

CONDITIONAL USE PERMIT

GREEN HEDGES SCHOOL

TAX MAP #: 038-3-((21))-0008A & 038-3-((11))-0007

415 WINDOVER AVENUE, NW
VIENNA PLAN #: XXXXXXX

TOWN OF VIENNA, VIRGINIA

OWNER/DEVELOPER

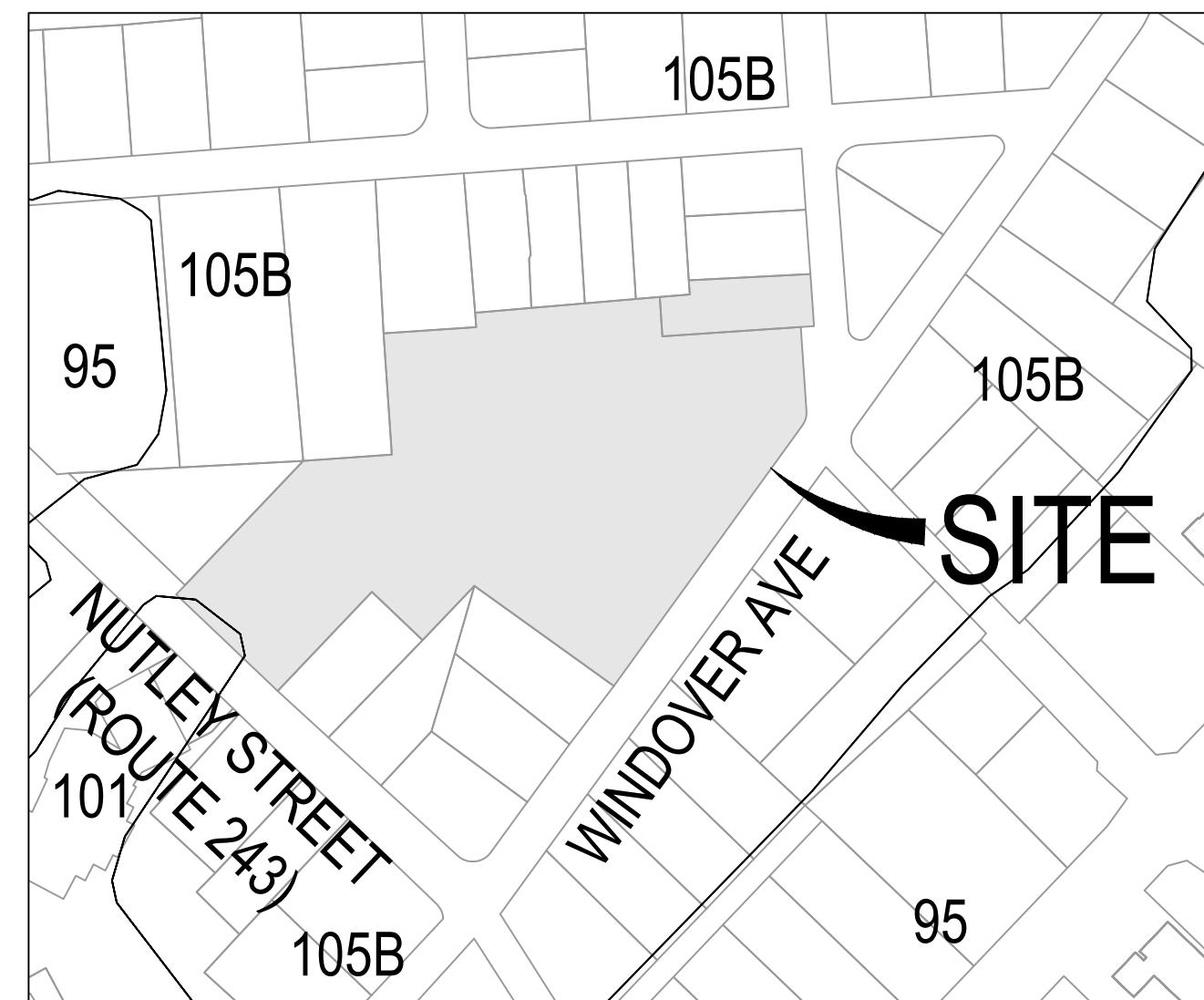
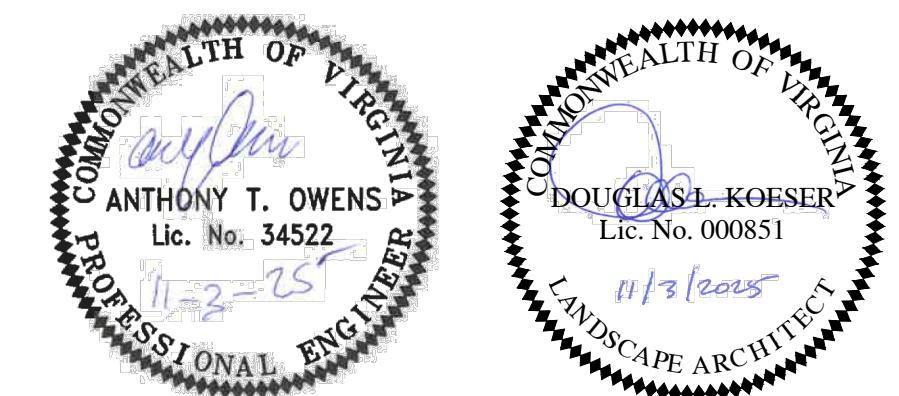
GREEN HEDGES SCHOOL, INC.

C/O PETER BARRETT, HEAD OF SCHOOL 415 WINDOVER
AVENUE, NW
VIENNA, VIRGINIA 22180

GORDON

•ENGINEERS•LAND PLANNERS•LANDSCAPE ARCHITECTS•SURVEYORS
4501 DALY DRIVE, SUITE 200
CHANTILLY, VA 20151
(703) 263-1900

PROJECT MANAGER: ANTHONY OWENS P.E.
PROJECT ENGINEER: HUNTER BARRY



SOILS MAP

SCALE: NOT TO SCALE

SOIL ID NUMBERS	SOIL SERIES NAME	FOUNDATION SUPPORT	SOIL DRAINAGE	EROSION POTENTIAL	PROBLEM CLASS
105B	WHEATON-GENELG COMPLEX	GOOD	GOOD	HIGH	IVB
101	URBAN LAND-WHEATON COMPLEX	GOOD	FAIR	HIGH	IVB



VICINITY MAP

SCALE: 1"=500'

PROGRAMMING AND PLANNING
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SURVEY AND MAPPING
SECURITY CONSULTING
4501 Daly Drive
Chantilly, VA 20151
Phone: 703-263-1900
www.gordon.us.com

REVISIONS	NUMBER	DATE	DESCRIPTION

SUR: E ERICKSON	DES: A. OWENS
DRW: H. BARRY	CHK: A. SARANT

COVERSHEET	
TOWN OF VIENNA, VIRGINIA	
TOWN OF VIENNA	
GREEN HEDGES SCHOOL CONDITIONAL USE PERMIT	

HORIZ: N/A	VERT: N/A
SCALE: N/A	N/A
DATE: November 3, 2025	
PLAN: GREEN HEDGES SCHOOL	
JOB: GORDON 2356-0501	
CADD: 2356-0501-C-04001.DWG	
NCS: 2356-0501-C-04001	
NUMBER: C-0010FC-014	

