

CYPRUS GROUP INC.  
 ZONE : C-1A  
 AREA : 53,230 SF  
 TAX MAP#: 0382 02 0081  
 N 50°00'00" E 67.53'  
 N 50°00'00" E 57.47'

LOT 90  
 ZEE INVESTMENTS LLC  
 ZONE : C-2  
 AREA : 4,052 SF  
 TAX MAP#: 0382 02 0090

LOT 89  
 TSPP LLC  
 ZONE : C-2  
 AREA : 7,091 SF  
 TAX MAP#: 0382 02 0089

CYPRUS GROUP INC.  
 ZONE : C-1A  
 AREA : 53,230 SF  
 TAX MAP#: 0382 02 0081

LOT 88  
 TSPP LLC  
 ZONE : C-2  
 AREA : 9,483 SF  
 TAX MAP#: 0382 02 0088

MAPLE AVENUE EAST (RTE 123)  
 (75' R/W)

**LEGEND**

- EXIST FENCE
- EXIST CURB & GUTTER
- PROPERTY LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING GAS LINE
- EXISTING STORM PIPE
- EXISTING CONTOUR
- PROPOSED CURB & GUTTER
- PROPOSED PARKING STRIPING
- PROPOSED ADA STRIPING
- PROPOSED BUILDING
- EXIST STORM INLET
- EXIST LIGHT POLE
- EXIST POWER POLE
- EXIST GUY WIRE
- EXIST SIGN

**SITE TABULATION**

	REQUIRED	PROVIDED
MINIMUM LOT AREA	NA	20,626 SF
MINIMUM LOT WIDTH	NA	125'
MAXIMUM BLDG HT.	35'	17'
MINIMUM YARD REQ. FRONT	15'	50'
SIDE	5'	5'
REAR	10'	10'

**AREA TABULATION**

LOT	AREA	TOTAL
88	9,483 SF	20,626 SF 0.47 AC
89	7,091 SF	
90	4,052 SF	

**PARKING REQUIREMENT**

USE	NET SQUARE FEET	PARKING REQUIREMENT	PARKING REQUIRED	PARKING PROVIDED
AUTOMOBILE SERVICE STATION & ANCILLARY CONVENIENCE RETAIL STORE	2,520 SF	ONE PARKING SPACE FOR EVERY 200 SF OF FLOOR AREA	13 PARKING SPACES	11 PARKING* SPACES

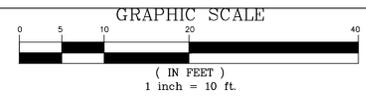
ADA SPACES REQUIRED = 1 SPACE  
 ADA SPACES PROVIDED = 1 SPACE  
 \* MODIFICATION OF PARKING SPACE APPROVED BY TOWN COUNCIL ON 05/21/2018

