) = 180 PSI
 - COMPRESSION PARALLEL TO THE GRAIN (F_c) = 1,500 PSI
 - MODULUS OF ELASTICITY: $E = 1,700,000$ PSI, $E_{min} = 600,000$ PSI
- UNLESS NOTED OTHERWISE, SIZES OF NEW WOOD MEMBERS ARE INDICATED BY THEIR NOMINAL DIMENSIONS. SIZES OF EXISTING WOOD MEMBERS ARE INDICATED BY THEIR ACTUAL DIMENSIONS.
- ALL NEW STRUCTURAL WOOD MEMBERS MUST BE TREATED WITH PRESERVATIVES CONTAINING NO ARSENIC AND NO CHROMIUM.
- FASTENERS AND CONNECTORS IN CONTACT WITH PRESERVATIVE-TREATED WOOD MUST BE HOT-DIPPED ZINC-COATED GALVANIZED STEEL COMPLYING WITH ASTM A153/A153M OR TYPE 304 STAINLESS STEEL.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, CONNECTIONS FOR WOOD MEMBERS MUST BE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE (IBC) 2015 TABLE 2304.10.1.
- SIMPSON STRONG-TIE CONNECTORS (OR APPROVED EQUAL) SPECIFIED ON THE DRAWINGS MUST BE FASTENED TO WOOD MEMBERS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. USE THE LARGEST SIZE AND NUMBER OF MANUFACTURER-SPECIFIED FASTENERS.
- SET ROUGH CARPENTRY TO REQUIRED LEVELS AND LINES WITH MEMBERS PLUMB, TRUE TO LINE, CUT, AND FITTED. FIT ROUGH CARPENTRY ACCURATELY TO OTHER CONSTRUCTION.
- DO NOT SPLICE STRUCTURAL MEMBERS BETWEEN SUPPORTS UNLESS OTHERWISE INDICATED.
- USE (4)-12d SINKER NAILS AT EACH CONNECTION UNLESS NOTED OTHERWISE.

DESIGN LOADS AND CRITERIA:

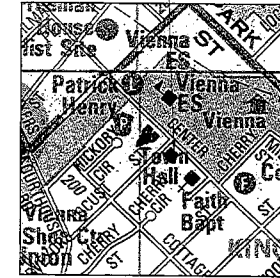
ALL LOADS INDICATED BELOW ARE UNFACTORED