Gordon

GENERAL NOTES

1. THIS PHASED PROJECT INCLUDES THE EXPANSION OF KILMER HALL, THE CONSTRUCTION OF AN ADDITIONAL ACADEMIC BUILDING, INSTALLATION OF RECREATION FIELDS, CONSTRUCTION OF THE HALF SECTION OF THE WINDOVER AVENUE ALONG THE SITE FRONTRAGE TO MEET TOWN STANDARDS, DEMOLITION OF THE RICE ARTS BUILDING, INSTALLATION OF UPGRADED PLAYGROUND EQUIPMENT, INSTALLATION OF UPGRADE DUMPSTER ENCLOSURE, AND CONSTRUCTION OF VARIOUS SIDEWALK/TRAIL/PARKING AREAS INTERNAL TO THE PROPERTY. THIS PLAN DOES NOT REPRESENT A CONSTRUCTION PLAN AND SHOULD BE USED FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE SITE PLAN WILL BE PREPARED AND APPROVED BY THE TOWN TO BE USED FOR CONSTRUCTION
2. THE PROPERTY IS LOCATED IN FAIRFAX COUNTY, IDENTIFIED AS TAX MAP 38-3-W (21) LOT 0008A AND 38-3-((11)) LOT 0007 AND IS ZONED R-12.5.
3. THE PROPERTY BOUNDARY CONSISTS OF 4.3 ACRES
4. DISTURBED AREA FOR THE PROJECT IS 3.32 ACRES
5. THIS TOPOGRAPHIC MAPPING SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF, NICOLAE SOARE FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE ORIGINAL DATA WAS OBTAINED ON AUGUST 21, 2020 AUGMENTED ON MAY 7, 2021 AND MARCH 26, 2025 THROUGH APRIL 7, 2025.
6. HORIZONTAL DATUM: STATE PLANE COORDINATE SYSTEM OF 1983, VIRGINIA NORTH ZONE. NAD 1983, U.S. SURVEY FOOT. VERTICAL DATUM IS NGVD 1929.
7. TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THERE IS NO EVIDENCE OF ANY GRAVE, OBJECT OR STRUCTURE MARKING A PLACE OF BURIAL ON THIS PROPERTY.
8. TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THERE IS NO EVIDENCE OF ANY HISTORIC SITES ON THIS PROPERTY
9. GORDON DOES NOT CERTIFY TO THE LOCATION OF OR THE EXISTENCE OF ANY EXISTING UNDERGROUND UTILITIES. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND INSURE THE CONTINUANCE OF SERVICE. IF NECESSARY, THE SITE PLAN WILL BE MODIFIED TO ELIMINATE THE CONFLICT AT THE DEVELOPER'S EXPENSE.
10. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO CURRENT FAIRFAX COUNTY, FAIRFAX WATER, AND THE TOWN OF VIENNA STANDARDS AND SPECIFICATIONS.
11. ALL PROPOSED GRADES AS SHOWN HEREIN ARE FINISHED GRADE UNLESS NOTED ON THE PLAN.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
13. ALL LAND, ON OR OFF SITE, WHICH IS DISTURBED BY THIS DEVELOPMENT, AND WHICH IS NOT BUILT UPON OR SURFACED, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION.
14. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING TRUCKS AND/OR OTHER EQUIPMENT OF MUD PRIOR TO ENTERING THE RIGHT-OF-WAY, AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS OF MUD AND/OR ALLAY DUST AND TO TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT THE STREETS ARE KEPT IN A CLEAN AND DUST FREE CONDITION AT ALL TIMES.
15. CONTRACTOR SHALL NOTIFY OPERATORS WHO MAINTAIN EXISTING UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST TWO (2) WORKING DAYS, BUT NOT MORE THAN TEN (10) WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. CONTRACTOR SHALL CONTACT "MISS UTILITY" AT 811 PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
16. THE CLIENT, CONTRACTOR, AND/OR SURVEYOR SHALL BE RESPONSIBLE FOR NOTIFYING GORDON OF ANY CONDITIONS FOUND IN THE FIELD THAT VARY FROM WHAT IS SHOWN ON THE PLANS. OBSERVATIONS REGARDING APPARENT INCONSISTENCIES IN THE PLANS SHALL BE BROUGHT TO GORDON'S ATTENTION FOR VERIFICATION PRIOR TO STAKEOUT.
17. EXISTING AND PROPOSED SANITARY SEWER CLEAN OUT TOPS SHALL BE SET FLUSH WITH PROPOSED FINISHED GRADE AND BE ABLE TO WITHSTAND VEHICULAR TRAFFIC (AS REQUIRED).
18. ALL ADA ACCESSIBILITY IMPROVEMENTS PROPOSED/SHOWN ON THIS PLAN, INCLUDING BUT NOT LIMITED TO HANDICAPPED PARKING SPACES, AISLES, ROUTES AND SLOPES SHALL COMPLY WITH THE 2010 ADA STANDARD FOR ACCESSIBLE DESIGN AND THE 2012 USBC. FINISHED CONSTRUCTION OF RAMP AND RAMP LANDINGS SHALL NOT EXCEED A CROSS-SLOPE OF 2.08%. LONGITUDINAL SLOPE (PATH OF TRAVEL) OF RAMPS SHALL NOT EXCEED 8.33% AND SHALL BE NO LONGER THAN 30 FEET. THE LANDINGS SHALL NOT EXCEED 2.08% IN ANY DIRECTION.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH PERFORMANCE OF ITS WORK AND THE WORK OF ITS SUBCONTRACTORS. GORDON SHALL NOT HAVE CONTROL OVER, CHARGE OF, OR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
20. MAINTAIN A MINIMUM VERTICAL CLEARANCE OF ONE (1) FOOT SIX (6) INCHES BETWEEN CROSSINGS OF ALL UTILITY LINES UNLESS OTHERWISE NOTED.
21. APPROVAL OF THIS PLAN SHALL IN NO WAY GRANT PERMISSION BY THE APPROVING JURISDICTION FOR THE CONTRACTOR TO TRESPASS ON OFF-SITE PROPERTIES.
22. WHERE THE ORDINANCES DIFFER BETWEEN LOCAL, STATE, AND FEDERAL REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.

GENERAL SITE DEMOLITION NOTES (FOR INFORMATIONAL PURPOSES ONLY)

1. PRIOR TO START OF DEMOLITION ACTIVITIES, CONDUCT PRE CONSTRUCTION/DEMOLITION MEETING ON SITE WITH OWNER, TOWN SITE INSPECTOR AND CONTRACTOR, TO REVIEW METHODS AND PROCEDURES RELATED TO SITE DEMOLITION INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
 - A) INSPECT AND DISCUSS CONDITION OF CONSTRUCTION TO BE DEMOLISHED.
 - B) REVIEW AND FINALIZE DEMOLITION SCHEDULE AND VERIFY AVAILABILITY OF DEMOLITION PERSONNEL, EQUIPMENT, AND FACILITIES NEEDED TO MAKE PROGRESS AND AVOID DELAYS.
 - C) REVIEW AND FINALIZE PROTECTION REQUIREMENTS.
 - D) INSTALL STAGE 1 EROSION AND SEDIMENT CONTROLS.
2. CONTRACTOR SHALL COORDINATE PEDESTRIAN ACCESS WITH GREEN HEDGES TO MINIMIZE DISRUPTION DURING CONSTRUCTION. AND MAINTAIN ACCESS TO EXISTING WALKWAYS & FACILITIES. DO NOT CLOSE OR OBSTRUCT WALKWAYS WITHOUT WRITTEN PERMISSION FROM OWNER OR AUTHORITIES HAVING JURISDICTION.
3. LOCATE, IDENTIFY, DISCONNECT, SEAL OR CAP OFF ALL EXISTING UTILITIES SERVING THE AREA TO BE DEMOLISHED. ARRANGE TO SHUT OFF EXISTING SERVICE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY AND GREEN HEDGES. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING, SEALING OR REMOVAL HAS BEEN COMPLETED.
4. PROMPTLY REPAIR DAMAGE TO ADJACENT EXISTING SITE IMPROVEMENTS IF CAUSE BY SITE DEMOLITION.
5. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
6. WHERE REQUIRED ERECT TREE PROTECTION FENCING AROUND DRIP LINE OF INDIVIDUAL TREES, OR AROUND PERIMETER DRIP LINE OF GROUPS OF TREE, OR AT THE BACK OF EXISTING CURB OF EXISTING LANDSCAPE CURB ISLANDS FOR EACH PHASE.
7. PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION MEASURES REQUIRED TO PROVIDE SAFE PEDESTRIAN ACCESS AND PREVENT INJURY AND DAMAGE TO EXISTING FACILITIES TO REMAIN.
8. PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA AND TO AND FROM PORTIONS OF EXISTING PARKING AREAS.
9. MAINTAIN SITE ACCESS. DO NOT CLOSE OR OBSTRUCT STREETS, TRAVEL WAYS AND WALKWAYS. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS.
10. ALL TREE PROTECTION DEVICES AND PERIMETER EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF DEMOLITION OPERATIONS FOR EACH PHASE.
11. ALL DEMOLISHED MATERIALS SHALL BE REMOVED FORM THE SITE AND DISPOSED OF PROPERLY.
12. CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS IN ACCORDANCE WITH LOCAL, COUNTY, STATE AND FEDERAL

OWN OF VIENNA GENERAL NOTES

A PRE-CONSTRUCTION MEETING MUST BE HELD PRIOR TO THE START OF CONSTRUCTION. CALL 703-255-6564 TO SCHEDULE THE PRE-CONSTRUCTION MEETING.

ALL CONSTRUCTION GENERATED DEBRIS MUST BE HAULED AWAY BY THE CONTRACTOR OR OWNER.

PRIOR TO THE REMOVAL OF ANY TOWN TREES (TREES WITHIN THE RIGHT OF WAY), THE APPLICANT OR THEIR REPRESENTATIVE SHALL CONTACT THE TOWN OF VIENNA ARBORIST AT 703-255-6360 TO COORDINATE HAVING THE TOWN ARBORIST ONSITE DURING ALL TOWN TREE REMOVAL.

