

CONDITIONAL USE PERMIT GREEN HEDGES SCHOOL

TAX MAP #: 038-3-((21))-0008A & 038-3-((11))-0007

415 WINDOVER AVENUE, NW
VIENNA PLAN #: XXXXXXX

TOWN OF VIENNA, VIRGINIA

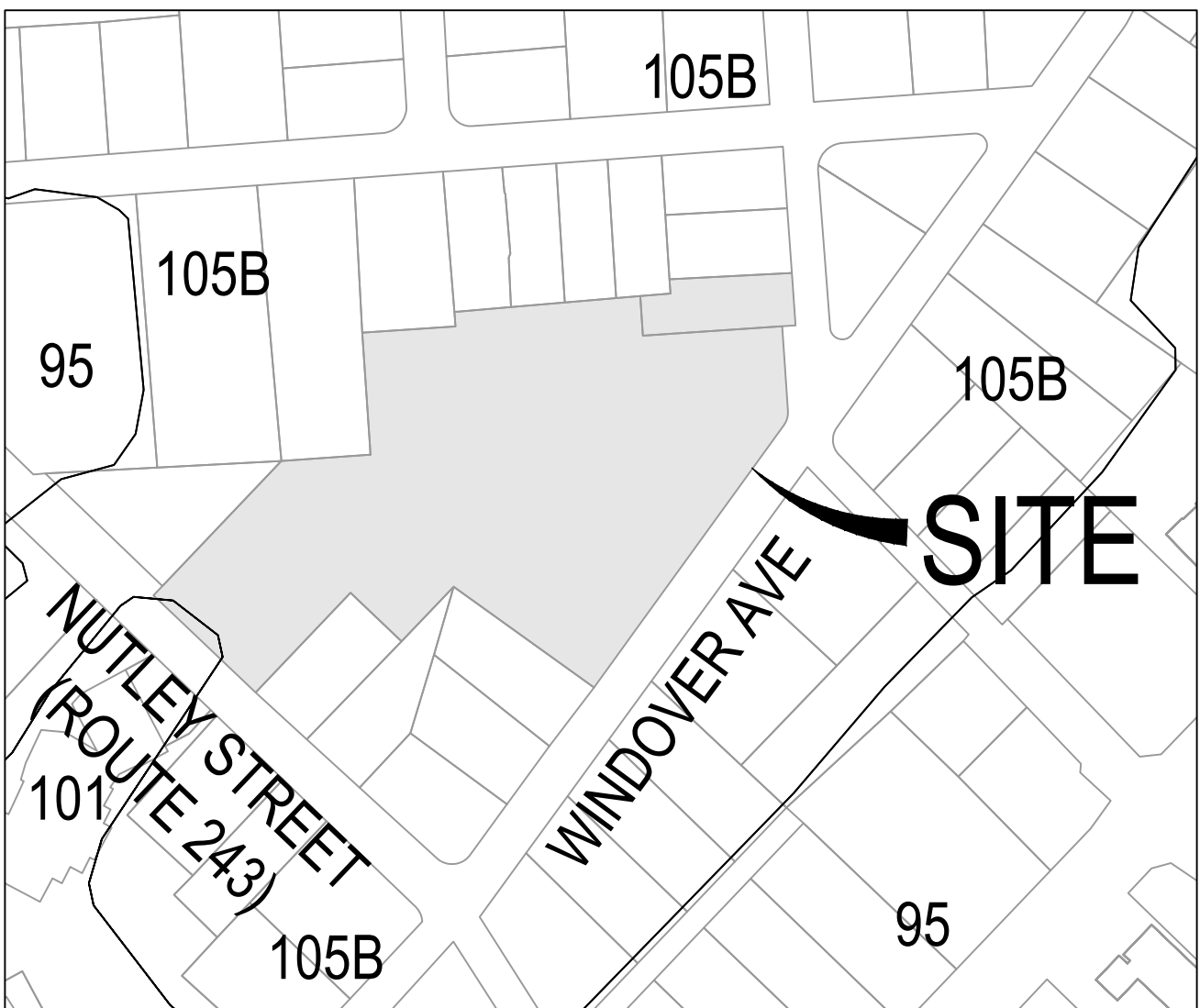
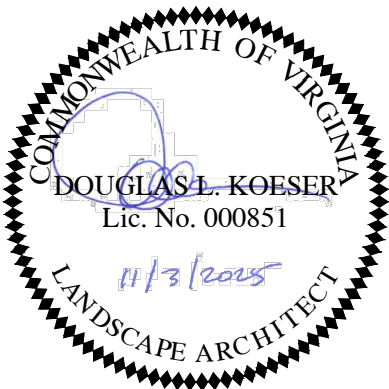
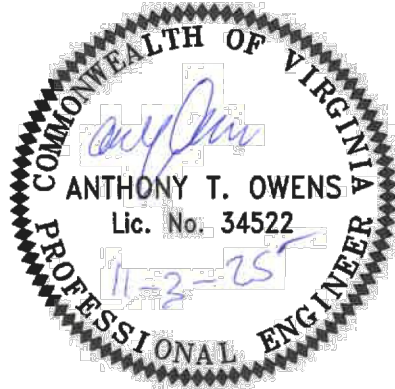
OWNER/DEVELOPER
GREEN HEDGES SCHOOL, INC.
C/O PETER BARRETT, HEAD OF SCHOOL 415 WINDOVER
AVENUE, NW
VIENNA, VIRGINIA 22180



GORDON

•ENGINEERS•LAND PLANNERS•LANDSCAPE ARCHITECTS•SURVEYORS
4501 DALY DRIVE, SUITE 200
CHANTILLY, VA 20151
(703) 263-1900

PROJECT MANAGER: ANTHONY OWENS P.E.
PROJECT ENGINEER: HUNTER BARRY



SOILS MAP

SCALE: NOT TO SCALE

SOIL ID NUMBERS	SOIL SERIES NAME	FOUNDATION SUPPORT	SOIL DRAINAGE	EROSION POTENTIAL	PROBLEM CLASS
105B	WHEATON-GENELG COMPLEX	GOOD	GOOD	HIGH	IVB
101	URBAN LAND -WHEATON COMPLEX	GOOD	FAIR	HIGH	IVB



VICINITY MAP

SCALE: 1"=500'

ATTACHMENT 04

Sheet Number	Sheet Title
C-001	COVERSHEET
C-002	GENERAL NOTES AND LEGEND
C-003	EXISTING CONDITIONS PLAN
C-004	EXISTING CONDITIONS PLAN
C-005	EXISTING TREE SURVEY - TREE PRESERVATION
C-006	TREE INVENTORY
C-007	OVERALL LAYOUT PLAN
C-008	SETBACK PLAN
C-009	SETBACK PLAN
C-010	EXISTING SITE BOUNDARY CONDITIONS
C-011	CIRCULATION PLAN - EXISTING
C-012	PROPOSED LANDSCAPE PLAN - PHASE I
C-013	PROPOSED LANDSCAPE PLAN - PHASE II
C-014	CIRCULATION PLAN - ULTIMATE

PROGRAMMING AND PLANNING
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SURVEY AND MAPPING
SECURITY CONSULTING

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Chantilly, VA 20151
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REVISIONS	
NUMBER	DESCRIPTION

SUR: E.ERICKSON	DES: A.OWENS
DRW: H.BARRY	CHK: A.SARANT

SEAL:

COVERSHEET
**GREEN HEDGES SCHOOL
CONDITIONAL USE PERMIT**

TOWN OF VIENNA, VIRGINIA
TOWN OF VIENNA

HORIZ: N/A
SCALE: VERT: N/A
DATE: November 3, 2025
PLAN: GREEN HEDGES SCHOOL
JOB: GORDON 2356-0501
CADD: 2356-0501-C-0101.DWG
NCS: 2356-0501-C-0101
NUMBER: C-001oFC-014