**LEGEND**

ITEM NUMBER	DESCRIPTION
34	PROPOSED CONCRETE SIDEWALK
35	PROPOSED GAS LINE
36	PROPOSED SANITARY LATERAL
37	PROPOSED WATER LINE
38	PROPOSED ADA SIGN
39	PROPOSED ADA RAMP
40	EXISTING LIGHT POLE
41	PROPOSED CG-13 ENTRANCE
42	PROPOSED HVAC UNIT LOCATION
43	PROPOSED HVAC UNIT LOCATION
<b>ITEM NUMBER LISTED BELOW</b>	
<b>PARKING SPACES</b>	
[ETR] EXISTING TO REMAIN	
[ETD] EXISTING TO BE DEMOLISHED	
[ETM] EXISTING TO BE MODIFIED	
<b>BUILDING</b>	
1	PROPOSED CONVENIENCE STORE
2	PROPOSED BUILDING ENTRANCE
3	PROPOSED SIDEWALK
<b>CANOPY / ISLANDS</b>	
4	PROPOSED BOLLARD
5	DISPENSING EQUIPMENT
6	PROPOSED CANOPY
<b>YARD AREA TANKS</b>	
7	PROPOSED BIKE RAIL
8	PROPOSED CANOPY CONCRETE PAD
9	PROPOSED UNDERGROUND TANKS
10	EXISTING ENTRANCE -ETR
11	ADA ACCESSIBLE PARKING ONLY SIGN PER LOCAL CODE
12	PROPOSED TRASH ENCLOSURE
13	EXISTING GAS LINE -ETR
14	WATER METER - ETM
15	PROPOSED CURB & GUTTER (CG-6)
16	PROPOSED PARKING STRIPING
17	PROPERTY LINE
18	OFFSITE CURB & GUTTER -ETR
19	OFFSITE SIDEWALK -ETR
20	EXISTING STORM-INLETS -ETR
21	EXISTING TREE - ETR
22	PROPOSED CONCRETE PAVEMENT
23	PROPOSED CURB (CG-2)
24	PROPOSED SIGN ID
25	PROPOSED KNEE WALL
26	PROPOSED BMP STRUCTURE
27	PROPOSED SWM STRUCTURE
28	PROPOSED STORM DRAIN
29	PROPOSED LOADING SPACE
30	EXISTING ELECTRIC POLE
31	PROPOSED 15" PVC PIPE
32	PROPOSED TRAFFIC POLE (BY OTHERS)
33	PROPOSED AIR COMPRESSOR BASE

**NOTES:**

- OVERHEAD ELECTRICAL WIRES ON SITE FRONTAGES ONLY WILL BE UNDERGROUNDED AS ALLOWED BY THE UTILITY COMPANY, AND ALONG PARK AVENUE FRONTAGE.
- THE SITE WILL MEET ALL ADA REQUIREMENTS INCLUDING IMPROVEMENTS TO THE EXISTING FRONTAGE.
- IF DEEMED NECESSARY BY THE TOWN OF VIENNA, EXISTING SANITARY SEWER SHALL BE LINED.
- THE BRICK USED FOR THE SIDEWALK ALONG MAPLE AVE AND PARK STREET ARE A SPECIAL TYPE/COLOR AND MUST BE OBTAINED FROM THE TOWN.



**CIVIL ENGINEERS:**



8565D SUDLEY ROAD.  
 MANASSAS, VA 20110  
 Phone: (571) 249-3448  
 Fax : (703) 940-2280  
 www.plan-source.com  
 bprakash@plan-source.com



No.	DATE:	REVISIONS
1.	04/02/18	Planning Commission meeting Plan set
2.	05/04/18	Town Council meeting Plan set
3.	06/09/18	Board of Architectural Review

PROJECT INFORMATION:  
 200 MAPLE AVE E  
 VIENNA, VA 22180

OWNER'S NAME:  
 TSPP LLC,  
 ZEE INVESTMENTS LLC  
 43083 JOHN MOSBY HWY  
 CHANTILLY, VA 20152

DEVELOPER INFORMATION:  
 CAPITOL PETROLEUM GROUP  
 6820 COMMERCIAL DRIVE  
 SPRING FIELD, VA 22151

DRAWING TITLE:  
 SITE PLAN

AREA: 20,626 SF (COMBINED)

SCALE: 1" = 10'

PROJECT MANAGER:  
 BP

DRAWN BY: BR  
 DATE: JUNE 2018

CHECKED BY: DA  
 TAX MAP#: 0382 02 0088  
 0382 02 0089  
 0382 02 0090

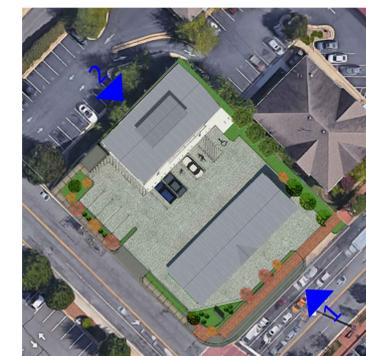
THIS DESIGN IS COPYRIGHTED AND DRAWING NO. PROTECTED UNDER THE LAWS OF THE UNITED STATES OF AMERICA. ANY UNAUTHORIZED USE OF THE DOCUMENT WITHOUT WRITTEN CONSENT OF THE PLAN SOURCE, INC. IS PROHIBITED.  
 DRAWING NO. 01