TREE PROTECTION FOR ANY TOWN TREE, AS SHOWN ON PLAN, MUST BE INSTALLED PRIOR TO ANY SITE WORK.

IT IS UNLAWFUL TO PERFORM ANY CONSTRUCTION ABOVE FOUNDATION CORNERS PRIOR TO APPROVAL OF SETBACKS. WORK COMPLETED IN VIOLATION OF THIS REQUIREMENT IS SUBJECT TO DEMOLITION.

ALL DUMPSTERS/PODS ARE TO BE PLACED ON PRIVATE PROPERTY.

FRONT ELEVATION CHECKS ARE REQUIRED.

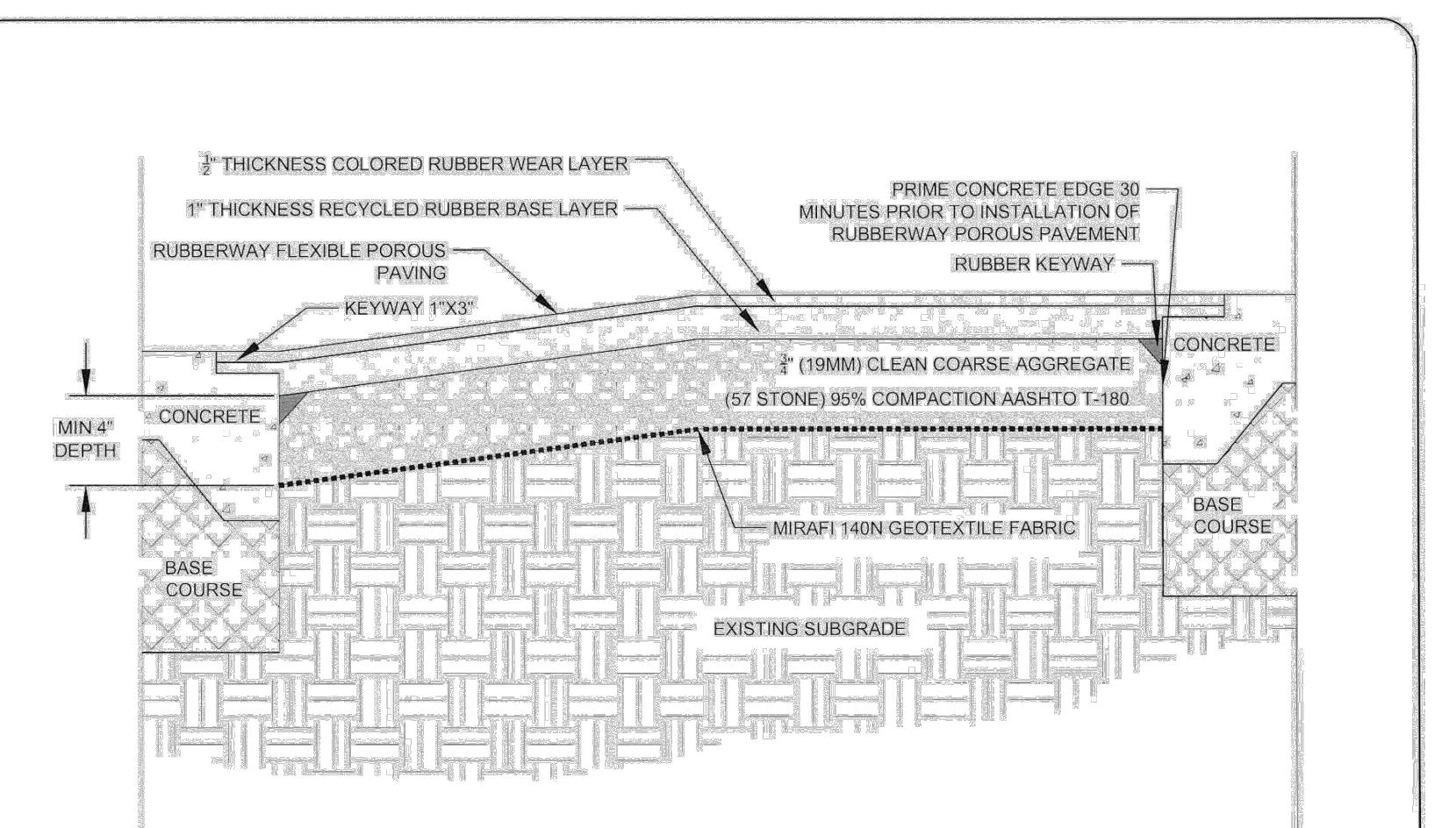
WALL CHECK SURVEYS ARE REQUIRED AND MUST BE SUBMITTED PRIOR TO CONSTRUCTION ABOVE FOUNDATION CORNERS.

A CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO OCCUPANCY. ALL REQUIRED DOCUMENTATION AND INSPECTIONS MUST BE SUBMITTED/COMPLETED BEFORE THE TOWN OF VIENNA WILL ISSUE A CERTIFICATE OF OCCUPANCY.

EXISTING SANITARY SEWER LATERALS ARE TYPICALLY CAPPED AT OR NEAR THE PROPERTY LINE. THE REUSE OF THE PORTION OF THE EXISTING SANITARY SEWER LATERAL BETWEEN THE TOWN OWNED SEWER MAIN AND THE CAPPED END MAY BE ALLOWED PROVIDING THAT A LICENSED PLUMBER CERTIFIES THAT THE EXISTING PIECE OF PIPE IS GRADED PROPERLY AND IN LIKE NEW CONDITION. THE REUSE OF A PORTION OF THE EXISTING LATERAL DOES NOT IMPLY THAT THE TOWN IS WARRANTING THE CONDITION IN ANY WAY.

PARKING TABULATION

PARKING EVALUATIONS	
OVERALL REQUIREMENT	1 SPACE PER FACULTY MEMBER AND OTHER FULL-TIME EMPLOYEE ON MAJOR SHIFT, PLUS 5 SPACES PER 100 STUDENTS BASED ON TOTAL MAXIMUM ENROLLMENT
TOTAL EXISTING	54 SPACES
TOTAL REQUIRED	$(50 \times 1) + ((225/100) \times 5) = 62$ SPACES
TOTAL PROPOSED	66 SPACES



<p>E: INFORMATION SHOWN IS SUGGESTED. DUE TO APPLICATION ANCES, IT IS THE RESPONSIBILITY OF THE ENGINEER OR ORD TO PROVIDE ALL INFORMATION REQUIRED TO SUIT AL BUILDING CODES AND REGULATIONS. THIS DETAIL IS FOR REPRESENTATIVE PURPOSES ONLY AND SHOULD NOT BE EY USED FOR CONSTRUCTION PURPOSES UNLESS IT HAS CERTIFIED AND SEALED BY A QUALIFIED ENGINEER.</p>		<p>Rubberway, Inc. 4000 Barranca Pkwy. Ste 250 Irvine, CA 92604 Phone: 877.288.0045 rubberway.com</p>	<p>SHEET NAME: RUBBERWAY RAMP 2 LAYER SYSTEM BETWEEN CONCRETE FLATWORK</p> <p>SHEET: DETAIL NO. 18</p> <p>APPROVED BY: KA DRAWN BY: JAB DATE: 1/23/15</p>
<p>DUE TO VARIANCES IN LOCAL CODES, CONSTRUCTION PRACTICES AND REQUIREMENTS, ALL DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SUCH LOCAL CODES, CONSTRUCTION PRACTICES AND REQUIREMENTS REGARDLESS OF DETAIL CONSTRUCTION SHOWN IN DRAWING. RUBBERWAY, INC. RESERVES THE RIGHT TO CHANGE SPECIFICATIONS SHOWN WITHOUT NOTICE. ALL CHANGES TO SPECIFICATIONS CAN ONLY BE APPROVED BY RUBBERWAY, INC.</p>			

OR APPROVED EQUAL

PERFECT PAVEMENT

PERMEABLE PAVEMENT
DETAIL (AS PROVIDED BY TOWN OF VIENNA)
(NOT TO SCALE)

FGFND

EXISTING

POSED

	PROPERTY LINE
	EASEMENT LINE
	EDGE PAVEMENT
	CENTERLINE
	FENCE LINE (CHAIN LINK)
	FENCE LINE (WOOD)
	FENCE LINE (RAIL)
	GAS LINE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND COMMUNICATIONS LINE
	GUARDRAIL OR TRAFFIC BARRICADE
	WATER MAIN
	BUILDINGS
	PROP. BLDG.
	RETAINING WALL
	SIDEWALK
	TRAIL
	HEADER CURB
	CURB & GUTTER
	SANITARY SEWER
	STORM SEWER
	DITCH, SWALE OR SMALL STREAM
	LARGE STREAM
	CONCRETE DITCH
	TREES
	TREE LINE
	LIMITS OF DISTURBANCE
	LIMITS OF WORK
	CONTOUR LINE
	SPOT ELEVATION
	OVERLAND RELIEF
	ADA ACCESSIBLE ROUTE
	TEST PIT
	STREET LIGHT
	ELEC. MANHOLE
	PARKING SPACE COUNT
	RECYCLING/DUMPSTER PAD
	TRANSFORMER PAD
	ENTRANCES
	RIP RAP
	LANDSCAPE AREA
	MULCH/RUBBER AREA
	PERMEABLE PAVEMENT