GENERAL NOTES

- THIS PHASED PROJECT INCLUDES THE EXPANSION OF KILMER HALL. THE CONSTRUCTION OF AN ADDITIONAL ACADEMIC BUILDING, INSTALLATION OF RECREATION FIELDS, CONSTRUCTION OF THE HALF SECTION OF THE WINDOWVER AVENUE ALONG THE SITE FRONTAGE TO MEET TOWN STANDARDS, DEMOLITION OF THE RICE ARTS BUILDING, INSTALLATION OF UPGRADED PLAYGROUND EQUIPMENT, INSTALLATION OF UPGRADE DUMPSTER ENCLOSURE, AND CONSTRUCTION OF VARIOUS SIDEWALK/TRAIL/PARKING AREAS INTERNAL TO THE PROPERTY. THIS PLAN DOES NOT REPRESENT A CONSTRUCTION PLAN AND SHOULD BE USED FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE SITE PLAN WILL BE PREPARED AND APPROVED BY THE TOWN TO BE USED FOR CONSTRUCTION
- THE PROPERTY IS LOCATED IN FAIRFAX COUNTY, IDENTIFIED AS TAX MAP 38-3-W (21) LOT 0008A AND 38-3-((11)) LOT 0007 AND IS ZONED R-12.5.
- THE PROPERTY BOUNDARY CONSISTS OF 4.3 ACRES
- DISTURBED AREA FOR THE PROJECT IS 3.32 ACRES
- THIS TOPOGRAPHIC MAPPING SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF NICOLAE SOARE FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION, THAT THE ORIGINAL DATA WAS OBTAINED ON AUGUST 21, 2020 AUGMENTED ON MAY 7, 2021 AND MARCH 26, 2025 THROUGH APRIL 7, 2025.
- HORIZONTAL DATUM: STATE PLANE COORDINATE SYSTEM OF 1983, VIRGINIA NORTH ZONE, NAD 1983, U.S. SURVEY FOOT, VERTICAL DATUM IS NGVD 1929.
- TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THERE IS NO EVIDENCE OF ANY GRAVE, OBJECT OR STRUCTURE MARKING A PLACE OF BURIAL ON THIS PROPERTY.
- TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THERE IS NO EVIDENCE OF ANY HISTORIC SITES ON THIS PROPERTY
- GORDON DOES NOT CERTIFY TO THE LOCATION OF OR THE EXISTENCE OF ANY EXISTING UNDERGROUND UTILITIES. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND INSURE THE CONTINUANCE OF SERVICE. IF NECESSARY, THE SITE PLAN WILL BE MODIFIED TO ELIMINATE THE CONFLICT AT THE DEVELOPER'S EXPENSE.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO CURRENT FAIRFAX COUNTY, FAIRFAX WATER, AND THE TOWN OF VIENNA STANDARDS AND SPECIFICATIONS.
- ALL PROPOSED GRADES AS SHOWN HEREIN ARE FINISHED GRADE UNLESS NOTED ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- ALL LAND, ON OR OFF SITE, WHICH IS DISTURBED BY THIS DEVELOPMENT, AND WHICH IS NOT BUILT UPON OR SURFACED, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING TRUCKS AND/OR OTHER EQUIPMENT OF MUD PRIOR TO ENTERING THE RIGHT-OF-WAY, AND IT IS THE CONTRACTORS RESPONSIBILITY TO CLEAN STREETS OF MUD AND/OR ALLAY DUST AND TO TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT THE STREETS ARE KEPT IN A CLEAN AND DUST FREE CONDITION AT ALL TIMES.
- CONTRACTOR SHALL NOTIFY OPERATORS WHO MAINTAIN EXISTING UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST TWO (2) WORKING DAYS, BUT NOT MORE THAN TEN (10) WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. CONTRACTOR SHALL CONTACT "MISS UTILITY" AT 811 PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
- THE CLIENT, CONTRACTOR, AND/OR SURVEYOR SHALL BE RESPONSIBLE FOR NOTIFYING GORDON OF ANY CONDITIONS FOUND IN THE FIELD THAT VARY FROM WHAT IS SHOWN ON THE PLANS. OBSERVATIONS REGARDING APPARENT INCONSISTENCIES IN THE PLANS SHALL BE BROUGHT TO GORDON'S ATTENTION FOR VERIFICATION PRIOR TO STAKEOUT.
- EXISTING AND PROPOSED SANITARY SEWER CLEAN OUT TOPS SHALL BE SET FLUSH WITH PROPOSED FINISHED GRADE AND BE ABLE TO WITHSTAND VEHICULAR TRAFFIC (AS REQUIRED).
- ALL ADA ACCESSIBILITY IMPROVEMENTS PROPOSED/SHOWN ON THIS PLAN, INCLUDING BUT NOT LIMITED TO HANDICAPPED PARKING SPACES, AISLES, ROUTES AND SLOPES SHALL COMPLY WITH THE 2010 ADA STANDARD FOR ACCESSIBLE DESIGN AND THE 2012 USBC. FINISHED CONSTRUCTION OF RAMP AND RAMP LANDINGS SHALL NOT EXCEED A CROSS-SLOPE OF 2.08% LONGITUDINAL SLOPE (PATH OF TRAVEL) OF RAMPS SHALL NOT EXCEED 8.33% AND SHALL BE NO LONGER THAN 30 FEET. THE LANDINGS SHALL NOT EXCEED 2.08% IN ANY DIRECTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH PERFORMANCE OF ITS WORK AND THE WORK OF ITS SUBCONTRACTORS. GORDON SHALL NOT HAVE CONTROL OVER, CHARGE OF, OR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- MAINTAIN A MINIMUM VERTICAL CLEARANCE OF ONE (1) FOOT SIX (6) INCHES BETWEEN CROSSINGS OF ALL UTILITY LINES UNLESS OTHERWISE NOTED.
- APPROVAL OF THIS PLAN SHALL IN NO WAY GRANT PERMISSION BY THE APPROVING JURISDICTION FOR THE CONTRACTOR TO TRESPASS ON OFF-SITE PROPERTIES.
- WHERE THE ORDINANCES DIFFER BETWEEN LOCAL, STATE, AND FEDERAL REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.

GENERAL SITE DEMOLITION NOTES (FOR INFORMATIONAL PURPOSES ONLY)

- PRIOR TO START OF DEMOLITION ACTIVITIES, CONDUCT PRE CONSTRUCTION/DEMOLITION MEETING ON SITE WITH OWNER, TOWN SITE INSPECTOR AND CONTRACTOR, TO REVIEW METHODS AND PROCEDURES RELATED TO SITE DEMOLITION INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
A) INSPECT AND DISCUSS CONDITION OF CONSTRUCTION TO BE DEMOLISHED.
B) REVIEW AND FINALIZE DEMOLITION SCHEDULE AND VERIFY AVAILABILITY OF DEMOLITION PERSONNEL, EQUIPMENT, AND FACILITIES NEEDED TO MAKE PROGRESS AND AVOID DELAYS.
C) REVIEW AND FINALIZE PROTECTION REQUIREMENTS.
D) INSTALL STAGE 1 EROSION AND SEDIMENT CONTROLS.
- CONTRACTOR SHALL COORDINATE PEDESTRIAN ACCESS WITH GREEN HEDGES TO MINIMIZE DISRUPTION DURING CONSTRUCTION, AND MAINTAIN ACCESS TO EXISTING WALKWAYS & FACILITIES. DO NOT CLOSE OR OBSTRUCT WALKWAYS WITHOUT WRITTEN PERMISSION FROM OWNER OR AUTHORITIES HAVING JURISDICTION.
- LOCATE, IDENTIFY, DISCONNECT, SEAL OR CAP OFF ALL EXISTING UTILITIES SERVING THE AREA TO BE DEMOLISHED. ARRANGE TO SHUT OFF EXISTING SERVICE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY AND GREEN HEDGES. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING, SEALING OR REMOVAL HAS BEEN COMPLETED.
- PROMPTLY REPAIR DAMAGE TO ADJACENT EXISTING SITE IMPROVEMENTS IF CAUSE BY SITE DEMOLITION.
- PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
- WHERE REQUIRED ERECT TREE PROTECTION FENCING AROUND DRIP LINE OF INDIVIDUAL TREES, OR AROUND PERIMETER DRIP LINE OF GROUPS OF TREE, OR AT THE BACK OF EXISTING CURB OF EXISTING LANDSCAPE CURB ISLANDS FOR EACH PHASE.
- PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION MEASURES REQUIRED TO PROVIDE SAFE PEDESTRIAN ACCESS AND PREVENT INJURY AND DAMAGE TO EXISTING FACILITIES TO REMAIN.
- PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA AND TO AND FROM PORTIONS OF EXISTING PARKING AREAS.
- MAINTAIN SITE ACCESS. DO NOT CLOSE OR OBSTRUCT STREETS, TRAVEL WAYS AND WALKWAYS. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS.
- ALL TREE PROTECTION DEVICES AND PERIMETER EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF DEMOLITION OPERATIONS FOR EACH PHASE.
- ALL DEMOLISHED MATERIALS SHALL BE REMOVED FORM THE SITE AND DISPOSED OF PROPERLY.
- CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS IN ACCORDANCE WITH LOCAL, COUNTY, STATE AND FEDERAL SAFETY STANDARDS.

DEMOLITION NOTES

GENERAL

THE DEMOLITION PLAN IS A GENERAL GUIDE OF WHAT ITEMS NEED TO DEMOLISHED AND OR SALVAGED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ALL ITEMS THAT REQUIRED DEMOLITION AND OR SALVAGING TO COMPLETE THE PROPOSED CONSTRUCTION. IT IS STRONGLY ENCOURAGE TO CONSTRUCT THE ENTRANCE ROADS AND ENTRANCES AND AREAS OF SCHOOL CIRCULATION DURING NON SCHOOL OPERATIONS, OVER THE SUMMER AND DURING BREAKS

- CONTRACTOR TO ABANDON EXISTING UNDERGROUND UTILITIES IN PLACE WHEREVER POSSIBLE.
- CONTRACTOR TO CONFIRM TERMINATION OF SERVICE WITH UTILITY COMPANIES PRIOR TO BEGINNING EXCAVATION.

CONCRETE

- REMOVAL OF CONCRETE PADS, STOOPS, STEPS, ETC., SHALL INCLUDE CONCRETE, STEEL REINFORCEMENT, GRAVEL BASE.

CONCRETE SIDE WALK AND PAVERS AND ASPHALT

- REMOVAL/DEMOLITION OF CONCRETE SIDEWALKS SHALL INCLUDE CONCRETE, STEEL REINFORCEMENT AND BASE MATERIAL TO THE NEAREST JOINT

- REMOVAL OF ASPHALT SHALL INCLUDE ASPHALT AND BASE MATERIAL.

WATER

- WATER SERVICE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

FENCING

- REMOVAL OF EXISTING FENCING ON THE SITE SHALL INCLUDE THE POLES OR POSTS AND CAPS, CONCRETE FOOTINGS OR FOUNDATIONS, WIRE MESH, TIES AND GATES AS NOTED ON THE PLANS.

ELECTRIC

- CONTRACTOR TO COORDINATE WITH ELECTRICAL PLANS AND ELECTRICAL SERVICE PROVIDER FOR ANY RELOCATION OF UNDERGROUND ELECTRIC LINES.