1 FRONT (MAPLE AVE) ELEVATION



2 REAR ELEVATION



CIVIL ENGINEERS:



8565D SUDLEY ROAD.  
MANASSAS, VA 20110  
Phone: (571) 249-3448  
Fax : (703) 940-2280  
www.plan-source.com  
bprakash@plan-source.com



No.	DATE:	REVISIONS
1.	04/02/18	Planning Commission meeting Plan set
2.	05/04/18	Town Council meeting Plan set
3.	06/09/18	Board of Architectural Review
No.	DATE:	

PROJECT INFORMATION:  
200 MAPLE AVE E  
VIENNA, VA 22180

OWNER'S NAME:  
TSPP LLC,  
ZEE INVESTMENTS LLC  
43083 JOHN MOSBY HWY  
CHANTILLY, VA 20152

DEVELOPER INFORMATION:  
CAPITOL PETROLEUM GROUP  
6820 COMMERCIAL DRIVE  
SPRING FIELD, VA 22151

DRAWING TITLE:  
BUILDING ELEVATION I

AREA: NA

SCALE: NTS

PROJECT MANAGER:  
BP

DRAWN BY: SR  
DATE: JUNE 2018

CHECKED BY: DA  
TAX MAP#: 0382 02 0088  
0382 02 0089  
0382 02 0090

THIS DESIGN IS COPYRIGHTED AND DRAWING NO. PROTECTED UNDER THE LAWS OF THE UNITED STATES OF AMERICA. ANY UNAUTHORIZED USE OF THE DOCUMENT WITHOUT WRITTEN CONSENT OF THE PLAN SOURCE, INC. IS PROHIBITED.

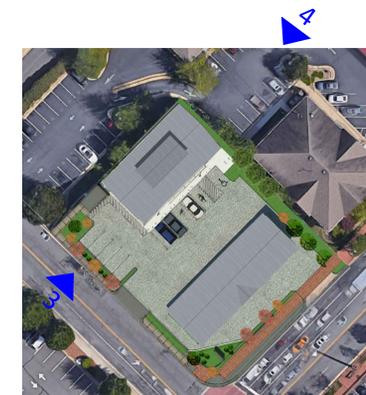
DRAWING NO.  
02



3 SIDE (PARK STREET) ELEVATION



4 SIDE ELEVATION



CIVIL ENGINEERS:



8565D SUDLEY ROAD.  
MANASSAS, VA 20110  
Phone: (571) 249-3448  
Fax : (703) 940-2280  
www.plan-source.com  
bprakash@plan-source.com



No.	DATE:	REVISIONS
1.	04/02/18	Planning Commission meeting Plan set
2.	05/04/18	Town Council meeting Plan set
3.	06/09/18	Board of Architectural Review
No.	DATE:	

PROJECT INFORMATION:  
200 MAPLE AVE E  
VIENNA, VA 22180

OWNER'S NAME:  
TSPP LLC,  
ZEE INVESTMENTS LLC  
43083 JOHN MOSBY HWY  
CHANTILLY, VA 20152

DEVELOPER INFORMATION:  
CAPITOL PETROLEUM GROUP  
6820 COMMERCIAL DRIVE  
SPRING FIELD, VA 22151

DRAWING TITLE:  
BUILDING ELEVATION II

AREA: NA

SCALE: NTS

PROJECT MANAGER:  
BP

DRAWN BY: SR  
DATE: JUNE 2018

CHECKED BY: DA  
TAX MAP#: 0382 02 0088  
0382 02 0089  
0382 02 0090

THIS DESIGN IS COPYRIGHTED AND DRAWING NO. PROTECTED UNDER THE LAWS OF THE UNITED STATES OF AMERICA. ANY UNAUTHORIZED USE OF THE DOCUMENT WITHOUT WRITTEN CONSENT OF THE PLAN SOURCE, INC. IS PROHIBITED.