GENERAL NOTES AND LEGEND

GREEN HEDGES SCHOOL CONDITIONAL USE PERMIT

THE TOWN OF VIENNA, VIRGINIA

GREEN HEDGES SCHOOL CONDITIONAL USE PERMIT

EXISTING CONDITIONS PLAN

TOWN OF VIENNA VIRGINIA

Number	Date	Description	Revisions

HORIZ: 1' = 20'
SCALE: VERT: N/A

DATE: November 3, 2025

PLAN: GREEN HEDGES SCHOOL

JOB: GORDON 2356-0501

CADD: 2356-0501-C-XP-101.DWG

NCS: 2356-0501-C-XP-101

NUMBER: C-003OFCC-014



The logo for Gordon consists of a stylized, symmetrical graphic element on the left, resembling a four-petaled flower or a star with curved edges. To the right of this graphic, the word "Gordon" is written in a large, bold, black, sans-serif font.

gordon
4501 Daly Drive
Chantilly, VA 20151
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PROGRAMMING AND PLANNING
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LANDSCAPE ARCHITECTURE
SURVEY AND MAPPING
SECURITY CONSULTING

N/F LAURA L. LEE AND RAMSEYE E. ZACHARIA D.B. 13393 PG. 426 LOT 4, PART OF BLOCK 17

N/F CURTIS FRANK TURNBOW D.B. 7952 PG. 642 LOT 7, PART OF BLOCK 17

N/F ASHWANI K GUPTA AND BHAVNA GUPTA D.B. 25230 PG. 430 LOT 2, JOHN T. MEYERS SUBDIVISION

N/F DOUGLAS L. MANN AND LINDA J. MANN, TRUSTEES D.B. 25270 PG. 1537 LOT 9, M.O. BRADFORD SUBDIVISION

N/F JAMES M. PRISBE AND ANN M. DEA D.B. 21945 PG. 944 LOT 8, M.O. BRADFORD SUBDIVISION

N/F DAVID SLINGBAUM AND CAREN APPEL-SLINGBAUM D.B. 27056 PG. 888 LOT 7, M.O. BRADFORD SUBDIVISION

ROUTE 243

GRAPHICAL SCALE: 1" = 20'

GREEN HEDGES SC CONDITIONAL USE P EXISTING CONDITIONS PLAN

HORIZ:	1' = 20'
SCALE:	VERT: N/A
DATE: November 3, 2025	
PLAN: GREEN HEDGES SCHOOL	
JOB:	GORDON 2356-0501
CADD:	2356-0501-C-XP-101.DWG
NCS:	2356-0501-C-XP-101
NUMBER: C-004 <small>o</small> FC-014	

gordon CONSULTING SERVICES

PROGRAMMING AND PLANNING
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
SURVEY AND MAPPING
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Number	Date	Description	Revisions

SUR:	DES:
E.ERICKSON	A.OWENS
DRW:	CHK:
H.BARRY	A.SARANT

HORIZ: 1' = 20'
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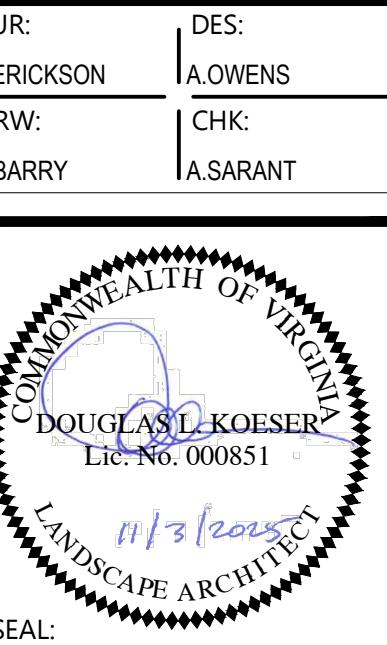
CADD: 2356-0501-C-XP-101.DWG

NCS: 2356-0501-C-XP-101

NUMBER: C-004oFC-014

 **Gordon**

REVISIONS	
NUMBER	DATE



TREELIST	GREEN HEDGES SCHOOL CONDITIONAL USE PERMIT
TOWN OF VIENNA, VIRGINIA TOWN OF VIENNA	

HOZ: NA
SCALE: VERT: NA
DATE: November 3, 2025
PLAN: GREEN HEDGES SCHOOL
JOB: GORDON 2356-0501-4
CADD: 2356-0501-4-TP-01.DWG
NCS: 2356-0501-4-TP-01
NUMBER: C-0060FC-014