- RISK CATEGORY: II
- DEAD LOADS:
 - STRUCTURES: ACTUAL WEIGHT
 - SUPERIMPOSED DEAD LOAD:
 - ROOF (CURRENT): 4 PSF
 - ROOF (FUTURE): 8 PSF
 - FUTURE ROOF LOAD FOR PLANNED ROOF REPLACEMENT INCLUDES REPLACEMENT IN-KIND OF TM ROOF, ADDED PLYWOOD SHEATHING, ADDED ROOF MEMBRANE, AND EXISTING ROOF BATTENS TO REMAIN.
 - ATTIC FLOOR: 13 PSF
 - SUPERIMPOSED DEAD LOADS INCLUDE COMBINED WEIGHT OF ALL PERMANENT NON-STRUCTURAL COMPONENTS SUPPORTED BY THE FRAMING, INCLUDING MEP COMPONENTS, ROOFING, FLOOR AND CEILING FINISHES, AND SPRINKLERS.
- FLOOR LIVE LOAD CAPACITY:
 - ATTIC FLOOR - AREA "A" ON PLAN: 20 PSF
 - ATTIC FLOOR - AREA "B" ON PLAN: 0 PSF
- ROOF LIVE LOAD: 12 PSF
- ROOF SNOW LOAD:
 - GROUND SNOW LOAD (P_G): 25 PSF
 - EXPOSURE FACTOR (C_E): 1.0
 - THERMAL FACTOR (C_T): 1.1
 - SNOW LOAD IMPORTANCE FACTOR (I_S): 1.0
 - SLOPED ROOF FACTOR (C_S): 0.4
 - SLOPED ROOF SNOW LOAD (P_S): 8 PSF
- WIND LOAD:
 - ULTIMATE WIND SPEED (MULT): 115 MPH
 - NOMINAL WIND SPEED (WASD): 90 MPH
 - EXPOSURE CATEGORY: B
 - INTERNAL PRESSURE COEFFICIENT: +/- 0.18
 - COMPONENTS AND CLADDING PRESSURES:
 - WALLS - INTERIOR: +21.8 PSF / -23.8 PSF
 - WALLS - END ZONE: +21.8 PSF / -26.8 PSF
 - ROOF - INTERIOR: +19.8 PSF / -19.8 PSF
 - ROOF - EDGES AND CORNERS: +19.8 PSF / -23.8 PSF
 - ROOF OVERHANGS: -43.8 PSF
 - ASSUMED COMPONENT EFFECTIVE WIND AREAS: 50 SF FOR WALLS, 100 SF FOR ROOFS, 10 SF FOR ROOF OVERHANGS
- SEISMIC LOAD:
 - SEISMIC IMPORTANCE FACTOR (I_E): 1.0
 - MAXIMUM EARTHQUAKE SPECTRAL RESPONSE ACCELERATION AT SHORT PERIODS: $SS=0.150$
 - MAXIMUM EARTHQUAKE SPECTRAL RESPONSE ACCELERATION AT ONE-SECOND: $S1=0.044G$
 - SITE CLASSIFICATION: D
 - SITE SEISMIC COEFFICIENT: $F_A=1.6$; $F_V=2.4$
 - SPECTRAL RESPONSE COEFFICIENTS: $SDS = 0.145$; $SD1 = 0.07$
 - SEISMIC DESIGN CATEGORY: B
 - BASIC SEISMIC FORCE RESISTING SYSTEM: LIGHT-FRAME (WOOD) WALLS WITH SHEAR PANELS
 - RESPONSE MODIFICATION FACTOR: $R=2$

CODES AND STANDARDS:

- VIRGINIA UNIFORM STATEWIDE BUILDING CODE, USBC (2015), INCLUDING LOCAL AMENDMENTS.
- AMERICAN WOOD COUNCIL, ANSI/APC NDS (2015), "NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION WITH 2015 NDS SUPPLEMENTS".
- AMERICAN SOCIETY OF CIVIL ENGINEERS, ASCE 7 (2010), "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES".
- VIRGINIA EXISTING BUILDING CODE, VNBC (2015), INCLUDING LOCAL AMENDMENTS.

PROJECT LOCATION
211 CENTER STREET SOUTH
VIENNA, VA 22180



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VICINITY MAP
NOT TO SCALE

LIST OF DRAWINGS		
SHEET	DRAWING NO.	DRAWING TITLE
1	S-1	GENERAL STRUCTURAL NOTES
2	S-2	ROOF FRAMING PLAN
3	S-3	SECTIONS AND DETAILS
4	S-4	PHOTOGRAPHS