DRAWING NO.  
03



4 VIEW FROM MAPLE AVE



5 VIEW FROM PARK ST

CIVIL ENGINEERS:



8565D SUDLEY ROAD.  
MANASSAS, VA 20110  
Phone: (571) 249-3448  
Fax : (703) 940-2280  
www.plan-source.com  
bprakash@plan-source.com



No.	DATE:	REVISIONS
1.	04/02/18	Planning Commission meeting Plan set
2.	05/04/18	Town Council meeting Plan set
3.	06/09/18	Board of Architectural Review

No.	DATE:	

PROJECT INFORMATION:

200 MAPLE AVE E  
VIENNA, VA 22180

OWNER'S NAME:

TSP LLC,  
ZEE INVESTMENTS LLC  
43083 JOHN MOSBY HWY  
CHANTILLY, VA 20152

DEVELOPER INFORMATION:

CAPITOL PETROLEUM GROUP  
6820 COMMERCIAL DRIVE  
SPRING FIELD, VA 22151

DRAWING TITLE:

ELEVATION FROM MAPLE AVE

AREA: NA

SCALE: NTS

PROJECT MANAGER:

BP

DRAWN BY: SR	DATE: JUNE 2018
-----------------	--------------------

CHECKED BY: DA	TAX MAP#: 0382 02 0088 0382 02 0089 0382 02 0090
-------------------	---

THIS DESIGN IS COPYRIGHTED AND DRAWING NO. PROTECTED UNDER THE LAWS OF THE UNITED STATES OF AMERICA. ANY UNAUTHORIZED USE OF THE DOCUMENT WITHOUT WRITTEN CONSENT OF THE PLAN SOURCE, INC. IS PROHIBITED.

DRAWING NO.

04



CIVIL ENGINEERS:



8565D SUDLEY ROAD.  
MANASSAS, VA 20110  
Phone: (571) 249-3448  
Fax : (703) 940-2280  
www.plan-source.com  
bprakash@plan-source.com



No.	DATE:	REVISIONS
1.	04/02/18	Planning Commission meeting Plan set
2.	05/04/18	Town Council meeting Plan set
3.	06/09/18	Board of Architectural Review

No.	DATE:	

PROJECT INFORMATION:  
200 MAPLE AVE E  
VIENNA, VA 22180

OWNER'S NAME:  
TSPP LLC,  
ZEE INVESTMENTS LLC  
43083 JOHN MOSBY HWY  
CHANTILLY, VA 20152

DEVELOPER INFORMATION:  
CAPITOL PETROLEUM GROUP  
6820 COMMERCIAL DRIVE  
SPRING FIELD, VA 22151

DRAWING TITLE:  
**MATERIAL  
&  
SPECIFICATIONS**

AREA: N/A

SCALE: N/A

PROJECT MANAGER:  
BP

DRAWN BY: SR	DATE: JUNE 2018
CHECKED BY: DA	TAX MAP#: 0382 02 0088 0382 02 0089 0382 02 0090

THIS DESIGN IS COPYRIGHTED AND DRAWING NO. PROTECTED UNDER THE LAWS OF THE UNITED STATES OF AMERICA. ANY UNAUTHORIZED USE OF THE DOCUMENT WITHOUT WRITTEN CONSENT OF THE PLAN SOURCE, INC. IS PROHIBITED.

DRAWING NO.  
05

**1** Board and Batten siding  
Color : Colonial white  
Material : Board and Batten vertical Siding  
Manufacturer : Certainteed

**2** Brick Cladding  
Color: Red Centennial  
MATERIAL: Brick  
MANUFACTURER : General Shale  
SPECIFICATION : Lightweight  
SKU: 6035029453

**3** Brick Cladding  
Color: Virginia Highlands  
Material: Brick  
Manufacturer: General Shale  
Specification: Lightweight  
SKU: 6035004894

**4** Metal Roofing  
Color : Slate Gray (Paint)  
Material : Standing Seam Roof Systems  
Manufacturer: MBCI

**4A** Awning  
Color : Slate Gray  
Material : Steel

**5** Cupola  
Color: White base,  
Ash Gray Metal Roof  
Material: Vinyl Square Base,  
Metal roof  
Manufacturer: Cupola Creations