TREE NO.	BOTANICAL NAME	COMMON NAME	D.B.H. (in.)*	CRZ	SPECIMEN	CONDITION	TO BE REMOVED	COMMENTS
1	Ulmus rubra	Slippery elm	23	35		Fair-Poor		Off-site; Root prune at LOD line
2	Ulmus rubra	Slippery elm	21	32		Fair-Poor		Off-site; Root prune at LOD line
3	Lagerstroemia indica	Crape Myrtle	7	14		Fair		Multi-trunk (5,4,1); Root prune at LOD line
4	Lagerstroemia indica	Crape Myrtle	8	16		Fair		Multi-trunk (4,4,3,3,3); Root prune at LOD line
5	Lagerstroemia indica	Crape Myrtle	6	12		Good		Multi-trunk (5,3,3); Root prune at LOD line
6	Lagerstroemia indica	Crape Myrtle	8	16		Good		Multi-trunk (5,4,3,3,2); Root prune at LOD line
7	Lagerstroemia indica	Crape Myrtle	9	18		Good		Multi-trunk (6,4,3,3,3); Root prune at LOD line
8	Lagerstroemia indica	Crape Myrtle	9	18		Good		Multi-trunk (5,4,4,3,3); Root prune at LOD line
9	Lagerstroemia indica	Crape Myrtle	9	18		Good		Multi-trunk (6,5,4,3,2); Root prune at LOD line
10	Lagerstroemia indica	Crape Myrtle	11	22		Good		Multi-trunk (6,6,4,3,3,2); Root prune at LOD line
11	Lagerstroemia indica	Crape Myrtle	11	22		Good		Multi-trunk (6,5,5,4,3,3); Root prune at LOD line
12	Lagerstroemia indica	Crape Myrtle	10	20		Good		Multi-trunk (6,5,5,4,4); Root prune at LOD line
13	Lagerstroemia indica	Crape Myrtle	11	22		Good		Multi-trunk (6,5,5,4,4); Root prune at LOD line
14	Lagerstroemia indica	Crape Myrtle	8	16		Good		Multi-trunk (5,4,3,3,3); Root prune at LOD line
15	Lagerstroemia indica	Crape Myrtle	8	16		Good		Multi-trunk (5,4,3,3,3); Root prune at LOD line
18	Pinus strobus	Eastern white pine	12	18		Fair	Remove	Near fence; recently pruned
19	Juglans nigra	Black walnut	15	23		Fair	Remove	Hole in trunk; offsite
20	Pinus strobus	Eastern white pine	9	14		Poor	Remove	Mostly dead; broken limbs
21	Pinus strobus	Eastern white pine	13	20		Fair	Remove	Narrow form; vines
22	Cornus kousa	Kousa dogwood	4	6		Good	Remove	
24	Pinus strobus	Eastern white pine	31	47	✓	Fair		Root prune at LOD line
25	Liriodendron tulipifera	Tulip Poplar	35	53	✓	Fair		Large wound in upper canopy
26	Robinia pseudoacacia	Black locust	18	27		Fair		Next to Redcedar; Minor deadwood
27	Juniperus virginiana	Eastern redcedar	21	42		Fair		Twin trunk (16', 14'); Next to Black Locust
28	Thuja occidentalis	Northern white-ceda	11	17		Fair		Close to house
29	Prunus spp.	Ornamental Cherry	22	44		Good		Multi-trunk (6); 15", 9", 8", 8", 5", 5"
30	Thuja occidentalis	Northern white-ceda	14	28		Fair		Multi-trunk (12" 8"); Next to overhang
31	Magnolia stellata	Star magnolia	14	28		Good		Multi-trunk (5); 5", 5", 4", 4", 4"
32	Lagerstroemia indica	Crape Myrtle	9	18		Good		Multi-trunk (3); 6", 6", 4"
33	Lagerstroemia indica	Crape Myrtle	18	36		Good		Multi-trunk (6); 11", 8", 8", 7", 5", 3"
34	Lagerstroemia indica	Crape Myrtle	13	26		Good		Multi-trunk (4); 9", 6", 6", 4"
35	Chamaecyparis obtusa	Hinoki falsecypress	25	38		Good		Multi-trunk (2) at 5.5'
36	Prunus spp.	Ornamental Cherry	9	14		Good	Remove	
37	Prunus spp.	Ornamental Cherry	8	12		Good	Remove	
39	Acer rubrum	Red maple	10	15		Good		On-site: Near fence
40	Acer rubrum	Red maple	14	21		Good	Remove	
41	Acer rubrum	Red maple	24	36		Good	Remove	
42	Acer rubrum	Red maple	18	27		Good		
43	Acer rubrum	Red maple	17	26		Good	Remove	
44	Cornus florida	Flowering dogwood	4	6		Good	Remove	
45	Catalpa speciosa	Northern catalpa	30	45	✓	Good		Tree is not used for tree canopy due to over 30% CRZ impact
46	Acer rubrum	Red maple	19	29		Good		
47	Robinia pseudoacacia	Black locust	21	32		Poor		Major deadwood
49	Sassafras albidum	Sassafras	8	0		Poor		Dead
50	Pinus virginiana	Virginia pine	17	26		Good		
51	Acer rubrum	Red maple	18	27		Good		
56	Cornus florida	Flowering dogwood	3	5		Good		
57	Picea abies	Norway spruce	20	30		Good-Fair	Remove	Limbed up
58	Fagus grandifolia	American Beech	6	9		Good	Remove	
59	Picea abies	Norway spruce	13	20		Good	Remove	
60	Acer rubrum	Red maple	38	57	✓	Fair	Remove	Girdling roots
61	Acer saccharinum	Silver maple	31	47	✓	Fair	Remove	Poor form; Minor deadwood
62	Pinus tabuliformis	Chinese Red Pine	15	23		Good	Remove	
63	Cercis canadensis	Eastern redbud	6	12		Good		6" at base (multi-trunk)
64	Cornus kousa	Kousa dogwood	6	9		Good		
65	Cercis canadensis	Eastern redbud	13	20		Fair-Poor		Deadwood; Damage at trunk
66	Magnolia stellata	Star magnolia	6	9		Good	Remove	
67	Magnolia stellata	Star magnolia	6	9		Good	Remove	
68	Lagerstroemia indica	Crape Myrtle	9	18		Good	Remove	Multi-stem (5,4,4,3)
69	Pyrus calleryana	Callery pear	17	26		Fair	Remove	Woodpecker damage on trunk
70	Acer rubrum	Red maple	32	64	✓	Good	Remove	Twin (25"/21"); Minor deadwood
71	Pyrus calleryana	Callery pear	5	8		Good	Remove	
72	Quercus palustris	Pin oak	20	30		Fair-Poor	Remove	Deadwood at top; pruned at top
74	Fagus grandifolia	American beech	39	59	✓	Poor	Remove	Limbed up; Deadwood at top; Compacted roots
75	Catalpa speciosa	Northern catalpa	37	56	✓	Fair	Remove	
76	Catalpa speciosa	Northern catalpa	27	41		Fair		Near fence line; narrow form: Along Windover Street; Not taking canopy credit due to over 30% CRZ impact
77	Fagus grandifolia	American beech	35	53	✓	Fair		Along Windover Avenue; Exposed roots; Not taking canopy credit due to over 30% CRZ impact
78	Juniperus virginiana	Eastern redcedar	16	24		Poor	Remove	Mostly dead; Along Lewis Street
79	Juniperus virginiana	Eastern redcedar	13	20		Fair-Poor	Remove	Narrow form; Along Lewis Street
80	Juglans nigra	Black walnut	32	48	✓	Good	Remove	Street tree along Lewis Street
81	Robinia pseudoacacia	Black locust	35	53	✓	Good	Remove	Street tree along Lewis Street
83	Juglans nigra	Black walnut	35	53	✓	Good	Remove	Street tree along Lewis Street
84	Juniperus virginiana	Eastern redcedar	18	27		Good		Along Lewis Street
85	Morus alba	White mulberry	6	9		Fair		Within 206 Lewis street parcel; Growing at base of chain-link fence
86	Morus alba	White mulberry	6	9		Fair		Within 206 Lewis street parcel
89	Juglans nigra	Black walnut	14	21		Good	Remove	
90	Sassafras albidum	Sassafras	5	8		Good	Remove	
91	Juglans nigra	Black walnut	12	18		Good	Remove	
92	Cercis canadensis	Eastern redbud	5	8		Good	Remove	
93	Cercis canadensis	Eastern redbud	6	9		Good	Remove	
94	Liriodendron tulipifera	Tulip Poplar	50	75	✓	Fair-Poor	Remove	Lightning damage; regrowth at top
95	Ulmus pumila	Siberian elm	33	50	✓	Fair	Remove	
96	Ulmus americana	American elm	33	50	✓	Fair	Remove	
97	Thuja occidentalis	Northern white-ceda	14	21		Good		
98	Thuja occidentalis	Northern white-ceda	8	12		Good		
99	Thuja occidentalis	Northern white-ceda	8	12		Good		

TREE NO.	BOTANICAL NAME	COMMON NAME	D.B.H. (in.)*	CRZ	SPECIMEN	CONDITION	TO BE REMOVED	COMMENTS
100	Thuja occidentalis	Northern white-ceda	8	12		Good		
101	Thuja occidentalis	Northern white-ceda	8	12		Good		
102	Thuja occidentalis	Northern white-ceda	12	18		Good		
104	Thuja occidentalis	Northern white-ceda	8	12	</td			



GENERAL NOTES:
 1. REFERENCE THIS SHEET FOR THE
 ORIENTATION OF ALL PLAN VIEWS HEREIN
 ONLY. ALL OTHER ITEMS SHOWN ARE
 PROVIDED FOR INFORMATIONAL PURPOSES
 ONLY.

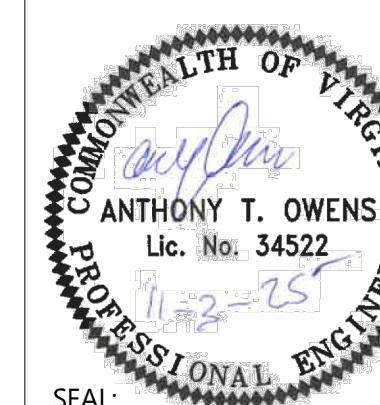
50 25 0 50 100 150
GRAPHICAL SCALE: 1' = 50'

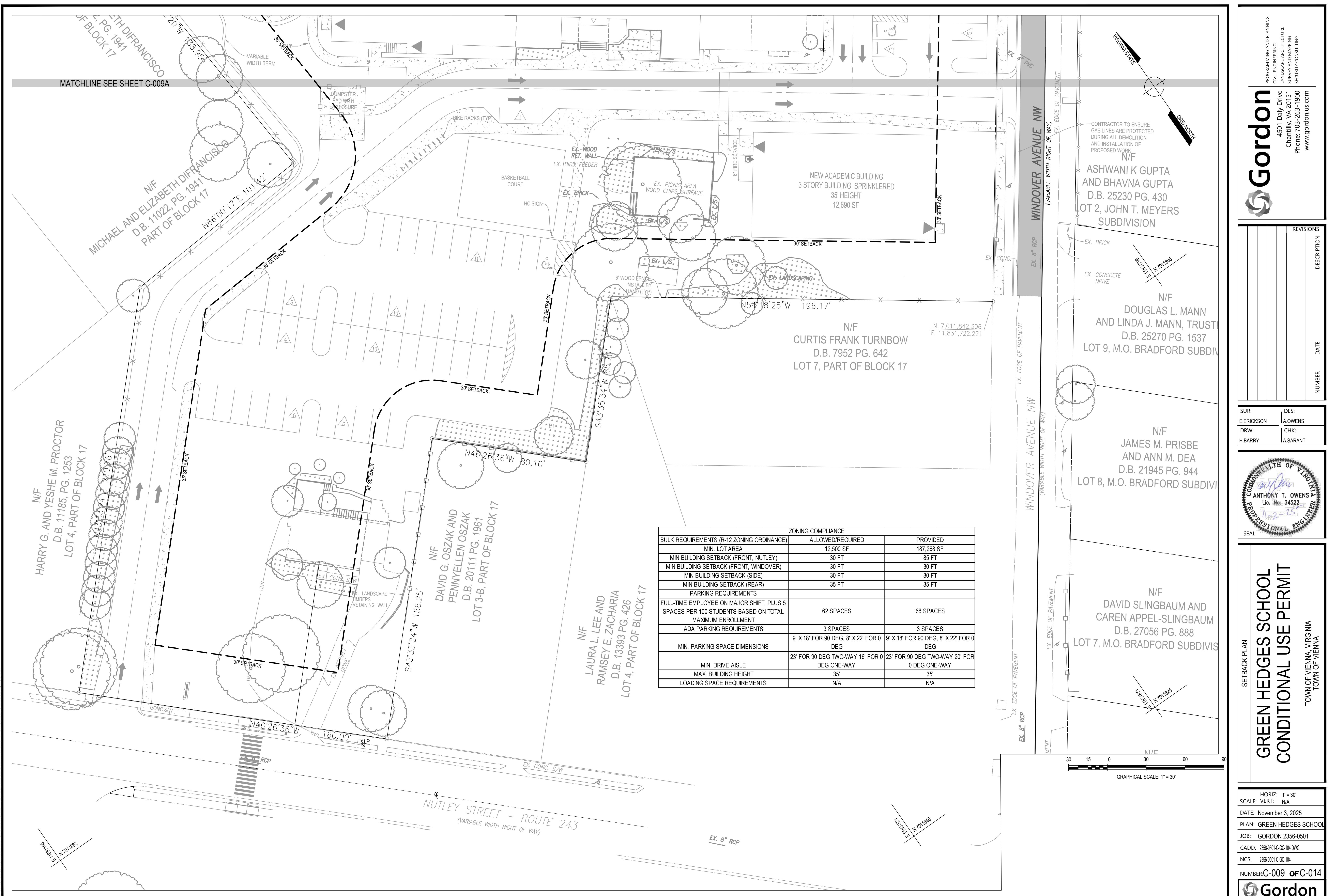
OVERALL LAYOUT PLAN
TOWN OF VIENNA, VIRGINIA
TOWN OF VIENNA