REVISIONS	
FINAL SUBMISSION	2/25/19
A. REVISED FOR PERMIT COMMENT	5/25/19

CLIENT INFORMATION
TOWN OF VIENNA 127 CENTER STREET SOUTH VIENNA, VA 22180
THE BOWMAN HOUSE - STRUCTURAL ROOF REPAIRS

KEY PLAN

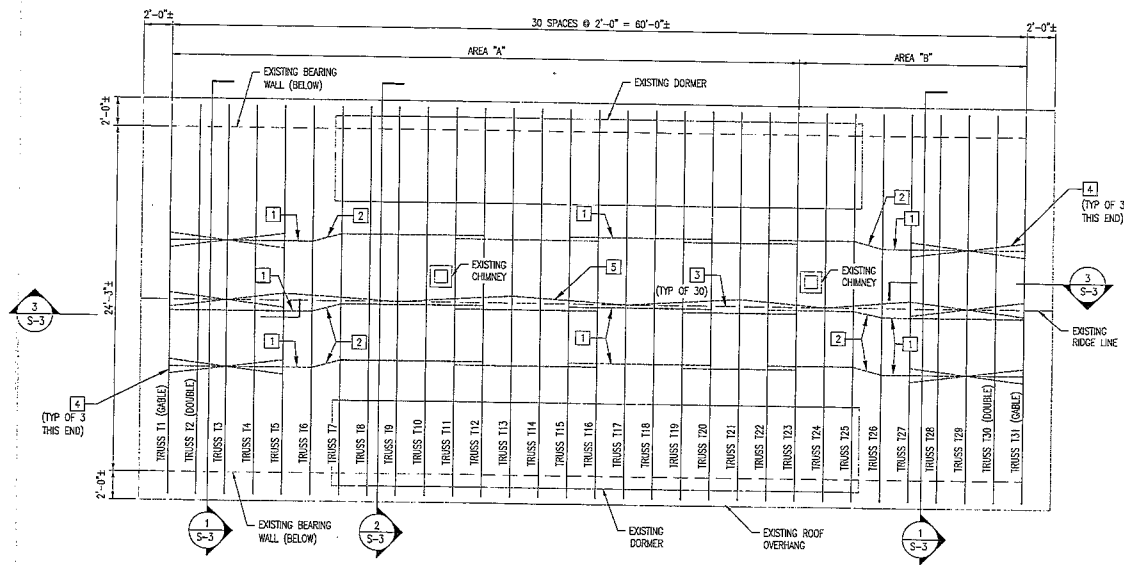
GRAPHIC SCALES

SIGNATURE
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE COMMONWEALTH OF VA, LICENSE NO. 12538, EXPIRATION DATE: 07/25/2020

WRA
Whitman, Reardon & Associates, LLP 12710 Fox Lakes Circle, Suite 300, Fairfax, Virginia 22035

GENERAL STRUCTURAL NOTES
DRAWING NO. S-1
SCALE: No Scale
DATE: FEB 2019 SHEET 1 OF 4
DES: EMB DRAWN: MNS CHECK: BJA





ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

GENERAL SHEET NOTES:

- SEE SHEET S-1 FOR GENERAL STRUCTURAL NOTES, DESIGN LOADS AND CRITERIA, AND APPLICABLE CODES AND STANDARDS.
- PROMINENTLY DISPLAY THE FOLLOWING PERMANENT SIGNAGE WITHIN THE ATTIC SPACE: SIGN IN AREA "A" MUST READ: "FLOOR LIVE LOAD CAPACITY = 20 POUNDS PER SQUARE FOOT, NOT SUITABLE FOR OCCUPANCY." SECTION OFF AREA "B" AND ADD SIGN FOR AREA "B" WHICH MUST READ: "FLOOR HAS NO LIVE LOAD CAPACITY IN THIS AREA, NOT SUITABLE FOR STORAGE NOR OCCUPANCY."

SHEET KEYNOTES:

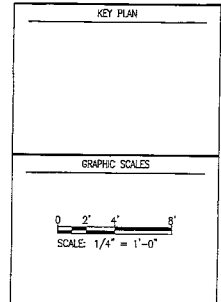
- 1x4 CONTINUOUS HORIZONTAL BOTTOM CHORD BRACING AT QUARTER-POINTS OF THE RAFTER TIE LENGTH. BRACING MEMBERS ARE 10'-0" TO 12'-0" LONG AND OVERLAP BY ONE TRUSS SPACE AT EACH END. CONNECT TO TOP OF EACH INTERSECTING TRUSS RAFTER TIE WITH (2)-12d SINKER NAILS.
- 2x6 CONNECTING RAFTER TIES AT DIFFERENT ELEVATIONS. CONNECT EACH END OF MEMBER TO RAFTER TIES WITH (2)-16d SINKER NAILS, TOE-NAILED.
- 2x6 RIDGE BOARD BETWEEN EACH TRUSS AT THE ROOF RIDGE LINE. CONNECT EACH END TO EXISTING TRUSS RAFTERS WITH (2)-16d SINKER NAILS, TOE-NAILED.
- 2x6 DIAGONAL BRACING FOR CABLE-END TRUSSES WITH (1)-A35 SIMPSON STRONG-TIE CONNECTION WITH (12)-8d X 1-1/2" NAILS (OR APPROVED EQUAL) EACH END. ALIGN IN PLAN WITH HORIZONTAL BOTTOM CHORD BRACING.
- 1x4 CONTINUOUS DIAGONAL BRACING CONNECTING KING POSTS (VERTICAL MEMBERS AT RIDGE) OF EACH TRUSS. BRACING IS ORIENTED 45 DEGREES FROM VERTICAL. CONNECT TO EACH INTERSECTING TRUSS WITH (2)-12d SINKER NAILS.

REVISIONS	
FINAL SUBMISSION	2/25/19

CUSTOMER INFORMATION

TOWN OF VIENNA
127 CENTER STREET SOUTH
VIENNA, VA 22180

**THE BOWMAN HOUSE-
STRUCTURAL ROOF
REPAIRS**



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE COMMONWEALTH OF VA, LICENSE NO. 232018
EXPIRATION DATE: 02/23/2020

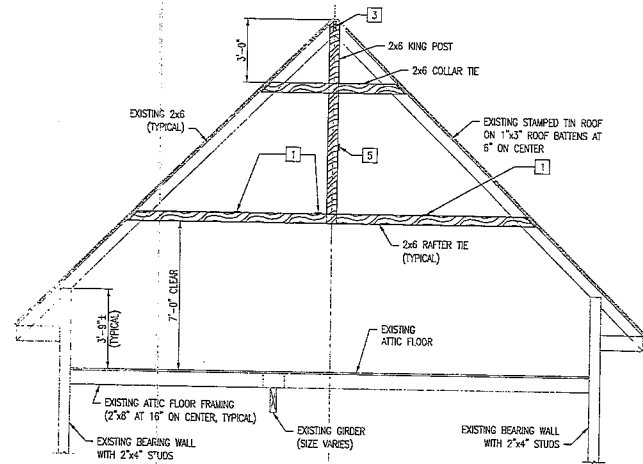
WRA
Whitman, Reardon & Associates, LLP
12700 Fair Lakes Circle, Suite 200, Fairfax, Virginia 22033