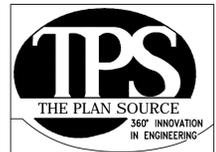
**6** Window  
Color: White  
Material: PVC Window  
Manufacturer: Imagination mill work

**7** BP Illuminated building Sign  
Color:  
BP Retail Green PMS 348  
BP Super Bright Green PMS 382  
BP White - 4900 (Acrylic), 900 (Oil)  
Material :  
BP Illuminated Shop sign - ACM  
Paint

**8** Canopy Fascia Sign  
Color:  
BP Yellow -PMS 109c  
BP Light Green - PMS 368c  
BP Green - PMS 109  
White - Pantone White  
Material:  
Formed polycarbonate with beveled edge, ACM disc

**9** Free Standing sign  
Color:  
BP Yellow - PMS 109c  
BP Green - PMS 109  
BP Light Green - PMS 368c  
White - Pantone White  
Material:  
ACM

CIVIL ENGINEERS:



8565D SUDLEY ROAD.  
MANASSAS, VA 20110  
Phone: (571) 249-3448  
Fax : (703) 940-2280  
www.plan-source.com  
bprakash@plan-source.com



No.	DATE:	REVISIONS
1.	04/02/18	Planning Commission meeting Plan set
2.	05/04/18	Town Council meeting Plan set
3.	07/03/18	Board of Architectural Review

PROJECT INFORMATION:  
200 MAPLE AVE E  
VIENNA, VA 22180

OWNER'S NAME:  
TSPP LLC,  
ZEE INVESTMENTS LLC  
43083 JOHN MOSBY HWY  
CHANTILLY, VA 20152

DEVELOPER INFORMATION:  
CAPITOL PETROLEUM GROUP  
6820 COMMERCIAL DRIVE  
SPRING FIELD, VA 22151

DRAWING TITLE:  
**EXTERIOR BUSINESS SIGNAGE PLAN**

AREA: N/A

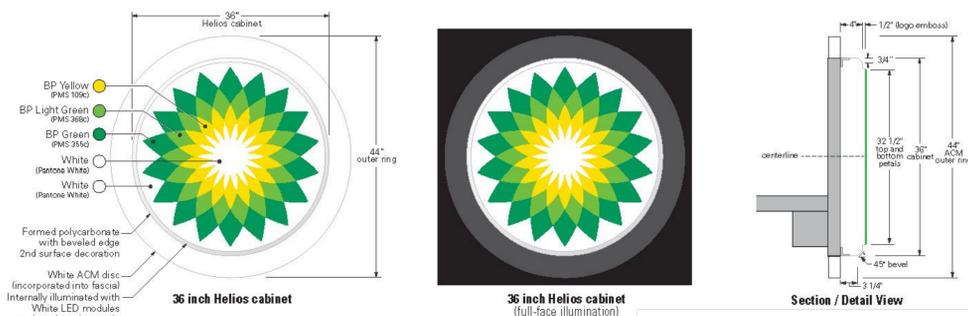
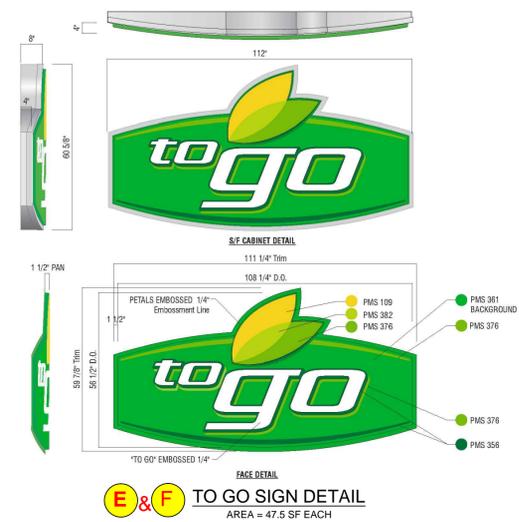
SCALE: N/A