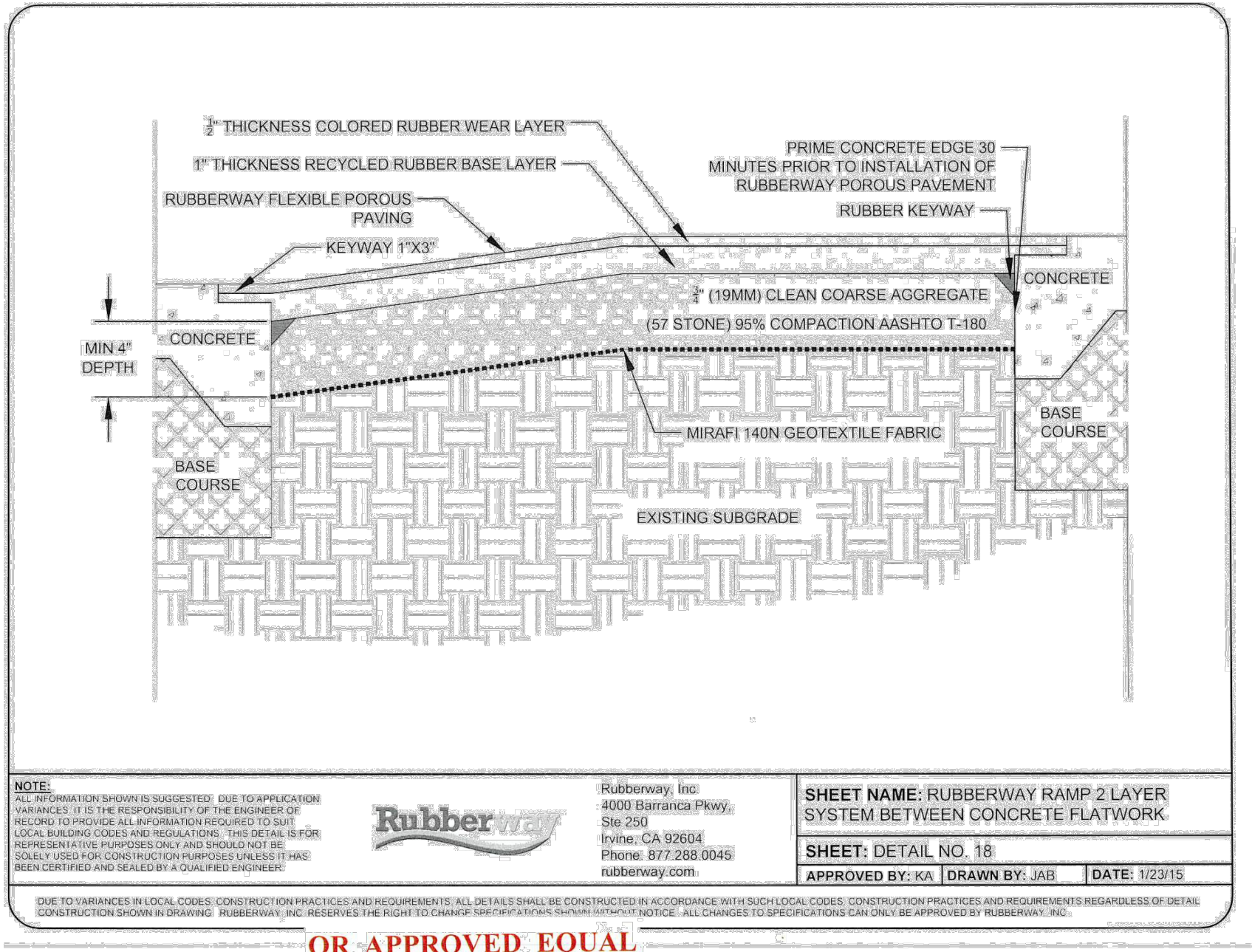
COMMUNICATION/TELEPHONE/CABLE

- CONTRACTOR TO COORDINATE WITH THE UTILITY SERVICE PROVIDER FOR THE RELOCATION AND OR TERMINATION OF EXISTING UNDERGROUND SERVICE LINES AS REQUIRED.
- CONTRACTOR TO COORDINATE AND CONFIRM TERMINATION OF UTILITY SERVICE WITH APPROPRIATE SERVICE PROVIDER PRIOR TO EXCAVATION.

TOWN OF VIENNA GENERAL NOTES

- A PRE-CONSTRUCTION MEETING MUST BE HELD PRIOR TO THE START OF CONSTRUCTION. CALL 703-255-6384 TO SCHEDULE THE PRE-CONSTRUCTION MEETING.
- ALL CONSTRUCTION GENERATED DEBRIS MUST BE HAULED AWAY BY THE CONTRACTOR OR OWNER.
- PRIOR TO THE REMOVAL OF ANY TOWN TREES (TREES WITHIN THE RIGHT OF WAY), THE APPLICANT OR THEIR REPRESENTATIVE SHALL CONTACT THE TOWN OF VIENNA ARBORIST AT 703-255-6380 TO COORDINATE HAVING THE TOWN ARBORIST ONSITE DURING ALL TOWN TREE REMOVAL.
- TREE PROTECTION FOR ANY TOWN TREE, AS SHOWN ON PLAN, MUST BE INSTALLED PRIOR TO ANY SITE WORK.
- IT IS UNLAWFUL TO PERFORM ANY CONSTRUCTION ABOVE FOUNDATION CORNERS PRIOR TO APPROVAL OF SETBACKS. WORK COMPLETED IN VIOLATION OF THIS REQUIREMENT IS SUBJECT TO DEMOLITION.
- ALL DUMPSTERS/PODS ARE TO BE PLACED ON PRIVATE PROPERTY.
- FRONT ELEVATION CHECKS ARE REQUIRED.
- WALL CHECK SURVEYS ARE REQUIRED AND MUST BE SUBMITTED PRIOR TO CONSTRUCTION ABOVE FOUNDATION CORNERS.
- A CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO OCCUPANCY. ALL REQUIRED DOCUMENTATION AND INSPECTIONS MUST BE SUBMITTED/COMPLETED BEFORE THE TOWN OF VIENNA WILL ISSUE A CERTIFICATE OF OCCUPANCY.
- EXISTING SANITARY SEWER LATERALS ARE TYPICALLY CAPPED AT OR NEAR THE PROPERTY LINE. THE REUSE OF THE PORTION OF THE EXISTING SANITARY SEWER LATERAL BETWEEN THE TOWN OWNED SEWER MAIN AND THE CAPPED END MAY BE ALLOWED PROVIDING THAT A LICENSED PLUMBER CERTIFIES THAT THE EXISTING PIECE OF PIPE IS GRADED PROPERLY AND IN LIKE NEW CONDITION. THE REUSE OF A PORTION OF THE EXISTING LATERAL DOES NOT IMPLY THAT THE TOWN IS WARRANTING THE CONDITION IN ANY WAY.

PARKING TABULATIONS	
OVERALL REQUIREMENT	1 SPACE PER FACULTY MEMBER AND OTHER FULL-TIME EMPLOYEE ON MAJOR SHIFT, PLUS 5 SPACES PER 100 STUDENTS BASED ON TOTAL MAXIMUM ENROLLMENT
TOTAL EXISTING	54 SPACES
TOTAL REQUIRED	(50 x 1) + ((225/100) x 5) = 62 SPACES
TOTAL PROPOSED	66 SPACES



NOTE: THE INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE USER OF THIS DRAWING TO VERIFY THE INFORMATION SHOWN IS CORRECT. THE INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE USER OF THIS DRAWING TO VERIFY THE INFORMATION SHOWN IS CORRECT. THE INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE USER OF THIS DRAWING TO VERIFY THE INFORMATION SHOWN IS CORRECT.

Rubberway, Inc.
4000 Berridge Drive
Ste. 250
Irvine, CA 92604
Phone: 877-238-0045
rubberway.com

SHEET NAME: RUBBERWAY RAMP 2 LAYER SYSTEM BETWEEN CONCRETE FLATWORK.
SHEET: DETAIL NO. 18
APPROVED BY: KA | DRAWN BY: JAB | DATE: 1/23/15

OR APPROVED EQUAL

PERMEABLE PAVEMENT

DETAIL (AS PROVIDED BY TOWN OF VIENNA)
(NOT TO SCALE)

EXISTING	LEGEND	PROPOSED
	PROPERTY LINE	
	EASEMENT LINE	
	EDGE PAVEMENT	
	CENTERLINE	
	FENCE LINE (CHAIN LINK)	
	FENCE LINE (WOOD)	
	FENCE LINE (RAIL)	
	GAS LINE	
	OVERHEAD ELECTRIC	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND COMMUNICATIONS LINE	
	GUARDRAIL OR TRAFFIC BARRICADE	
	WATER MAIN	
	BUILDINGS	
	RETAINING WALL	
	SIDEWALK	
	TRAIL	
	HEADER CURB	
	CURB & GUTTER	
	SANITARY SEWER	
	STORM SEWER	
	DITCH, SWALE OR SMALL STREAM	
	LARGE STREAM	
	CONCRETE DITCH	
	TREES	
	TREE LINE	
	LIMITS OF DISTURBANCE	
	LIMITS OF WORK	
	CONTOUR LINE	
	SPOT ELEVATION	
	OVERLAND RELIEF	
	ADA ACCESSIBLE ROUTE	
	TEST PIT	
	STREET LIGHT	
	ELEC. MANHOLE	
	PARKING SPACE COUNT	
	RECYCLING/DUMPSTER PAD	
	TRANSFORMER PAD	
	ENTRANCES	
	RIP RAP	
	LANDSCAPE AREA	
	MULCH/RUBBER AREA	
	PERMEABLE PAVEMENT	

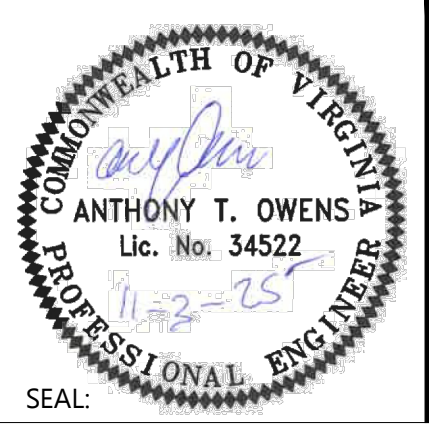
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REVISIONS		DESCRIPTION	DATE
NUMBER	DATE		

SUR: E.ERICKSON	DES: A.OWENS
DRW: H.BARRY	CHK: A.SARANT



GENERAL NOTES AND LEGEND

**GREEN HEDGES SCHOOL
CONDITIONAL USE PERMIT**

TOWN OF VIENNA, VIRGINIA
TOWN OF VIENNA

HORIZ: 1" = 20'
SCALE: VERT: N/A
DATE: November 3, 2025
PLAN: GREEN HEDGES SCHOOL
JOB: GORDON 2356-0501
CADD: 2356-0501-C-04-002.DWG
NCS: 2356-0501-C-04-002
NUMBER: C-002 of C-014