GREEN HEDGES SCHOOL
CONDITIONAL USE PERMIT

HORIZ:	1' = 50'
SCALE:	VERT: N/A
DATE:	November 3, 2025
PLAN:	GREEN HEDGES SCHOOL
JOB:	GORDON 2356-0501
CADD:	2356-0501-C-0403.DWG
NCS:	2356-0501-C-0403
NUMBER:	C-007 OF C-014

Gordon
PROGRAMMING AND PLANNING
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
SURVEY AND MAPPING
SECURITY CONSULTING
4501 Daily Drive
Chantilly, VA 20151
Phone: 703-263-1900
www.gordon.us.com







GREEN HEDGES SCHOOL

415 WINDOVER AVE NW
VIENNA, VA
TOWN OF VIENNA

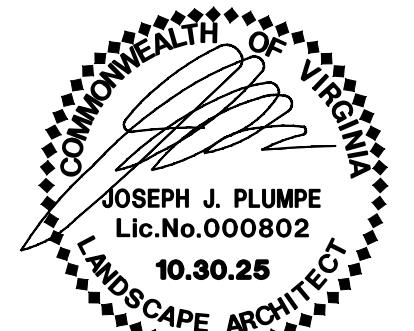
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GREEN HEDGES SCHOOL - THE STONE HOUSE GROUP

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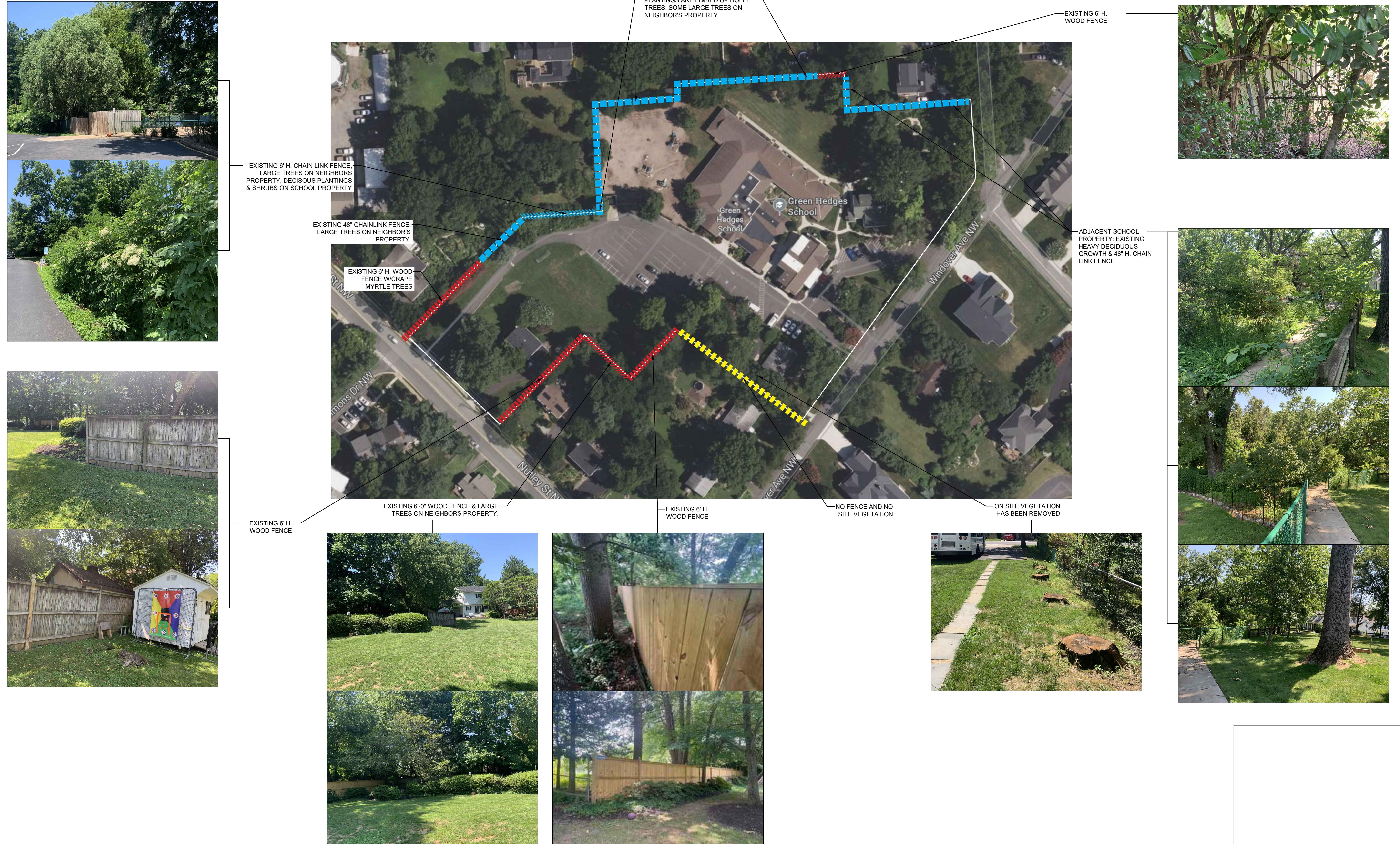
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SUITE 120, #769
ALEXANDRIA, VA 22315-5711
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SEAL/SIGNATURE



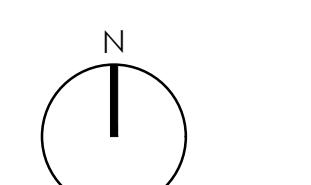
ISSUE DAT

LANDSCAPE PLAN 07.25.2025
LANDSCAPE PLAN 10.30.2025



PROJECT NUMBER: 25009
CONTACT: JOSEPH PLUMPE
DRAWN: YJ
APPROVED/CHECKED: JP

ORIENTATION AND SCALE



SCALE: 1"=60'-0"

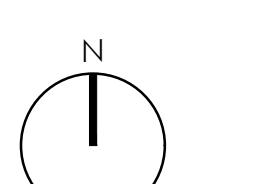
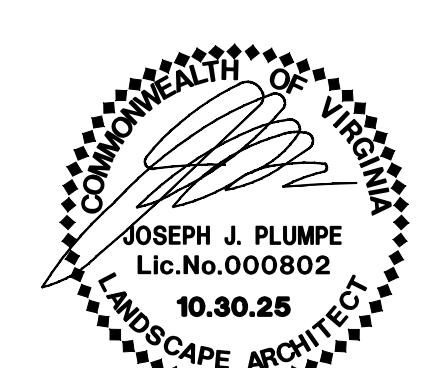
EXISTING SITE BOUNDARY CONDITIONS