PROJECT MANAGER:  
BP

DRAWN BY: BR	DATE: JUL 2018
CHECKED BY: DA	TAX MAP#: 0382 02 0088 0382 02 0089 0382 02 0090

THIS DESIGN IS COPYRIGHTED AND DRAWING NO. PROTECTED UNDER THE LAWS OF THE UNITED STATES OF AMERICA. ANY UNAUTHORIZED USE OF THE DOCUMENT WITHOUT WRITTEN CONSENT OF THE PLAN SOURCE, INC. IS PROHIBITED.

DRAWING NO.  
06



**B C & D HELIOS DETAIL**  
AREA = 13.5 SF EACH (INTERNALLY ILLUMINATED)



**MONUMENT SIGNAGE AREA:**  
ALLOWABLE AREA OF MONUMENT SIGN = 36 SF  
PROPOSED AREA OF MONUMENT SIGN = 36 SF

**A TYPICAL MONUMENT SIGN DETAIL**  
NOT TO SCALE

- NOTES:
- 1) DEPICTED SIGNAGE WILL BE PRESENT ON BOTH SIDES OF MONUMENT SIGN.
  - 2) INTERNALLY ILLUMINATED MONUMENT SIGN.

**BUILDING SIGNAGE AREA:**

ALLOWABLE BUILDING SIGNAGE AREA:  
A TOTAL LIMIT OF TWO SF OF SIGN AREA IS PERMITTED FOR EACH LINEAR FOOT OF COMMERCIAL BUILDING FRONTAGE

BUILDING FRONTAGE	100 LF
ALLOWABLE SIGN AREA	200 SF
TOTAL PROPOSED SIGN AREA	162 SF

PROPOSED BUILDING SIGNAGE AREA:

- ALONG BUILDING:
 

FRONT ELEVATION SIGN SF:	47.5 SF
SIDE ELEVATION SF:	47.5 SF
- ALONG CANOPY:
 