ROOF FRAMING PLAN

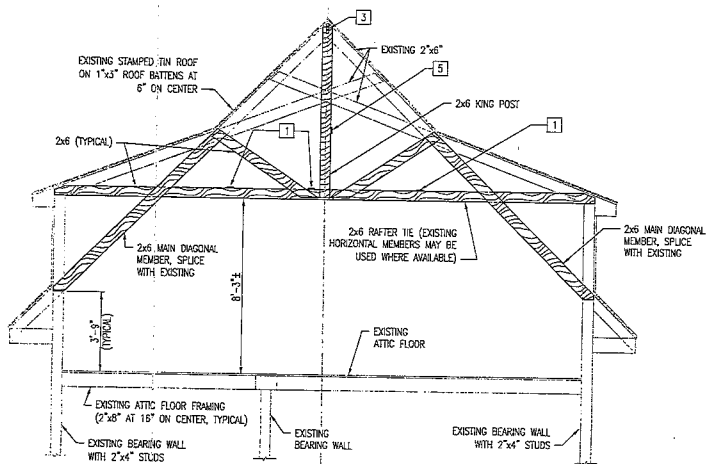
DRAWING NO.
S-2

SCALE: 1/4" = 1'-0"
DATE: FEB 2019 SHEET 2 OF 4
DES: BMB DRAWN: MBS CHECK: BJA

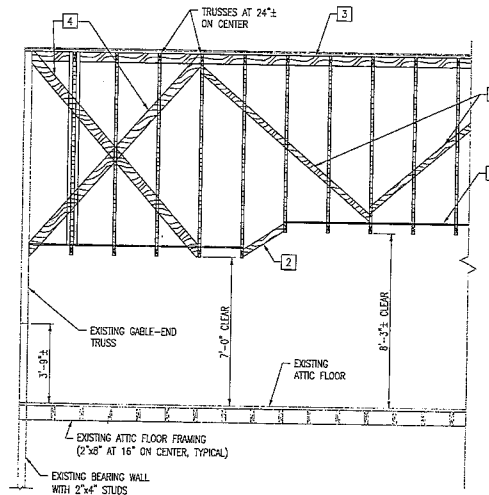
FAIRFAX COUNTY
REGISTERED
JUL 6 2019
LIVE SURVEYING
BUILDING DIVISION



1 SECTION
S-3 SCALE: 3/8" = 1'-0"
REF: S-2



2 SECTION
S-3 SCALE: 3/8" = 1'-0"
REF: S-2



3 SECTION
S-3 SCALE: 3/8" = 1'-0"
REF: S-2

SHEET KEYNOTES:

- 1 1x4 CONTINUOUS HORIZONTAL BOTTOM CHORD BRACING AT QUARTER-POINTS OF THE RAFTER TIE LENGTH. BRACING MEMBERS ARE 10'-0" TO 12'-0" LONG AND OVERLAP BY ONE TRUSS SPACE AT EACH END. CONNECT TO TOP OF EACH INTERSECTING TRUSS RAFTER TIE WITH (2)-12d SINKER NAILS.
- 2 2x6 CONNECTING RAFTER TIES AT DIFFERENT ELEVATIONS. CONNECT EACH END OF MEMBER TO RAFTER TIES WITH (2)-16d SINKER NAILS, TOE-NAILED.
- 3 2x6 RIDGE BOARD BETWEEN EACH TRUSS AT THE ROOF RIDGE LINE. CONNECT EACH END TO EXISTING TRUSS RAFTERS WITH (2)-16d SINKER NAILS, TOE-NAILED.
- 4 2x6 DIAGONAL BRACING FOR GABLE-END TRUSSES WITH (1)-35S SIMPSON STRONG-TIE CONNECTION WITH (12)-8d X 1-1/2" NAILS (OR APPROVED EQUAL) EACH END. ALIGN IN PLAN WITH HORIZONTAL BOTTOM CHORD BRACING.
- 5 1x4 CONTINUOUS DIAGONAL BRACING CONNECTING KING POSTS (VERTICAL MEMBERS AT RIDGE) OF EACH TRUSS. BRACING IS ORIENTED 45 DEGREES FROM VERTICAL. CONNECT TO EACH INTERSECTING TRUSS WITH (2)-12d SINKER NAILS.

REVISIONS	
FINAL SUBMISSION	2/25/10

CLIENT INFORMATION

TOWN OF VIENNA
127 CENTER STREET SOUTH
VIENNA, VA 22180

THE BOWMAN HOUSE-
STRUCTURAL ROOF
REPAIRS

KEY PLAN

GRAPHIC SCALES

SCALE: 3/8" = 1'-0"