SHEET NUMBER

C-010

SITE DEVELOPMENT PLAN

2022 年度第 1 四半期決算説明会



BUFFER CONDITIONS					
SEGMENTS	EXISTING FENCE	EXISTING VEGETATION	PROPOSED FENCE	VEGETATION BUFFER	15' BUFFER REQUIREMENT MET?
A1-A2	EXISTING 4' H. CHAIN LINK FENCE	EXISTING VEGETATION ON ADJACENT NEIGHBOR PROPERTY	N/A	9' BUFFER OF SHRUBS PLANTING ONLY.	NO
A2-B	EXISTING 4' H. CHAIN LINK FENCE	EXISTING VEGETATION ON ADJACENT NEIGHBOR PROPERTY	N/A	8'-4" BUFFER.	NO
B-C	EXISTING 6' H. WOOD FENCE.	EXISTING VEGETATION ON ADJACENT NEIGHBOR PROPERTY	EXISTING 6' WOOD FENCE TO REMAIN	15' BUFFER	YES
C-D	EXISTING 6' H. CHAIN LINK FENCE	EXISTING VEGETATION ON ADJACENT NEIGHBOR PROPERTY	PROPOSED 6' H. WOOD FENCE.	15' BUFFER.	YES
D-E	EXISTING 6' H. CHAIN LINK FENCE	EXISTING EVERGREEN TREES ON SCHOOL PROPERTY.	PROPOSED 6' H. WOOD FENCE.	15' BUFFER. EXISTING EVERGREEN TREES TO REMAIN. PROPOSED UNDERSTORY TREES & SHRUBS.	YES
F	EXISTING 6' H. CHAIN LINK FENCE	NO EXISTING TREES ON SCHOOL PROPERTY.	PROPOSED 6' H. WOOD FENCE.	15' BUFFER.	YES
F-G	EXISTING 6' H. CHAIN LINK FENCE	NO EXISTING TREES ON SCHOOL PROPERTY.	PROPOSED 6' H. WOOD FENCE.	15' BUFFER. EXISTING EVERGREEN TREES TO REMAIN. PROPOSED UNDERSTORY TREES & SHRUBS.	YES
G-H	EXISTING 6' H. CHAIN LINK FENCE	EXISTING MIX OF EVERGREEN & DECIDUOUS TREES ON SCHOOL PROPERTY.	PROPOSED 6' H. WOOD FENCE.	15' BUFFER.	YES
H-I	EXISTING 6' H. CHAIN LINK FENCE	EXISTING PLANTINGS ON ADJACENT NEIGHBOR PROPERTY.	PROPOSED 6' H. WOOD FENCE.	15' BUFFER.	YES
I-J	EXISTING 6' H. CHAIN LINK FENCE	EXISTING DECIDUOUS TREES ON SCHOOL PROPERTY.	PROPOSED 6' H. WOOD FENCE.	10' BUFFER.	NO
J-K	EXISTING 4' H. CHAIN LINK FENCE	EXISTING DECIDUOUS TREES ON SCHOOL PROPERTY.	PROPOSED 6' H. WOOD FENCE.	10' BUFFER.	NO
K-L	EXISTING 6' WOOD FENCE.	EXISTING HEAVY DECIDUOUS PLANTING ON SCHOOL PROPERTY.	EXISTING 6' WOOD FENCE TO REMAIN.	10' BUFFER. EXISTING EVERGREEN TREES TO REMAIN. PROPOSED UNDERSTORY SHRUBS.	NO
L-M	EXISTING 6' WOOD FENCE.	HEAVY VEGETATION ON ADJACENT NEIGHBOR PROPERTY.	EXISTING 6' WOOD FENCE TO REMAIN.	10' BUFFER. PROPOSED UNDERSTORY TREES & SHRUBS.	NO
O-P	EXISTING 6' WOOD FENCE.	FEW DECIDUOUS PLANTINGS ON SCHOOL PROPERTY.	EXISTING 6' WOOD FENCE TO REMAIN.	15' BUFFER EXISTING TREES TO REMAIN.	YES
P-Q	EXISTING 6' WOOD FENCE.	NO EXISTING TREES ON SCHOOL PROPERTY.	EXISTING 6' WOOD FENCE TO REMAIN.	3' MIN. BUFFER.	NO
Q-R	EXISTING 6' WOOD FENCE.	FEW DECIDUOUS PLANTINGS ON ADJACENT PROPERTY.	EXISTING 6' WOOD FENCE TO REMAIN.	10' BUFFER.	NO
R-T	EXISTING 6' WOOD FENCE.	NO EXISTING TREES ON SCHOOL PROPERTY.	EXISTING 6' WOOD FENCE TO REMAIN.	15' BUFFER EXISTING TREES TO REMAIN.	YES
T-U	NO EXISTING FENCE	NO EXISTING TREES ON SCHOOL PROPERTY.	PROPOSED 6' H. WOOD FENCE.	6' BUFFER.	NO
U-V	NO EXISTING FENCE	FEW DECIDUOUS PLANTINGS ON SCHOOL PROPERTY.	PROPOSED 6' H. WOOD FENCE.	15' BUFFER EXISTING TREES TO REMAIN.	YES
V-W	NO EXISTING FENCE	NO EXISTING TREES ON SCHOOL PROPERTY.	PROPOSED 6' H. WOOD FENCE.	15' BUFFER WITH ONLY SHRUBS DUE TO LOCATION OF SWM FACILITY.	NO
PERCENTAGE OF AREAS MEETING THE 15' BUFFER REQUIREMENT:					44%
PERCENTAGE OF BUFFER AREAS THAT ARE REQUESTING MODIFICATION FOR DEVIATION FROM 15' BUFFER:					56%

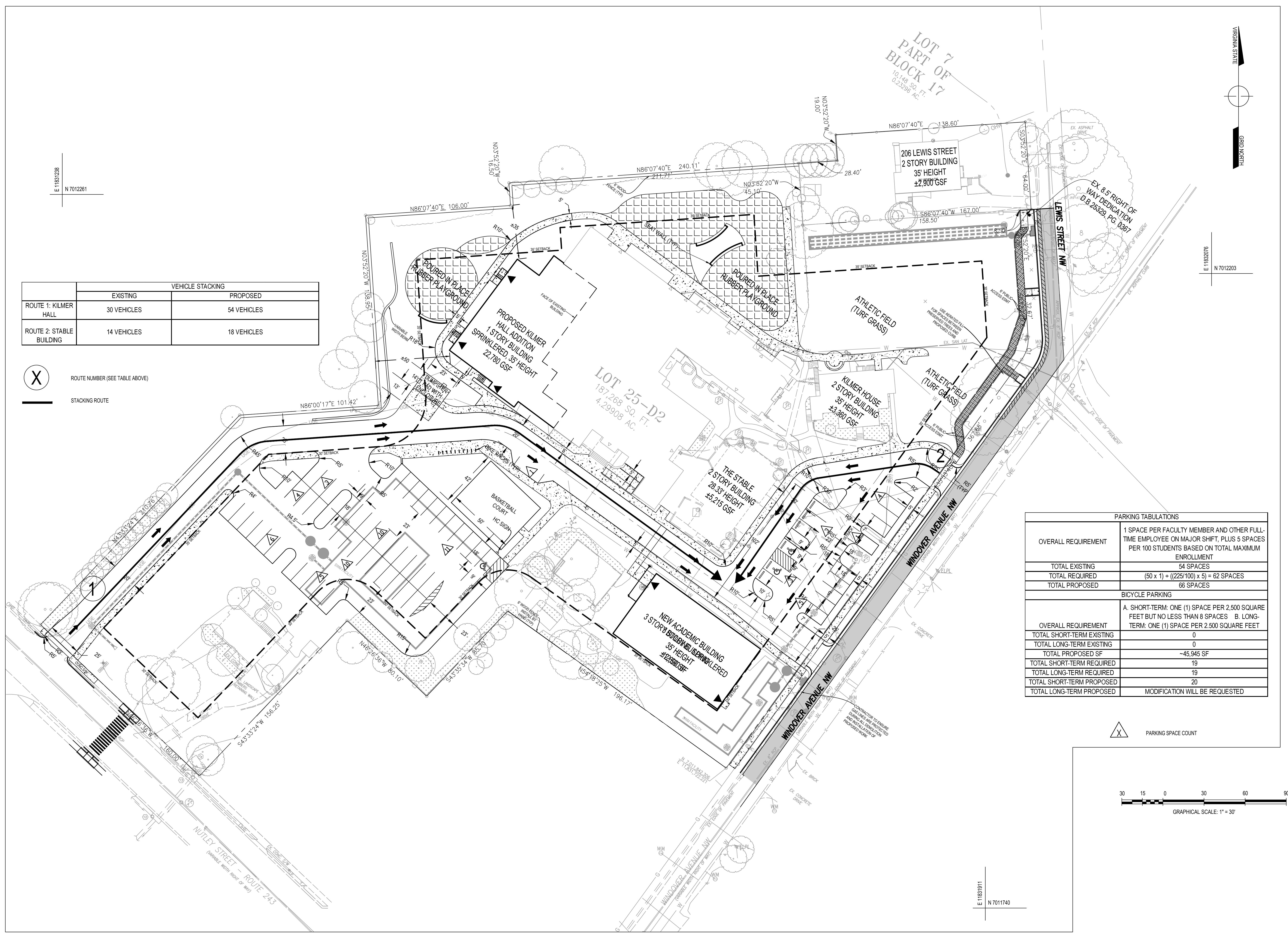


REVISIONS	

SUR: E. ERICKSON DES: A. OWENS
DRW: H. BARRY CHK: A. SARANT
PROFESSIONAL ENGINEER
ANTHONY T. OWENS
Lic. No. 34522
11/12/25
SEAL: COMMONWEALTH OF VIRGINIA