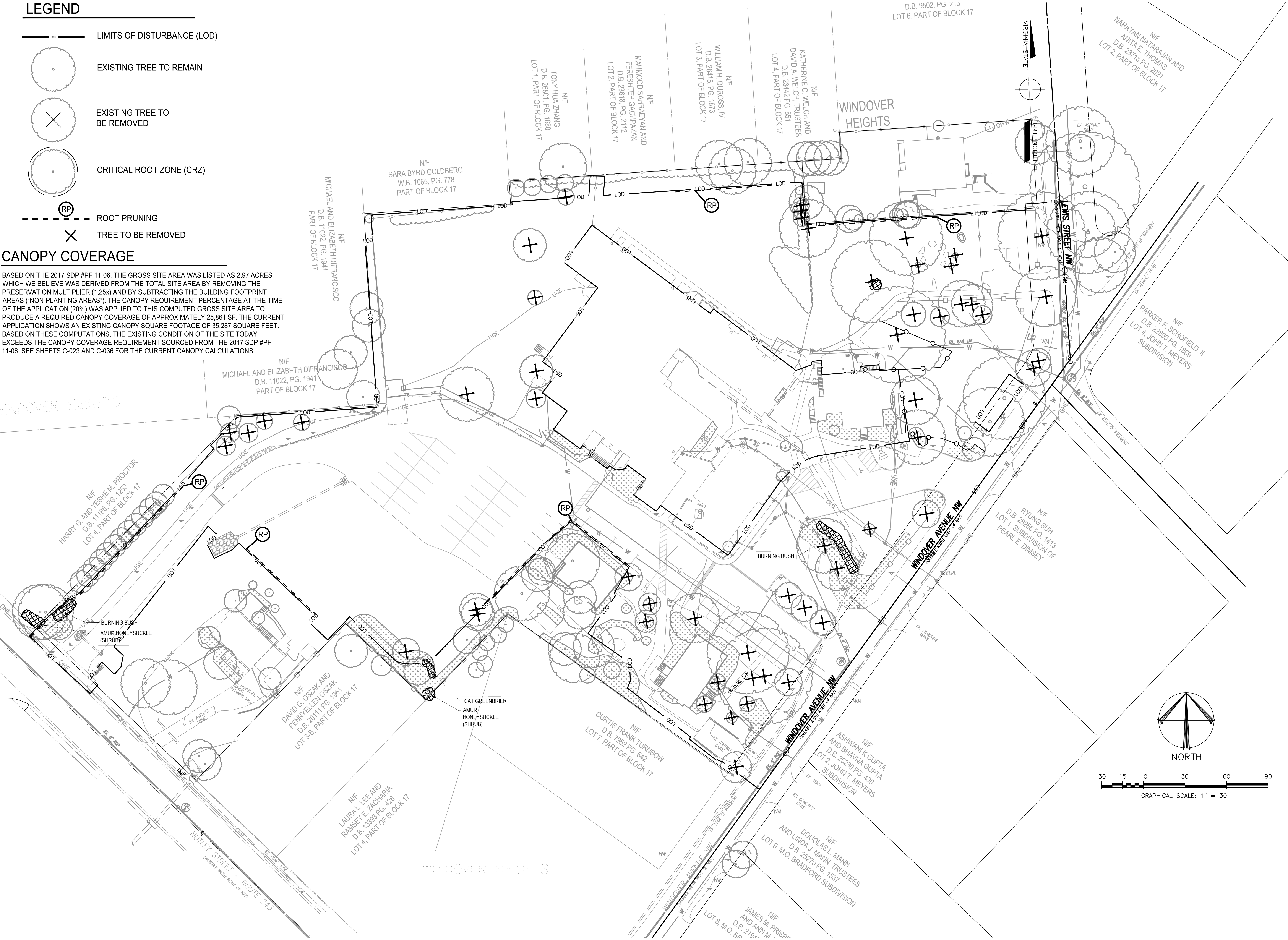
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LEGEND

- LOD — LIMITS OF DISTURBANCE (LOD)
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- CRITICAL ROOT ZONE (CRZ)
- RP ROOT PRUNING
- X TREE TO BE REMOVED

CANOPY COVERAGE

BASED ON THE 2017 SDP #PF 11-06, THE GROSS SITE AREA WAS LISTED AS 2.97 ACRES WHICH WE BELIEVE WAS DERIVED FROM THE TOTAL SITE AREA BY REMOVING THE PRESERVATION MULTIPLIER (1.25x) AND BY SUBTRACTING THE BUILDING FOOTPRINT AREAS ("NON-PLANTING AREAS"). THE CANOPY REQUIREMENT PERCENTAGE AT THE TIME OF THE APPLICATION (20%) WAS APPLIED TO THIS COMPUTED GROSS SITE AREA TO PRODUCE A REQUIRED CANOPY COVERAGE OF APPROXIMATELY 25,861 SF. THE CURRENT APPLICATION SHOWS AN EXISTING CANOPY SQUARE FOOTAGE OF 35,287 SQUARE FEET. BASED ON THESE COMPUTATIONS, THE EXISTING CONDITION OF THE SITE TODAY EXCEEDS THE CANOPY COVERAGE REQUIREMENT SOURCED FROM THE 2017 SDP #PF 11-06. SEE SHEETS C-023 AND C-036 FOR THE CURRENT CANOPY CALCULATIONS.



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REVISIONS		DESCRIPTION
NUMBER	DATE	

SUR: E.ERICKSON	DES: A.AOWENS
DRW: H.BARRY	CHK: A.SARANT

COMMONWEALTH OF VIRGINIA
DOUGLAS L. KOESER
Lic. No. 000851
11/3/2025
LANDSCAPE ARCHITECT
SEAL:

EXISTING TREE SURVEY - TREE PRESERVATION

**GREEN HEDGES SCHOOL
CONDITIONAL USE PERMIT**


TOWN OF VIENNA, VIRGINIA
TOWN OF VIENNA

HORIZ: 1" = 30'
SCALE: VERT: N/A
DATE: November 3, 2025
PLAN: GREEN HEDGES SCHOOL
JOB: GORDON 2356-0501
CADD: 2356-0501-L-EC-101.DWG
NCS: 2356-0501-L-EC-101
NUMBER: C-0050FC-014

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TREE NO.	BOTANICAL NAME	COMMON NAME	D.B.H. (in.)*	CRZ	SPECIMEN	CONDITION	TO BE REMOVED	COMMENTS
100	Thuja occidentalis	Northern white-ceda	8	12		Good		
101	Thuja occidentalis	Northern white-ceda	8	12		Good		
102	Thuja occidentalis	Northern white-ceda	8	12		Good		
103	Thuja occidentalis	Northern white-ceda	12	18		Good		
104	Thuja occidentalis	Northern white-ceda	8	12		Good		
105	Thuja occidentalis	Northern white-ceda	15	23		Good		
106	Sassafras albidum	Sassafras	22	33		Fair	Remove	
107	Acer rubrum	Red maple	38	57	✓	Good		
108	Cornus florida	Flowering dogwood	6	9		Good		
109	Ilex burfordii	Burford holly	6	9		Good		Near Trees 124 and 125
110	Prunus serotina	Black cherry	16	24		Fair-Poor		Off-site; Near fence
111	Prunus serotina	Black cherry	29	44		Good	Remove	
112	Acer platanoides	Norway maple	16	24		Good		Off-site; Near fence
113	Ilex burfordii	Burford holly	5	8		Good		Along northern boundary
114	Ilex burfordii	Burford holly	5	8		Good		Along northern boundary
115	Ilex burfordii	Burford holly	5	8		Good		Along northern boundary
116	Ilex burfordii	Burford holly	5	8		Good		Along northern boundary
117	Ilex burfordii	Burford holly	5	8		Good		Along northern boundary
118	Ilex burfordii	Burford holly	5	8		Good		Along northern boundary
119	Ilex burfordii	Burford holly	5	8		Good		Along northern boundary
120	Ilex burfordii	Burford holly	5	8		Good		Along northern boundary
121	Ilex burfordii	Burford holly	5	8		Good	Remove	Along northern boundary
122	Ilex burfordii	Burford holly	7	13		Good		Multi-stem (5,3,3)
123	Magnolia grandiflora	Southern magnolia	6	9		Good	Remove	
124	Ilex burfordii	Burford holly	5	8		Good		On-site near fenceline
125	Juglans nigra	Black walnut	27	41		Good		Off-site
126	Ilex burfordii	Burford holly	9	14		Good		On-site near fenceline
127	Platanus hybrida x acerifolia	London plane tree	8	12		Fair	Remove	Girdling roots
128	Quercus bicolor	Swamp white oak	6	9		Poor	Remove	deadwood throughout
129	Acer palmatum	Japanese maple	13	25		Good	Remove	Multi-trunk (8,6,6,5) @ 1.5' height
130	Lagerstroemia indica	Crape Myrtle	5	10		Fair	Remove	Multi-stem (3,3,3)
131	Acer saccharinum	Silver maple	25	38		Fair	Remove	
132	Ilex burfordii	Burford holly	6	9		Good		
133	Ilex burfordii	Burford holly	6	9		Good		
134	Ilex burfordii	Burford holly	6	9		Good		
135	Ilex burfordii	Burford holly	6	9		Good		
136	Ilex burfordii	Burford holly	6	9		Good		
137	Ilex burfordii	Burford holly	6	9		Good		
138	Ilex burfordii	Burford holly	6	9		Good		
139	Ilex burfordii	Burford holly	6	9		Good		
140	Ilex burfordii	Burford holly	6	9		Good		
141	Ilex burfordii	Burford holly	6	9		Good		
142	Ilex burfordii	Burford holly	6	9		Good		
143	Ilex burfordii	Burford holly	6	9		Good		
144	Ilex burfordii	Burford holly	6	9		Good		
145	Quercus rubra	Northern red oak	2	3		Fair		
146	Morus alba	White mulberry	10	15		Fair		Off-site
147	Acer platanoides	Norway maple	9	14		Good		Off-site
148	Juniperus virginiana	Eastern redcedar	12	18		Good		Off-site
149	Morus alba	White mulberry	22	33		Fair		Off-site
150	Ilex opaca	American holly	6	9		Good		Off-site
151	Pinus virginiana	Virginia pine	15	23		Good		Off-site
152	Pinus virginiana	Virginia pine	10	15		Good		Off-site
153	Acer rubrum	Red maple	15	23		Good		Off-site, Narrow
154	Acer rubrum	Red maple	12	18		Good		Off-site
155	Pinus virginiana	Virginia pine	15	23		Good		Off-site
156	Magnolia virginiana	Sweetbay magnolia	16	32		Good		Off-site; Multi-trunk (12", 10", 5")
157	Betula nigra	River birch	19	38		Good		Off-site; Multi-trunk (12", 11", 10")
158	Magnolia lilliflora	Lily magnolia	6	9		Good		Near Kilmer House
159	Ulmus rubra	Slippery elm	9	14		Fair-Poor		Off-site: Poor form and structure; (near trees 19 & 161)
161	Lagerstroemia indica	Crape Myrtle	5	10		Good	Remove	Multi-trunk (3, 2, 2, 1)
162	Lagerstroemia indica	Crape Myrtle	6	12		Good	Remove	Multi-trunk (4, 3, 3)
163	Lagerstroemia indica	Crape Myrtle	7	14		Good	Remove	Multi-trunk (4, 3, 3, 3)
164	Acer rubrum	Red maple	2	3		Good	Remove	Newly planted: Near gate
165	Cercis canadensis	Eastern redbud	3	5		Good		
166	Cercis canadensis	Eastern redbud	4	6		Good	Remove	
167	Aesculus pavia	Red buckeye	2	3		Good	Remove	
168	Quercus rubra	Northern red oak	2	3		Good		
169	Acer rubrum	Red maple	2	3		Good	Remove	Newly planted: Near Windover Avenue
170	Pinus thunbergii	Japanese black pine	9	14		Good	Remove	Near Windover Avenue
175	Cornus florida	Flowering dogwood	9	14		Good		
176	Lagerstroemia indica	Crape Myrtle	6	12		Fair		Multi-trunk (3,3,3,3,1), narrow
177	Lagerstroemia indica	Crape Myrtle	6	12		Fair		Multi-trunk (4,3,3,1)
178	Lagerstroemia indica	Crape Myrtle	10	20		Good		Multi-trunk (4,4,4,3,3)
179	Salix matsudana	Corkscrew willow	16	24		Good		Off-site
180	Ilex burfordii	Burford holly	5	10		Good		Multi-stem (4,3,2); at corner
181	Asimina triloba	Pawpaw	2	3		Good		
182	Asimina triloba	Pawpaw	2	3		Good		
183	Thuja occidentalis	Northern white-ceda	10	15		Good		Off Site
184	Thuja occidentalis	Northern white-ceda	15	23		Good		Off Site
185	Thuja occidentalis	Northern white-ceda	17	26		Good		Off Site
186	Thuja occidentalis	Northern white-ceda	16	24		Good		Off Site