SIGNATURE

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE COMMONWEALTH OF VA. LICENSE NO. 23019 EXPIRATION DATE: 02/25/2020

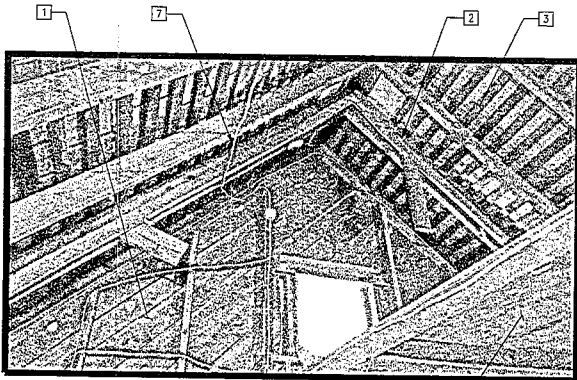
WRA
Whitman, Reardon & Associates, LLP
12700 Fair Lakes Circle, Suite 300, Fairfax, Virginia 22033

SECTIONS AND DETAILS

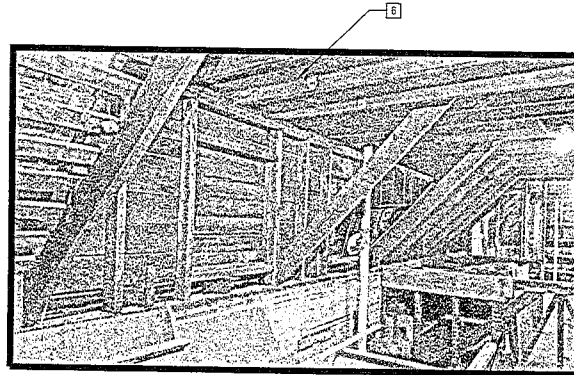
DRAWING NO.
S-3

SCALE: As Noted
DATE: FEB 2010 SHEET 3 OF 4
DES: FMB DRAWN: MBS CHECK: BJA

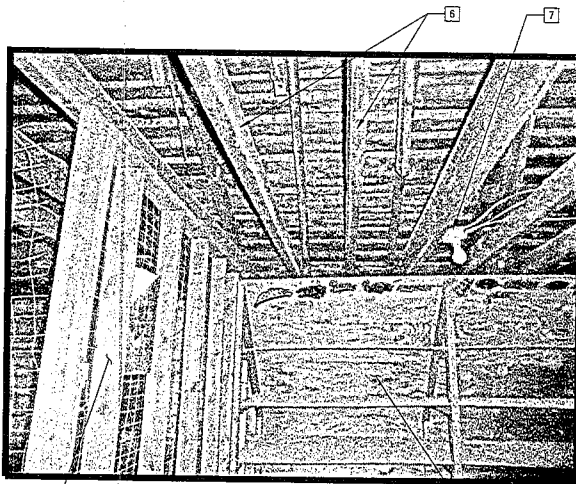
FAIRFAX COUNTY
REVIEWED
JUL 01 2010
LIFE SAFETY/LEAD
BUILDING DIVISION



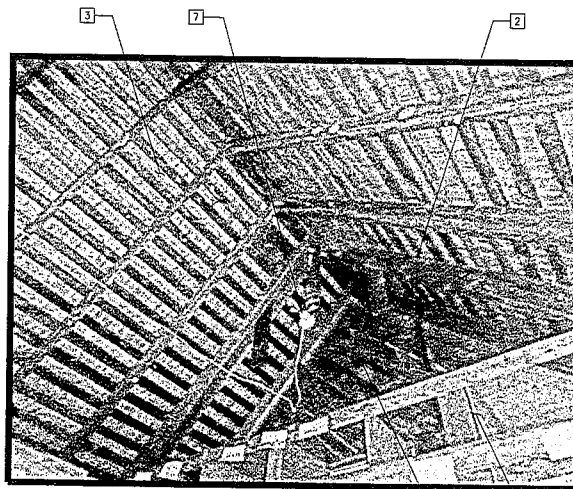
1 PHOTOGRAPH
S-4



2 PHOTOGRAPH
S-4



3 PHOTOGRAPH
S-4



4 PHOTOGRAPH
S-4

SHEET KEYNOTES:

- 1] CABLE END TRUSS.
- 2] DOUBLE-TRUSS.
- 3] EXISTING ROOF TYPICALLY CONSISTS OF A STAMPED TIN EXTERIOR SURFACE SUPPORTED BY 1"x3" WOODEN BATTEN BOARDS AT 6" ON CENTER, SUPPORTED BY WOOD TRUSSES AT 24" ON CENTER.
- 4] DEMOLISH AND REMOVE NON-STRUCTURAL COMPONENT.
- 5] STRUCTURAL INTERIOR SHEAR WALL FRAMING TO REMAIN. THERE ARE TWO INTERIOR SHEAR WALLS SPANNING ACROSS THE SHORT DIRECTION OF THE BUILDING FOOTPRINT.
- 6] EXISTING HORIZONTAL WOOD MEMBERS LOCATED APPROXIMATELY 8'-3" ABOVE FINISHED ATTIC FLOOR. THESE EXISTING MEMBERS MAY BE USED AS RAFTER TIES FOR REPAIRED TRUSSES. CONNECT TO TRUSSES AS INDICATED.
- 7] TEMPORARILY RELOCATE LIGHTS AND ELECTRICAL WIRES AS NECESSARY DURING CONSTRUCTION. RE-INSTALL LIGHTS IN ACCORDANCE WITH 2015 VIRGINIA USBC REQUIREMENTS, INCLUDING THE NATIONAL ELECTRICAL CODE (NFPA 70-2014) WHICH IS INCORPORATED BY REFERENCE.

REVISIONS	
FINAL SUBMISSION	2/25/19

CLIENT INFORMATION

TOWN OF VIENNA
127 CENTER STREET SOUTH
VIENNA, VA 22180

**THE BOWMAN HOUSE -
STRUCTURAL ROOF
REPAIRS**

KEY PLAN

GRAPHIC SCALES

SIGNATURE

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE COMMONWEALTH OF VA, LICENSE NO. 23818.
EXPIRATION DATE: 07/29/2020

WRA
Whitman, Reardon & Associates, LLP
13200 Four Lakes Circle, Suite 200, Fairfax, Virginia 22033

PHOTOGRAPHS

DRAWING NO.
S-4

SCALE: No Scale
DATE: FEB 2019 SHEET 4 OF 4
DES: BMB DRAWN: MMS CHECK: BJA

FAIRFAX COUNTY
REVIEWED
JUL 03 2019
LIFE SAFETY/LOG
BUILDING DIVISION

TRACING: JAMES W. WOODWARD/REVISIONS: ALAN...

200F
 200F
 19-19-2692



#	Const. type(s)	Peer Reviewer #	Group(s)		Result
			Rec'd	From/Date	
1	PR	08	08/10/19	11/19	F
2	PR	05			
3	PR				
4	Elevator				
5	PR				
6	PR				
7	PR				
8	PR				
9	PR				
10	PR				
11	PR				
12	PR				
Response letter included?		File Class:	Date/Time/By:		
CYes CNo		02	10/19/2019		

list is missing

PERMIT NO: 191420321
 PLAN NO: Q-19-2692
 CODE STD: 3015
 TAX MAP # 0348 Q 019
 PROJECT NAME:
 SONMAN HOUSE
 PROJECT ADDRESS:
 211 Corner S-B
 BLDG. NA. SUT: NA FLOOR NA
 CONTACT INFORMATION:
 NAME: XAVIER BALLINGER
 4150 National Ave
 Manassas, VA 20109
 PHONE: 571-210-6020
 FAX: NA
 For Status of Plan Review Visit:
 WWW.FAIRFAXCOUNTY.GOV/FDCO

#	Const. type(s)	Peer Reviewer #	Group(s)		Result
			Rec'd	From/Date	
1	PR	08	8/10/19	11/19	F
2	PR	05			
3	PR				
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10	PR				
11	PR				
12	PR				
Response letter included?		File Class:	Date/Time/By:		
CYes CNo		02	10/10/2019		