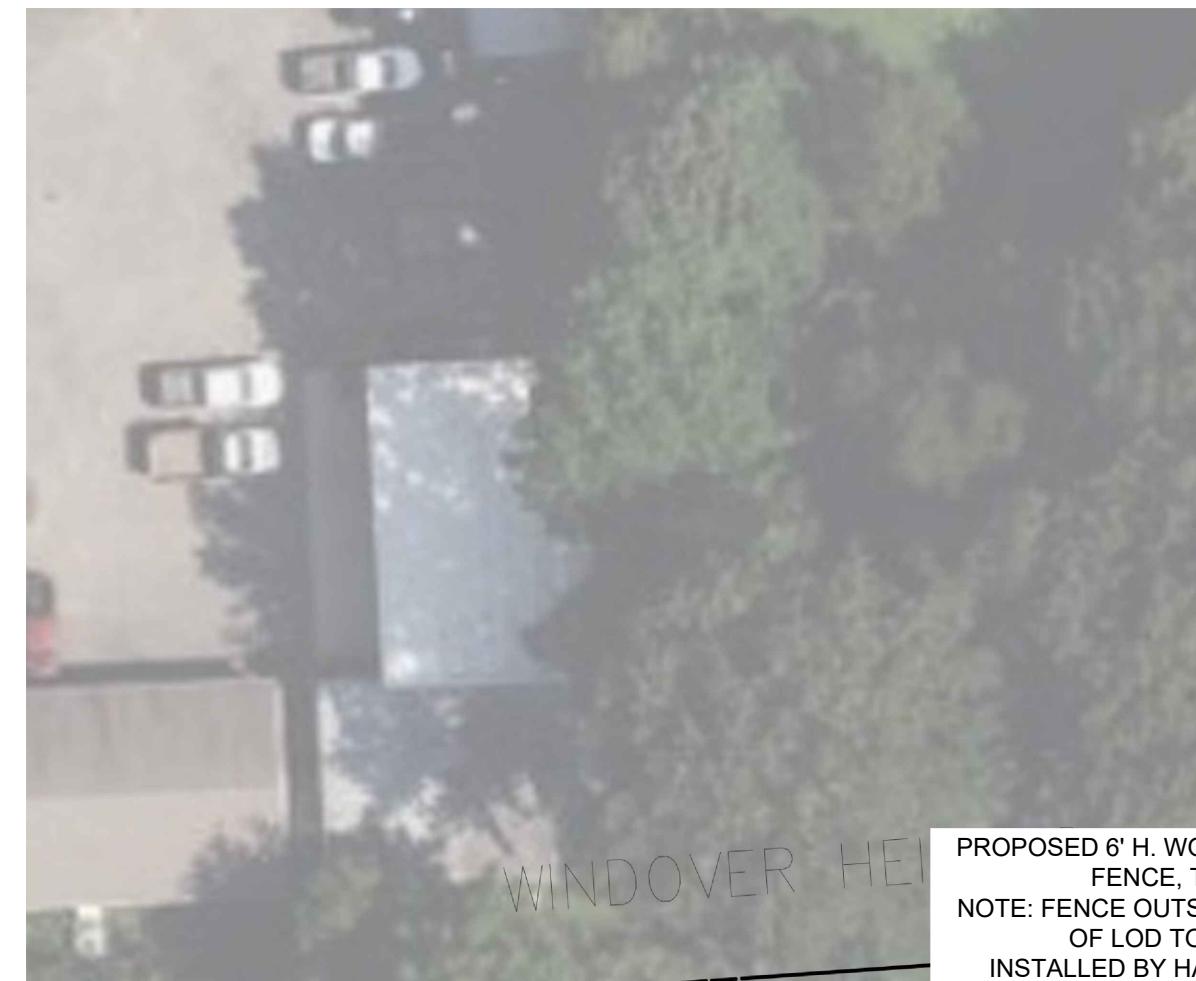
CIRCULATION PLAN - ULTIMATE	
GREEN HEDGES SCHOOL CONDITIONAL USE PERMIT	
OVERALL REQUIREMENT	1 SPACE PER FACULTY MEMBER AND OTHER FULL-TIME EMPLOYEE ON MAJOR SHIFT, PLUS 5 SPACES PER 100 STUDENTS BASED ON TOTAL MAXIMUM ENROLLMENT
TOTAL EXISTING	54 SPACES
TOTAL REQUIRED	$(50 \times 1) + ((225/100) \times 5) = 62$ SPACES
TOTAL PROPOSED	66 SPACES
BICYCLE PARKING	
OVERALL REQUIREMENT	A. SHORT-TERM: ONE (1) SPACE PER 2,500 SQUARE FEET BUT NO LESS THAN 8 SPACES B. LONG-TERM: ONE (1) SPACE PER 2,500 SQUARE FEET
TOTAL SHORT-TERM EXISTING	0
TOTAL LONG-TERM EXISTING	0
TOTAL PROPOSED SF	~45,945 SF
TOTAL SHORT-TERM REQUIRED	19
TOTAL LONG-TERM REQUIRED	19
TOTAL SHORT-TERM PROPOSED	20
TOTAL LONG-TERM PROPOSED	MODIFICATION WILL BE REQUESTED

HORIZ: 1' = 30'
SCALE: VERT: N/A
DATE: November 3, 2025
PLAN: GREEN HEDGES SCHOOL
JOB: GORDON 2356-0501
CADD: 2356-0501-CGS-104-PH2
NCS: 2356-0501-CGS-104-PH2
NUMBER: C-0120FC-014
Gordon





PROPOSED 6' H. WOOD FENCE
TO MATCH EXISTING WOOD FENCE ON SITE



WINDOVER HILL



\s38-00\file01\Projects\2025\25009 green hedge school\0 card files\current phase\11 01 PROPP PLAN dwa



GREEN HEDGES SCHOOL

5 WINDOVER AVE NW
VIENNA, VA
70007

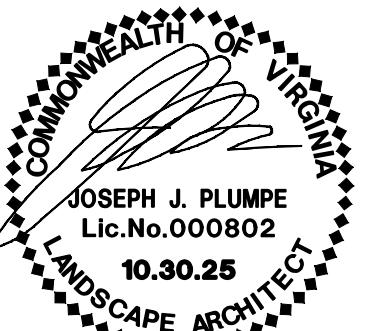
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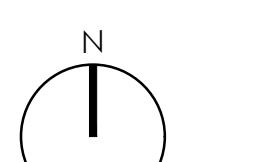


LANDSCAPE PLAN 07.25.2025
LANDSCAPE PLAN 10.30.2025

PROJECT NUMBER 05000

JECT NUMBER: 25009
CONTACT: JOSEPH PLUMPE
AWN: YI

ORIENTATION AND SCALE



SCALE: 1"=30'-0"

A horizontal bar chart representing a range. The x-axis is marked with numerical values: 15, 30, and 60. The bar itself is composed of two segments: a shorter segment from 15 to 30, and a longer segment from 30 to 60. The gap between 15 and 30 is also shaded, indicating that the value at 15 is not included in the range.

HEET TITLE

PROPOSED
LANDSCAPE PLAN-
HASE I

HEFT NUMBER

C-022

STATE DEVELOPMENT PLAN

THE JOURNAL OF CLIMATE

GREEN HEDGES
SCHOOL

415 WINDOVER AVE NW
VIENNA, VA
TOWN OF VIENNA

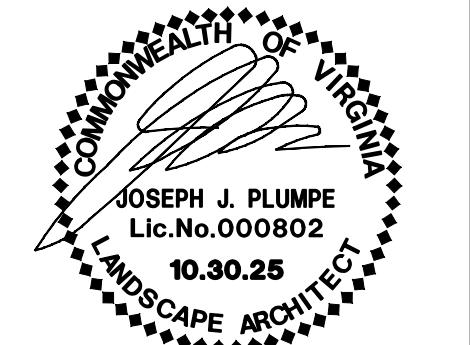
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GREEN HEDGES SCHOOL -
THE STONE HOUSE GROUP

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ISSUE DATE

LANDSCAPE PLAN 07.25.2025
LANDSCAPE PLAN 10.30.2025