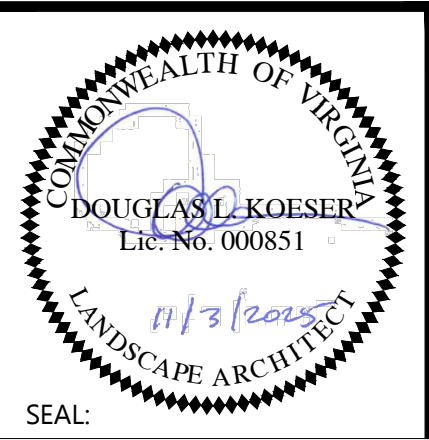
 10/24/2025

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SURVEY AND MAPPING
SECURITY CONSULTING

[illegible]

SUR:	DES:
E.ERICKSON	A.OWENS
DRW:	CHK:
H.BARRY	A.SARANT



SEAL:

TREE INVENTORY

GREEN HEDGES SCHOOL CONDITIONAL USE PERMIT

TOWN OF VIENNA, VIRGINIA
TOWN OF VIENNA

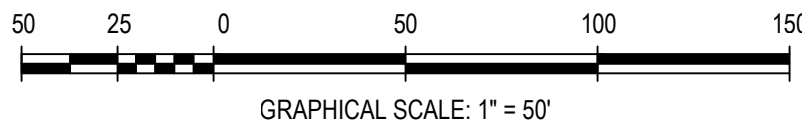
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SCALE:	VERT: N/A
DATE:	November 3, 2025
PLAN:	GREEN HEDGES SCHOOL
JOB:	GORDON 2356-0501
CADD:	2356-0501-L-TP-101.DWG
NCS:	2356-0501-L-TP-101
NUMBER:	C-006 OF C-014



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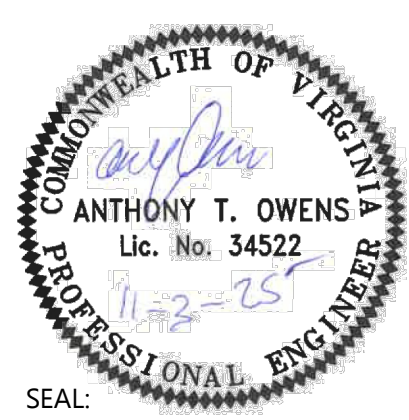


OVERALL LAYOUT PLAN

GREEN HEDGES SCHOOL CONDITIONAL USE PERMIT

TOWN OF VIENNA, VIRGINIA
TOWN OF VIENNA

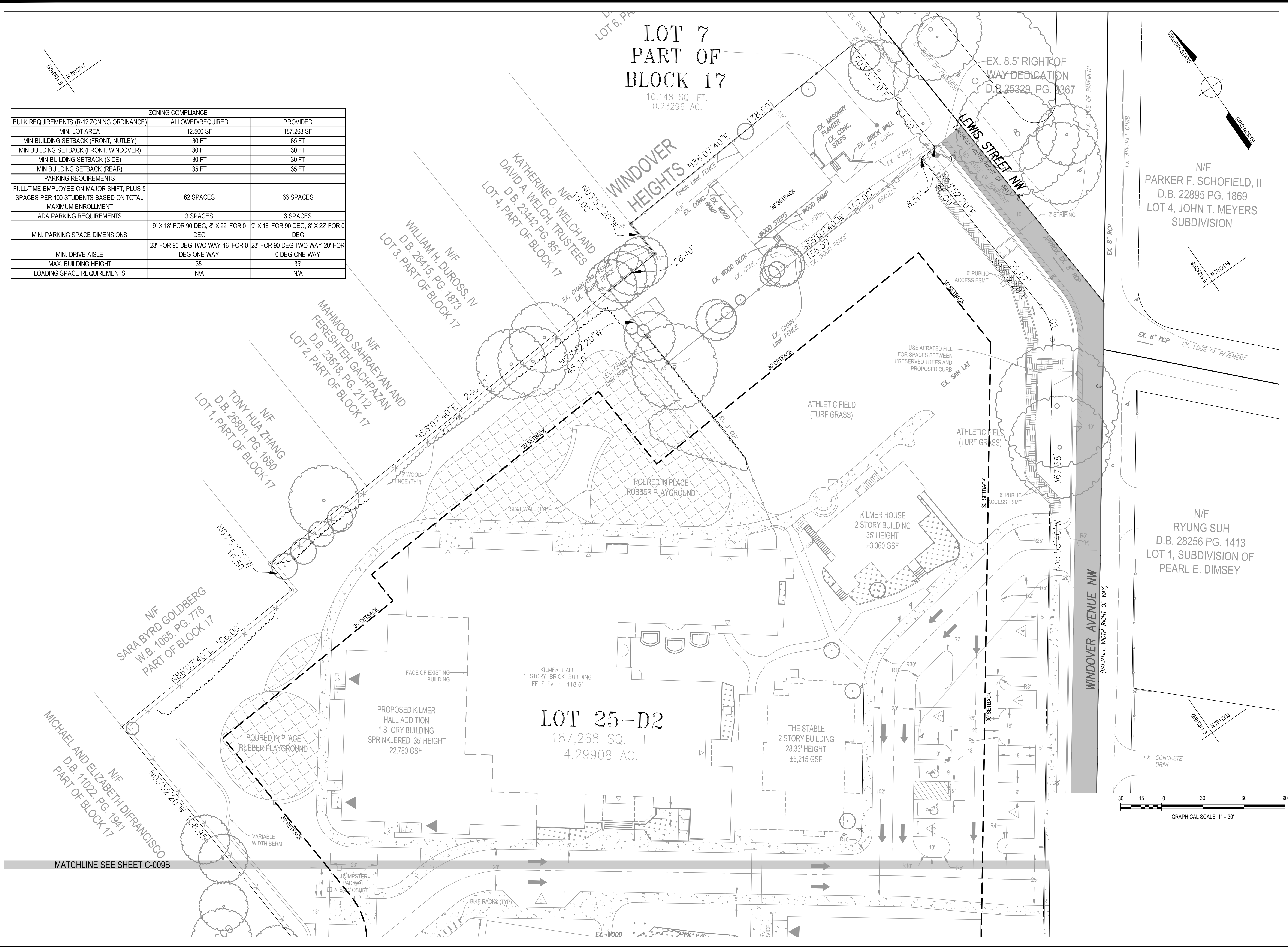
HORIZ: 1" = 50'
SCALE: VERT: N/A
DATE: November 3, 2025
PLAN: GREEN HEDGES SCHOOL
JOB: GORDON 2356-0501
CADD: 2356-0501-C-003.DWG
NCS: 2356-0501-C-003
NUMBER: C-0070FC-014



SUR: E.ERICKSON
DES: A.OWENS
DRW: H.BARRY
CHK: A.SARANT

REVISIONS	DESCRIPTION	NUMBER	DATE

ZONING COMPLIANCE		
BULK REQUIREMENTS (R-12 ZONING ORDINANCE)	ALLOWED/REQUIRED	PROVIDED
MIN. LOT AREA	12,500 SF	187,268 SF
MIN BUILDING SETBACK (FRONT, NUTLEY)	30 FT	85 FT
MIN BUILDING SETBACK (FRONT, WINDOVER)	30 FT	30 FT
MIN BUILDING SETBACK (SIDE)	30 FT	30 FT
MIN BUILDING SETBACK (REAR)	35 FT	35 FT
PARKING REQUIREMENTS		
FULL-TIME EMPLOYEE ON MAJOR SHIFT, PLUS 5 SPACES PER 100 STUDENTS BASED ON TOTAL MAXIMUM ENROLLMENT	62 SPACES	66 SPACES
ADA PARKING REQUIREMENTS	3 SPACES	3 SPACES
MIN. PARKING SPACE DIMENSIONS	9' X 18' FOR 90 DEG, 8' X 22' FOR 0 DEG	9' X 18' FOR 90 DEG, 8' X 22' FOR 0 DEG
MIN. DRIVE AISLE	23' FOR 90 DEG TWO-WAY 16' FOR 0 DEG ONE-WAY	23' FOR 90 DEG TWO-WAY 20' FOR 0 DEG ONE-WAY
MAX. BUILDING HEIGHT	35'	35'
LOADING SPACE REQUIREMENTS	N/A	N/A



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REVISIONS	
NUMBER	DATE

SUR:	DES:
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DRW:	CHK:
H.BARRY	A.SARANT