BP HELIOS SIGNAGE SF (QTY 3):	40.5 SF
TOTAL BUILDING SIGNAGE SF	135.55 SF

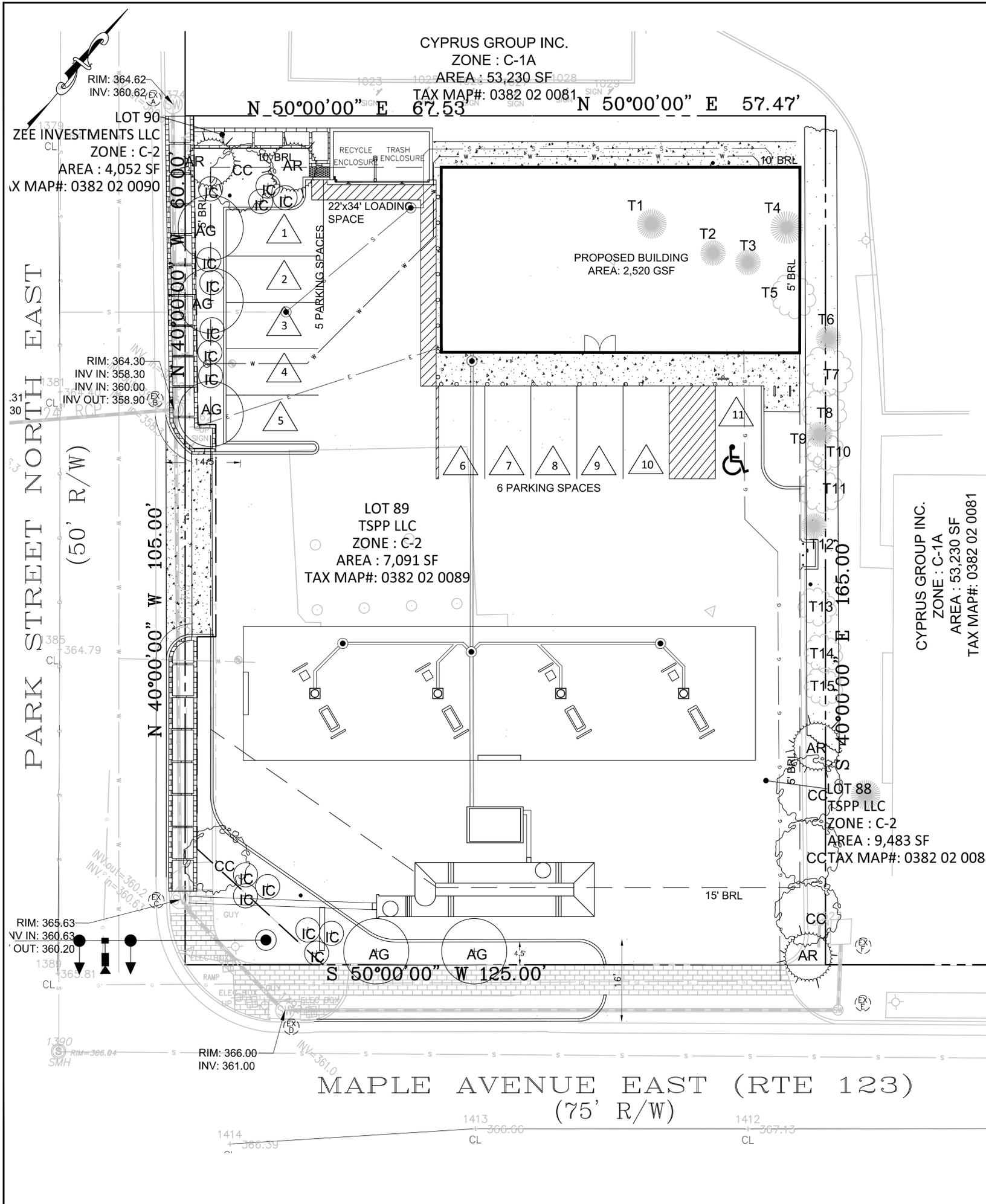
**FREETSTANDING SIGNAGE AREA:**

ALLOWABLE BUILDING SIGNAGE AREA:  
ONE FREESTANDING SIGN NOT TO EXCEED 36 SF

PROPOSED FREE STANDING AREA:  
TOTAL PROPOSED SIGNAGE : 36 SF



**SITE PLAN**



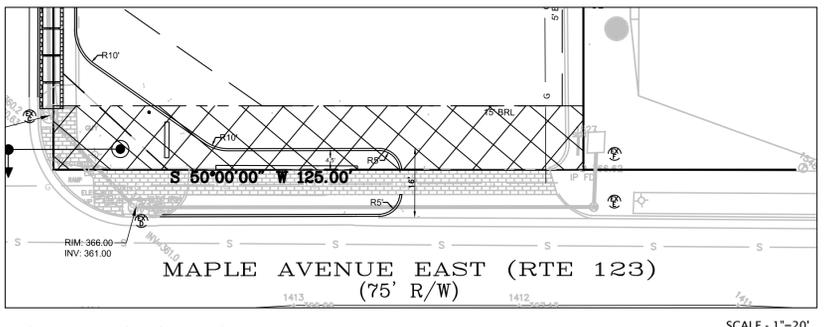
**EXISTING PLANTS SCHEDULE**

ID. NUM	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER SIZE-INCHES	CONDITION / NOTES
T1	1	PINUS STROBUS	EASTERN WHITE PINE	11	MODERATE/ STORM DAMAGE/ VINE COVERED
T2	1	PINUS STROBUS	EASTERN WHITE PINE	9	MODERATE/VINE COVERED
T3	1	PINUS STROBUS	EASTERN WHITE PINE	10	MODERATE/VINE COVERED
T4	1	PINUS STROBUS	EASTERN WHITE PINE	16	MODERATE/VINE COVERED
T5	1	PINUS STROBUS	EASTERN WHITE PINE	16	MODERATE/VINE COVERED
T6	1	PINUS STROBUS	EASTERN WHITE PINE	9	HEALTHY
T7	1	ACER RUBRUM	RED MAPLE	15	HEALTHY
T8	1	ACER RUBRUM	RED MAPLE	11	HEALTHY
T9	1	PINUS STROBUS	EASTERN WHITE PINE	9	HEALTHY
T10	1	ACER RUBRUM	RED MAPLE	7	HEALTHY
T11	1	ACER RUBRUM	RED MAPLE	13	HEALTHY
T12	1	PINUS STROBUS	EASTERN WHITE PINE	10	HEALTHY
T13	1	ACER RUBRUM	RED MAPLE	7	HEALTHY
T14	1	ACER RUBRUM	RED MAPLE	11	HEALTHY
T15	1	ACER RUBRUM	RED MAPLE	11	HEALTHY

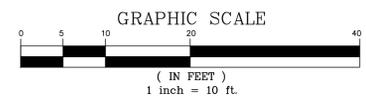
**NEW PLANTING SCHEDULE**

CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	10-YR CANOPY ft <sup>2</sup>	TOTAL CANOPY ft <sup>2</sup>
AR	5	ACER RUBRUM	COLUMNAR RED MAPLE	3"	75	375
CC	5	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	3"	125	625
AG	5	ACER GINNALA	AMUR MAPLE	3"	125	625
IC	15	ILEX COMPACTA	COMPACT JAPANESE HOLLY	24"-30" TALL		