COMMONWEALTH OF VIRGINIA
ANTHONY T. OWENS
Lic. No. 34522
PROFESSIONAL ENGINEER
SEAL

SETBACK PLAN
**GREEN HEDGES SCHOOL
CONDITIONAL USE PERMIT**
TOWN OF VIENNA, VIRGINIA
TOWN OF VIENNA

HORIZ: 1" = 30'
SCALE: VERT: N/A

DATE: November 3, 2025

PLAN: GREEN HEDGES SCHOOL

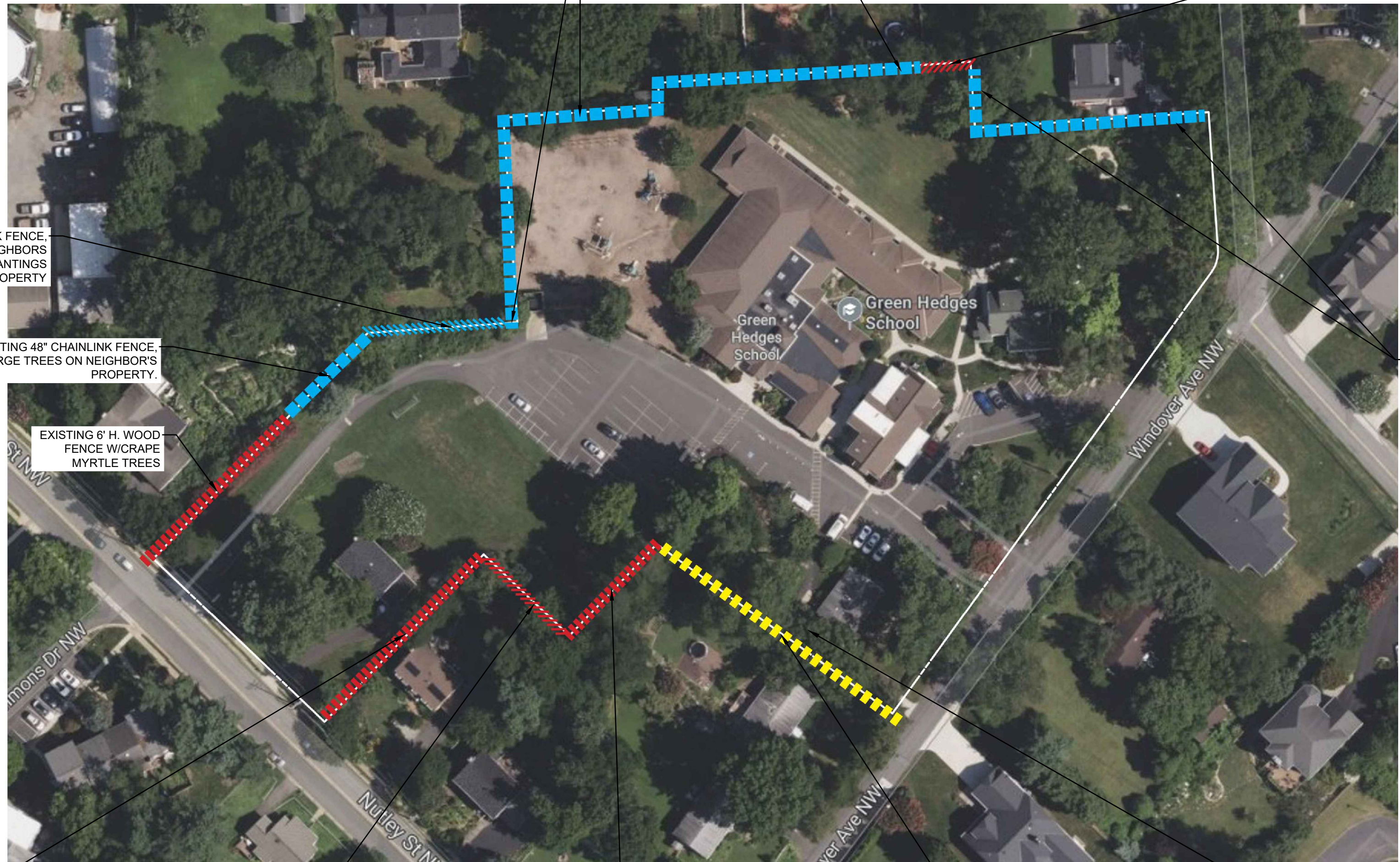
JOB: GORDON 2356-0501

CADD: 2356-0501-C-00-104.DWG

NCS: 2356-0501-C-00-104

NUMBER: C-008 OF C-014

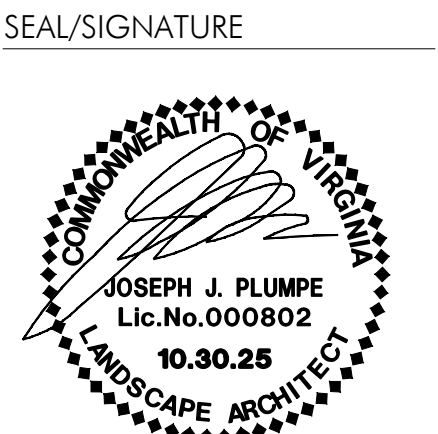
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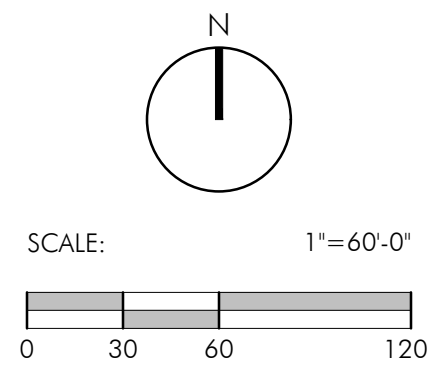


ISSUE DATE
LANDSCAPE PLAN 07.25.2025
LANDSCAPE PLAN 10.30.2025

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PROJECT NUMBER: 25009
CONTACT: JOSEPH PLUMPE
DRAWN: YJ
APPROVED/CHECKED: JP

ORIENTATION AND SCALE



SHEET TITLE
**EXISTING SITE
BOUNDARY
CONDITIONS**

SHEET NUMBER

C-010

SITE DEVELOPMENT PLAN

\\snp-ar\file\01\Projects\2023\25009 green hedges school\6.0 and file\current phase\11.03\PCOF BUFFER.dwg

01

SITE BUFFER - KEY PLAN

C-010A

Scale: 1"=40'-0"

PLAN



LEGEND

- EXISTING TREES TO REMAIN.
PROPOSED UNDERSTORY SHRUBS
FOR ADDITIONAL BUFFER
- PROPOSED NEW BUFFER WITH NEW
CANOPY TREES, UNDERSTORY
TREES & SHRUBS
- PROPOSED
SHRUBS FOR
BUFFER

BUFFER CONDITIONS					
SEGMENTS	EXISTING FENCE	EXISTING	PROPOSED		NARRATIVE WHEN 15' BUFFER REQUIREMENT IS NOT MET
		EXISTING VEGETATION	FENCE	VEGETATION BUFFER	
A1-A2	EXISTING 46" H. CHAIN LINK FENCE	EXISTING VEGETATION ON ADJACENT NEIGHBOR PROPERTY	N/A	9' BUFFER OF SHRUBS PLANTING ONLY.	15' BUFFER NOT NEEDED BECAUSE ADJACENT PROPERTY IS THE SAME OWNER. ADDITIONALLY, PROPOSED STORMWATER MITIGATION STRUCTURE IS WITHIN THE 15' DISTANCE, AND NO TREES CAN BE PLANTED WITHIN 10' FROM SWM FACILITY.
A2-B	EXISTING 46" H. CHAIN LINK FENCE	EXISTING VEGETATION ON ADJACENT NEIGHBOR PROPERTY	N/A	6'-6" BUFFER.	15' BUFFER NOT NEEDED BECAUSE ADJACENT PROPERTY IS THE SAME OWNER. ADDITIONALLY, PROPOSED PLAYGROUND IS WITHIN THE 15' DISTANCE.
B-C	EXISTING 6" H. WOOD FENCE.	EXISTING VEGETATION ON ADJACENT NEIGHBOR PROPERTY	EXISTING 6" WOOD FENCE TO REMAIN.	15' BUFFER.	N/A
C-D	EXISTING 6" H. CHAIN LINK FENCE	EXISTING VEGETATION ON ADJACENT NEIGHBOR PROPERTY	PROPOSED 6" H. WOOD FENCE.	15' BUFFER.	N/A
D-E	EXISTING 6" H. CHAIN LINK FENCE	EXISTING EVERGREEN TREES ON SCHOOL PROPERTY.	PROPOSED 6" H. WOOD FENCE.	15' BUFFER. EXISTING EVERGREEN TREES TO REMAIN. PROPOSED UNDERSTORY TREES & SHRUBS.	EXISTING VEGETATION WITHIN 15' BUFFER RETAINED. ADDITIONAL UNDERSTORY PLANTING ADDED
F	EXISTING 6" H. CHAIN LINK FENCE	NO EXISTING TREES ON SCHOOL PROPERTY.	PROPOSED 6" H. WOOD FENCE.	15' BUFFER.	N/A
F-G	EXISTING 6" H. CHAIN LINK FENCE	NO EXISTING TREES ON SCHOOL PROPERTY.	PROPOSED 6" H. WOOD FENCE.	15' BUFFER. EXISTING EVERGREEN TREES TO REMAIN. PROPOSED UNDERSTORY TREES & SHRUBS.	EXISTING VEGETATION WITHIN 15' BUFFER RETAINED. ADDITIONAL UNDERSTORY PLANTING ADDED
G-H	EXISTING 6" H. CHAIN LINK FENCE	EXISTING MIX OF EVERGREEN & DECIDUOUS TREES ON SCHOOL PROPERTY.	PROPOSED 6" H. WOOD FENCE.	15' BUFFER.	N/A
H-I	EXISTING 6" H. CHAIN LINK FENCE	EXISTING PLANTINGS ON ADJACENT NEIGHBOR PROPERTY.	PROPOSED 6" H. WOOD FENCE.	15' BUFFER.	N/A
I-J	EXISTING 6" H. CHAIN LINK FENCE.	EXISTING DECIDUOUS TREES ON SCHOOL PROPERTY.	PROPOSED 6" H. WOOD FENCE.	10' BUFFER.	CANNOT PROVIDE 15' BUFFER DUE TO ROAD LOCATION.
J-K	EXISTING 4" H. CHAIN LINK FENCE.	EXISTING DECIDUOUS TREES ON SCHOOL PROPERTY.	PROPOSED 6" H. WOOD FENCE.	10' BUFFER.	CANNOT PROVIDE 15' BUFFER DUE TO ROAD LOCATION.
K-L	EXISTING 6" WOOD FENCE.	EXISTING HEAVY DECIDUOUS PLANTING ON SCHOOL PROPERTY.	EXISTING 6" WOOD FENCE TO REMAIN.	10' BUFFER. EXISTING EVERGREEN TREES TO REMAIN. PROPOSED UNDERSTORY SHRUBS.	CANNOT PROVIDE 15' BUFFER DUE TO ROAD LOCATION.
L-M	EXISTING 6" WOOD FENCE.	HEAVY VEGETATION ON ADJACENT NEIGHBOR PROPERTY	EXISTING 6" WOOD FENCE TO REMAIN.	10' BUFFER. PROPOSED UNDERSTORY TREES & SHRUBS.	CANNOT PROVIDE 15' BUFFER DUE TO ROAD LOCATION.
O-P	EXISTING 6" WOOD FENCE.	FEW DECIDUOUS PLANTINGS ON SCHOOL PROPERTY.	EXISTING 6" WOOD FENCE TO REMAIN.	15' BUFFER. EXISTING TREES TO REMAIN.	EXISTING VEGETATION WITHIN 15' BUFFER RETAINED. NO NEW TREES. PROPOSED ADDITIONAL UNDERSTORY PLANTING ADDED
P-Q	EXISTING 6" WOOD FENCE.	NO EXISTING TREES ON SCHOOL PROPERTY.	EXISTING 6" WOOD FENCE TO REMAIN.	3' MIN. BUFFER.	CANNOT PROVIDE 15' BUFFER DUE TO EXISTING PARKING LOT.
Q-R	EXISTING 6" WOOD FENCE.	FEW DECIDUOUS PLANTINGS ON ADJACENT PROPERTY	EXISTING 6" WOOD FENCE TO REMAIN.	10' BUFFER.	CANNOT PROVIDE 15' BUFFER DUE TO EXISTING PARKING LOT.
R-T	EXISTING 6" WOOD FENCE.	NO EXISTING TREES ON SCHOOL PROPERTY.	EXISTING 6" WOOD FENCE TO REMAIN.	15' BUFFER. EXISTING TREES TO REMAIN.	N/A
T-U	NO EXISTING FENCE	NO EXISTING TREES ON SCHOOL PROPERTY.	PROPOSED 6" H. WOOD FENCE.	6' BUFFER.	CANNOT PROVIDE 15' BUFFER DUE TO EXISTING SHED LOCATION.
U-V	NO EXISTING FENCE	FEW DECIDUOUS PLANTINGS ON SCHOOL PROPERTY.	PROPOSED 6" H. WOOD FENCE.	15' BUFFER. EXISTING TREES TO REMAIN.	N/A
V-W	NO EXISTING FENCE.	NO EXISTING TREES ON SCHOOL PROPERTY.	PROPOSED 6" H. WOOD FENCE.	15' BUFFER WITH ONLY SHRUBS DUE TO LOCATION OF SWM FACILITY.	15' VEGETATION BUFFER CANNOT INCLUDE TREES DUE TO LOCATION OF SWM FACILITY.
PERCENTAGE OF AREAS MEETING THE 15' BUFFER REQUIREMENT:					44%
PERCENTAGE OF BUFFER AREAS THAT ARE REQUESTING MODIFICATION FOR DEVIATION FROM 15' BUFFER:					56%