					TOTAL PROVIDED	1,625

**20 YEAR TREE CANOPY CALCULATIONS**  
 AREA OF THE SITE = 20,626 SF  
 EXISTING TREE COVER = 4,294 SF  
 EXISTING TREE COVER TO REMAIN = 480 SF  
 PERCENTAGE TREE CANOPY REQUIRED = 10%  
 AREA OF TREE CANOPY REQUIRED = 2,063 SF  
 AREA OF TREE CANOPY PROVIDED = 480 + 1,625 = 2,105 SF



**FRONT YARD CALCULATION**  
 TOTAL FRONT YARD = 1,861 SF  
 25% OF THE TOTAL FRONT YARD = 465 SF  
 OPEN SPACE REQUIRED IN FRONT YARD = 465 SF  
 OPEN SPACE PROVIDED IN FRONT YARD = 742 SF



CIVIL ENGINEERS:



8565D SUDLEY ROAD.  
 MANASSAS, VA 20110  
 Phone: (571) 249-3448  
 Fax : (703) 940-2280  
 www.plan-source.com  
 bprakash@plan-source.com



No.	DATE:	REVISIONS
1.	04/02/18	Planning Commission meeting Plan set
2.	05/04/18	Town Council meeting Plan set
3.	06/09/18	Board of Architectural Review

No.	DATE:

**PROJECT INFORMATION:**  
 200 MAPLE AVE E  
 VIENNA, VA 22180

**OWNER'S NAME:**  
 TSPP LLC,  
 ZEE INVESTMENTS LLC  
 43083 JOHN MOSBY HWY  
 CHANTILLY, VA 20152

**DEVELOPER INFORMATION:**  
 CAPITOL PETROLEUM GROUP  
 6820 COMMERCIAL DRIVE  
 SPRING FIELD, VA 22151

**DRAWING TITLE:**  
 LANDSCAPE PLAN

**AREA:** 20,626 SF (COMBINED)

**SCALE:** 1"=10'

**PROJECT MANAGER:**  
 BP

**DRAWN BY:** PR  
**DATE:** JUNE 2018

**CHECKED BY:** DA  
**TAX MAP#:** 0382 02 0088  
 0382 02 0089  
 0382 02 0090

**DRAWING NO.**  
 04

THIS DESIGN IS COPYRIGHTED AND DRAWING NO. PROTECTED UNDER THE LAWS OF THE UNITED STATES OF AMERICA. ANY UNAUTHORIZED USE OF THE DOCUMENT WITHOUT WRITTEN CONSENT OF THE PLAN SOURCE, INC. IS PROHIBITED.