GREEN HEDGES SCHOOL

415 WINDOVER AVE NW

VIENNA, VA

TOWN OF VIENNA

CLIENT

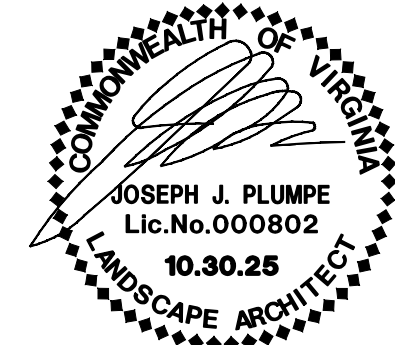
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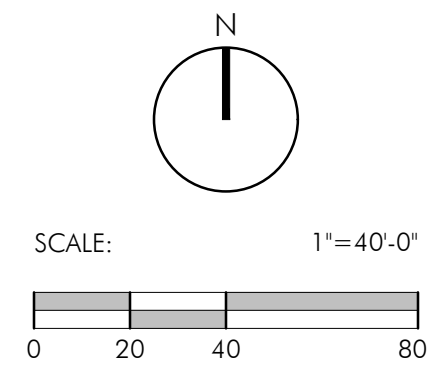
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CONTACT: JOSEPH PLUMPE
DRAWN: YJ
APPROVED/CHECKED: JP

ORIENTATION AND SCALE



SHEET TITLE

PROPOSED BUFFER

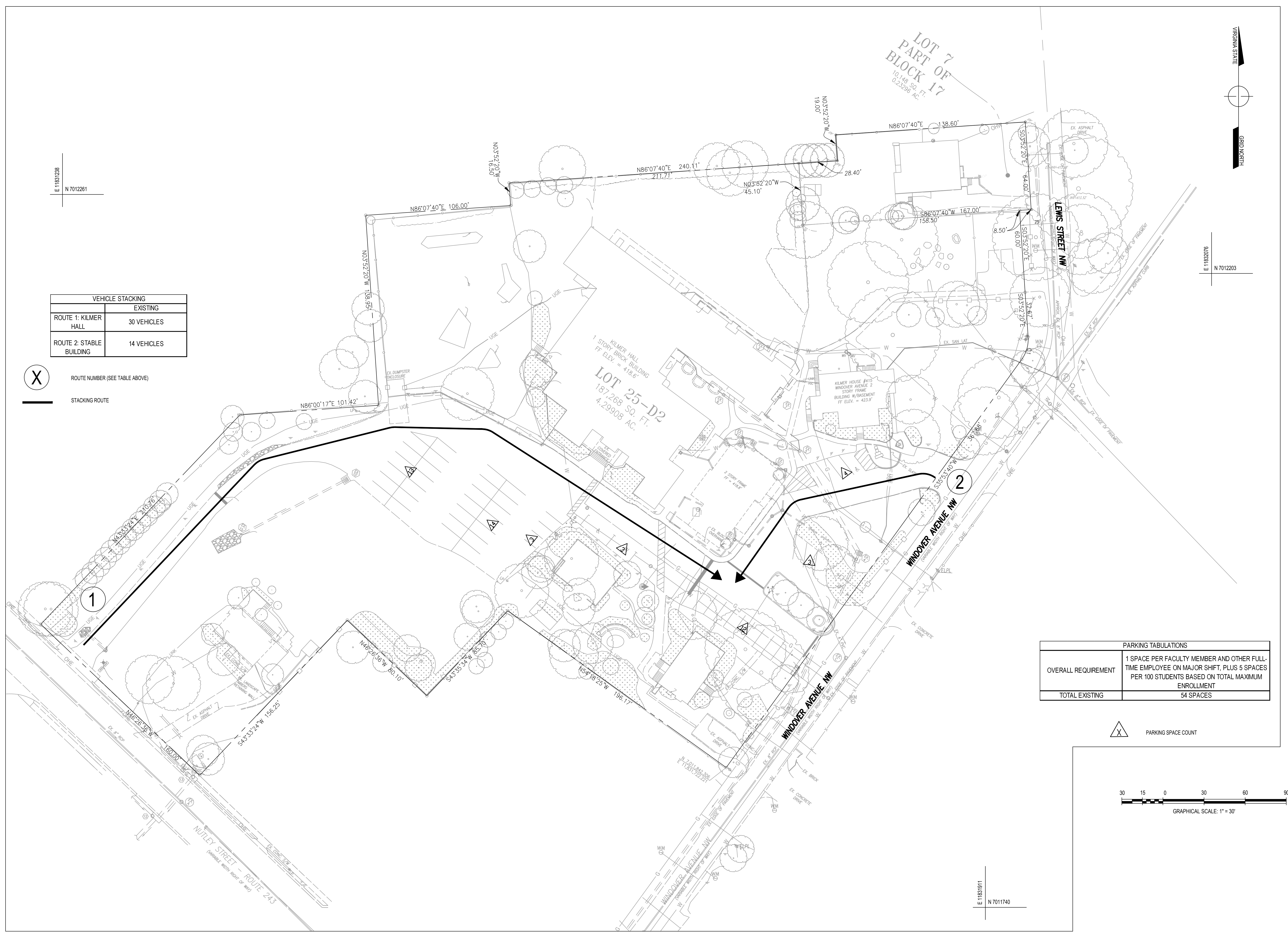
SHEET NUMBER

C-010A

SITE DEVELOPMENT PLAN

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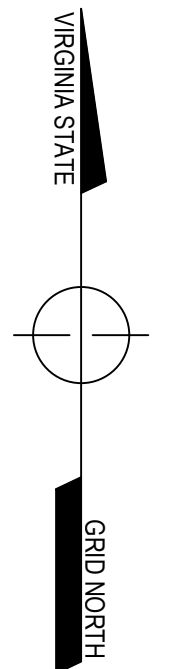
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E 1183238
N 7012261

VEHICLE STACKING	
	EXISTING
ROUTE 1: KILMER HALL	30 VEHICLES
ROUTE 2: STABLE BUILDING	14 VEHICLES

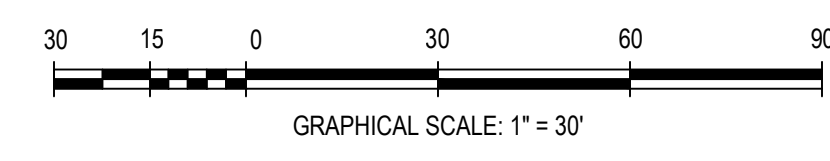
X ROUTE NUMBER (SEE TABLE ABOVE)
— STACKING ROUTE



E 11832076
N 7012203

PARKING TABULATIONS	
OVERALL REQUIREMENT	1 SPACE PER FACULTY MEMBER AND OTHER FULL-TIME EMPLOYEE ON MAJOR SHIFT, PLUS 5 SPACES PER 100 STUDENTS BASED ON TOTAL MAXIMUM ENROLLMENT
TOTAL EXISTING	54 SPACES

X PARKING SPACE COUNT



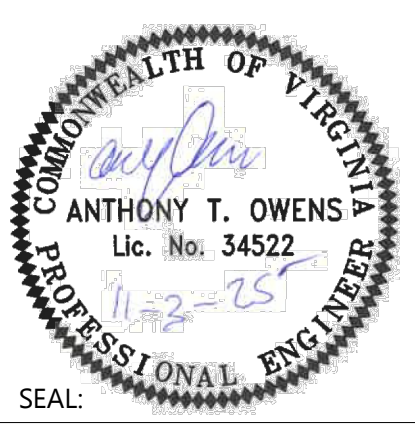
E 11831911
N 7011740

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REVISIONS	
DESCRIPTION	DATE

SUR: E.ERICKSON	DES: A.OWENS
DRW: H.BARRY	CHK: A.SARANT



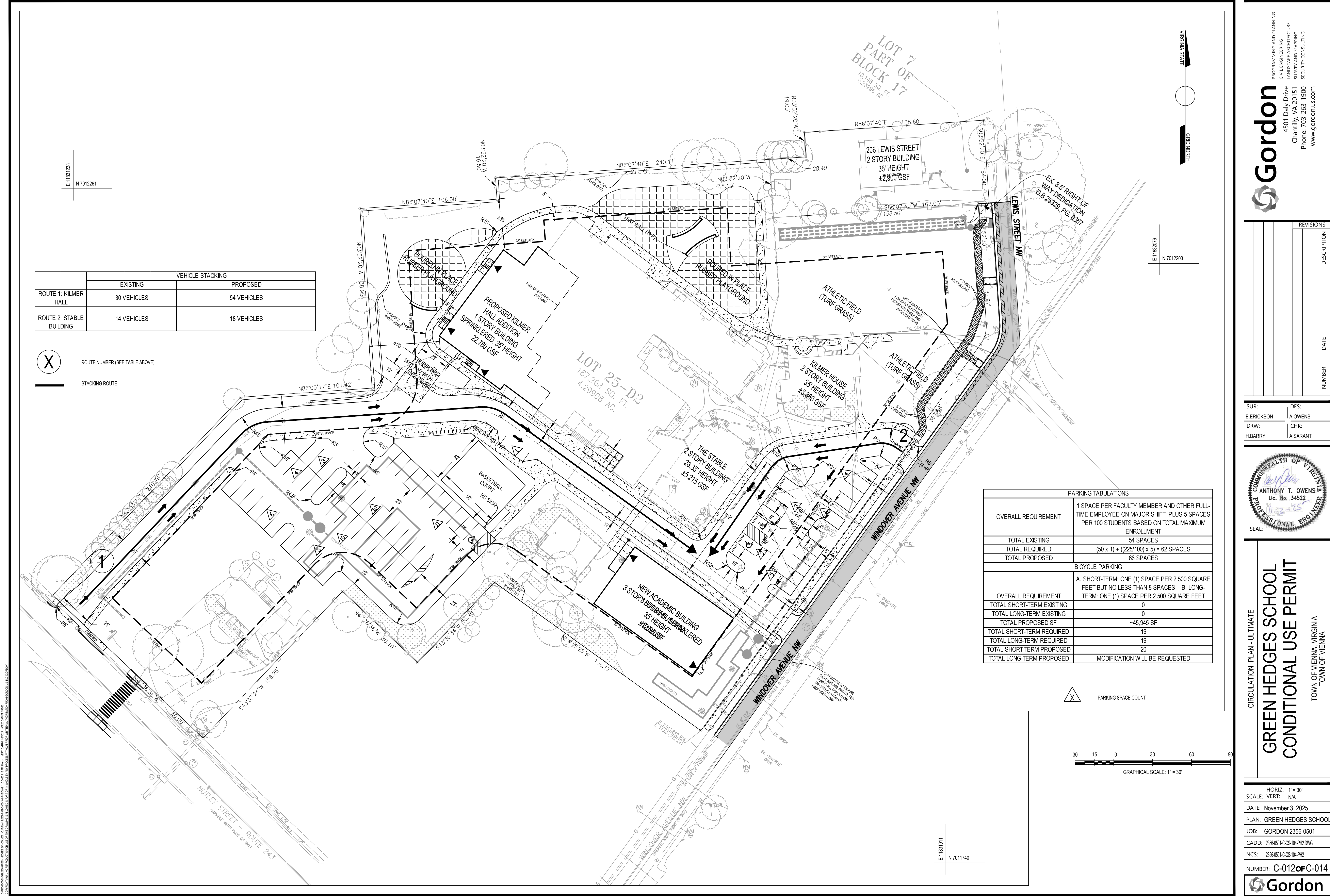
CIRCULATION PLAN - EXISTING

**GREEN HEDGES SCHOOL
CONDITIONAL USE PERMIT**

TOWN OF VIENNA, VIRGINIA
TOWN OF VIENNA

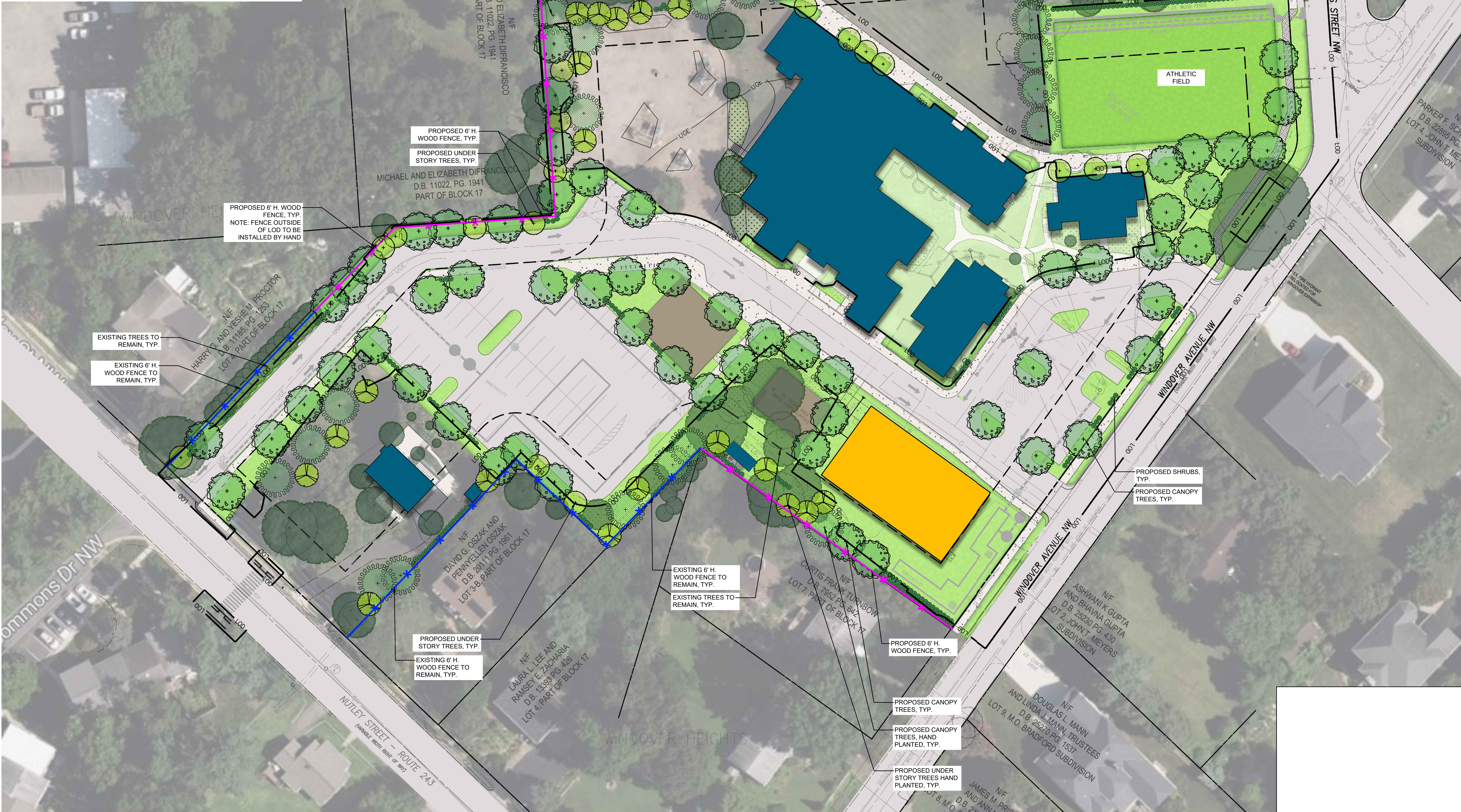
HORIZ: 1" = 30'
SCALE: VERT: N/A
DATE: November 3, 2025
PLAN: GREEN HEDGES SCHOOL
JOB: GORDON 2356-0501
CADD: 2356-0501-C-05-104.DWG
NCS: 2356-0501-C-05-104
NUMBER: C-0110FC-014

Gordon





PROPOSED 6' H. WOOD FENCE
TO MATCH EXISTING WOOD FENCE ON SITE



GREEN HEDGES SCHOOL
415 WINDOVER AVE NW
VIENNA, VA
TOWN OF VIENNA

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JOSEPH J. PLUMPE
Lic. No. 000802
10.30.25
LANDSCAPE ARCHITECT

ISSUE DATE
LANDSCAPE PLAN 07.25.2025
LANDSCAPE PLAN 10.30.2025

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CONTACT: JOSEPH PLUMPE
DRAWN: YJ
APPROVED/CHECKED: JP

ORIENTATION AND SCALE

SCALE: 1" = 30'-0"

SHEET TITLE
**PROPOSED
LANDSCAPE PLAN-
PHASE I**

SHEET NUMBER
C-022

SITE DEVELOPMENT PLAN

\\snp-rs\\info\\1\\Projects\\2023\\25009 green hedges school\\6.0 oad files\\current phase\\1.02 PCOP PLAN\\PH2.dwg



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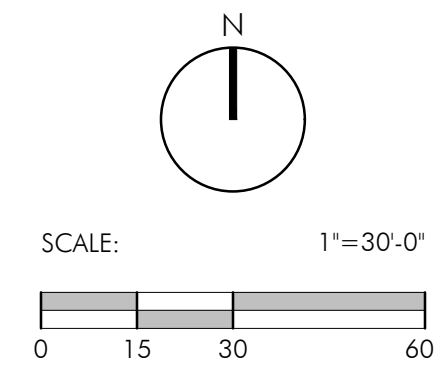
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Lic. No. 000802
10.30.25
LANDSCAPE ARCHITECT

ISSUE DATE
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CONTACT: JOSEPH PLUMPE
DRAWN: YJ
APPROVED/CHECKED: JP

ORIENTATION AND SCALE



SHEET TITLE
**PROPOSED
LANDSCAPE PLAN-
PHASE II**

SHEET NUMBER
C-035

SITE DEVELOPMENT PLAN

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