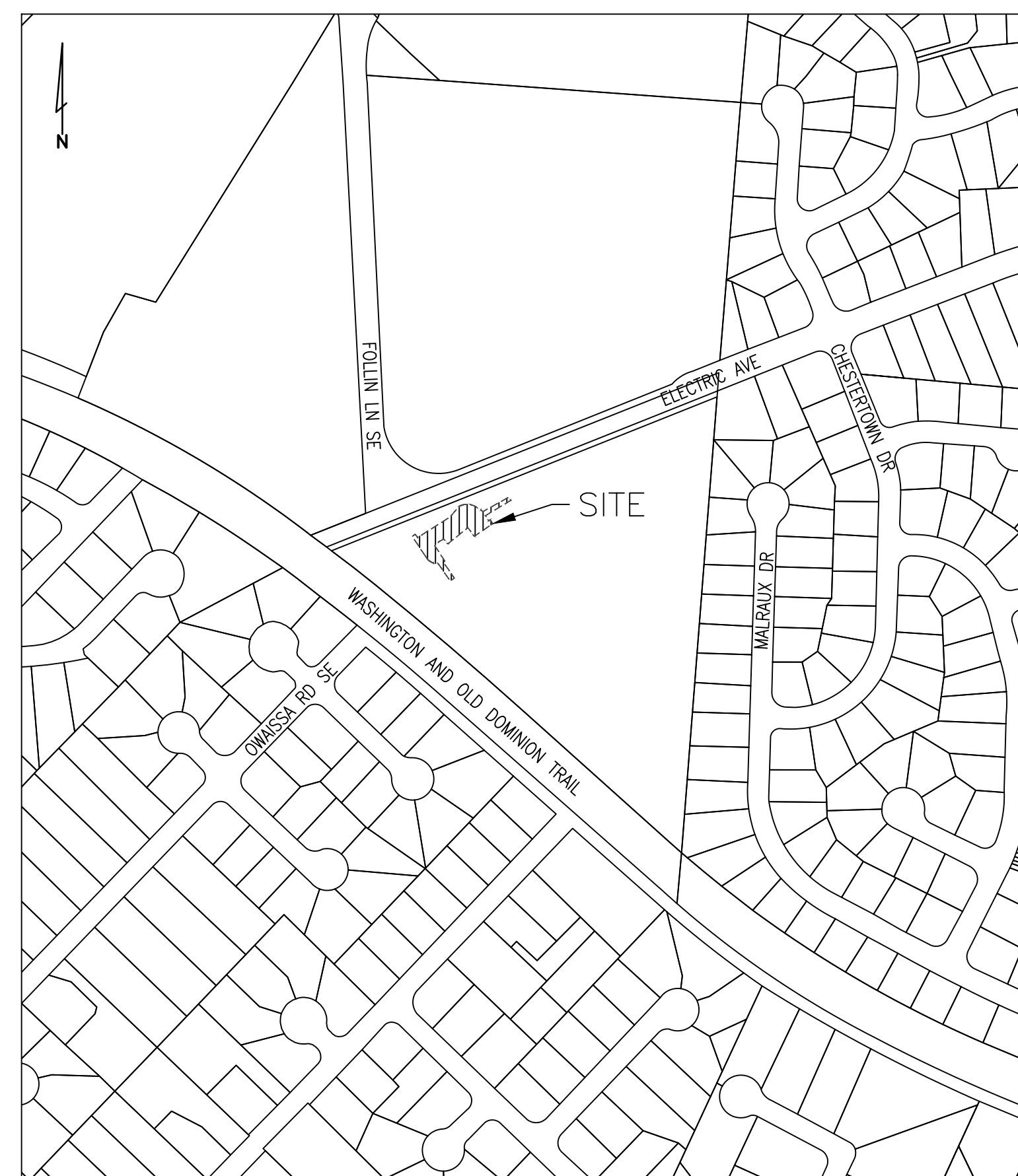


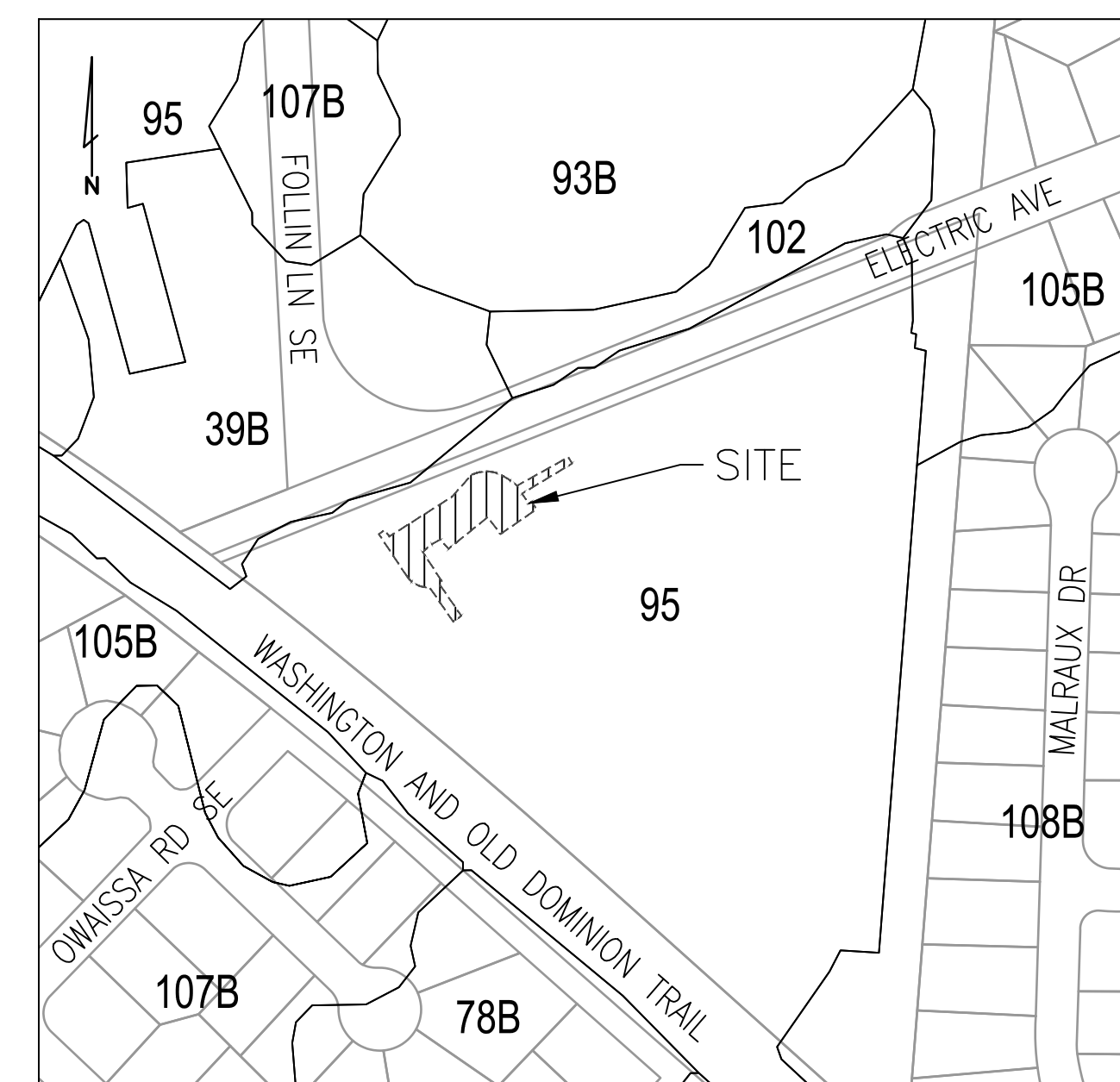
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# Town of Vienna, Virginia

VICINITY MAP  
SCALE 1"=300'



SOILS MAP  
SCALE 1"=200'



SOIL ID NUMBERS	SOIL SERIES NAME	FOUNDATION SUPPORT	SOIL DRAINAGE	EROSION POTENTIAL	PROBLEM CLASS
39B	GLENELG SILT LOAM	GOOD	GOOD	HIGH	I
95	URBAN LAND	N/A	N/A	N/A	IVB
102	WHEATON LOAM	GOOD	FAIR	HIGH	IVB

IS THE SITE LOCATED ON NATURALLY OCCURRING ASBESTOS (NOA) SOIL?  
YES ☐ NO ☒

(SOIL INFORMATION PER FAIRFAX COUNTY MAPPING)

ZONING TABULATION:

SITE AREA: 469,047 SF OR 10.77 AC  
ZONING: CORPORATE PARK DISTRICT (CP)  
EXISTING USE: PROFESSIONAL OFFICE

<u>ZONING REQUIREMENTS</u>	<u>REQUIRED</u>	<u>EXISTING</u>
MAXIMUM BUILDING HEIGHT:	45 FT	44.88 FT
MINIMUM YARD REQUIREMENTS :		
FRONT-	50 FT	124.21 FT
SIDE-	50 FT	104.19 FT
REAR-	50 FT	107.26 FT
MAXIMUM OPEN SPACE:	30% MIN	24.9%

PARKING TABULATION:

PARKING REQUIRED:

OFFICE: 234,391 SF  
RATE: 1SP/200 SF  
(BASED ON TOWN OF VIENNA CODE 18-130 C,H)  
 $234,291 / 200 = 1,172 \text{ SP}$

TOTAL PARKING REQUIRED:	1,172 SP
TOTAL PARKING PROVIDED:	
PRE-DEVELOPMENT:	1,184 SP
POST-DEVELOPMENT:	1,180 SP
H/C PARKING:	
REQUIRED:	22 SP INCLUDING 3 VAN
PROVIDED:	22 SP INCLUDING 6 VAN

OWNER INFORMATION:

TAX MAP #: 0393 ((2)) 3C  
SITE ADDRESS 1007 ELECTRIC AVE  
VIENNA, VA 22180

OWNER: NAVY FEDERAL CREDIT UNION  
DB 24392 PG 0503

SHEET INDEX

[illegible]

**NAVY FEDERAL  
CREDIT UNION  
HQ2 ATM ADDITION**

1007 ELECTRIC AVE  
VIENNA, VA 22180



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Dewberry Engineers Inc.  
8401 Arlington Boulevard  
Fairfax, VA 22031  
703 698 9440 Phone  
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[illegible]

COVER SHEET

JECT NO:	ISSUE DATE:
50184423	25.04.28
OWN BY:	CHECKED BY:

ET NUMBER:

C-001



ABBREVIATIONS

A	AASHTO	AREA OR ARC AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	M	M	MONUMENT FOUND
AC	ACRE		MECH	MECH	MECHANICAL
ACC	ACCESS DOOR		MI	MI	MILE
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE		MS	MS	MEDIAN STRIP
ARCH	ARCHITECTURAL		MSL	MSL	MEAN SEA LEVEL
ASPH	ASPHALT		MIN	MIN	MINIMUM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS		MAX	MAX	MAXIMUM
B	BB	BOTTOM OF LINE	N	N/F	NOW OR FORMERLY
BC	BOTTOM OF CURB		NFA	NFA	NET FLOOR AREA
BF	BASEMENT FLOOR		#	#	NUMBER
BLD	BUILDING		NBL	NBL	NORTH BOUND LANE
BLDG	BUILDING				
BM	BENCHMARK				
BOV	BLOW OFF VALVE				
BRK	BRICK				
BRL	BUILDING RESTRICTION LINE				
BW	BOTTOM OF WALL				
C	C	COEFFICIENT OF RUNOFF			
CATV	CABLE TELEVISION				
CC	CENTER TO CENTER				
CFS (Q)	CUBIC FEET PER SECOND				
CH	CHORD				
CG	CURB AND GUTTER				
CIP	CAST IRON PIPE				
C	CENTERLINE				
CON	CONCRETE PAD				
CONC	CONCRETE				
CO	CLEAN OUT				
CONT.	CONTINUATION				
CS	CURB STOP				
CSP	CONCRETE STOOP				
CSW	CONCRETE SIDEWALK				
CT	COURT				
CN	(RUNOFF) CURVE NUMBER				
D	d	DEPTH			
DA	DRAINAGE AREA				
DB	DEED BOOK				
DETL	DETAIL				
DI	DROP INLET				
DIP	DUCTILE IRON PIPE				
DOM	DOMESTIC				
DR	DRIVE				
DTL	DETAIL				
DWA	ASPHALT DRIVEWAY				
DWC	CONCRETE APRON				
DWG	DRAWING				
D/W	DRIVE WAY				
△	DELTA				
E	E	RATE OF SUPERELEVATION IN FEET PER FOOT			
EC	EROSION CONTROL				
ESMT	EASEMENT				
EG	EDGE OF GUTTER				
ELEV	ELEVATION				
EP	EDGE OF PAVEMENT				
ES	END SECTION				
EW	END WALL				
EX	EXISTING				
EXIST	EXISTING				
ELEC	ELECTRICAL				
EBL	EAST BOUND LANE				
F	F	FIRE LINE			
FAR	FLOOR AREA RATIO				
FC	FACE OF CURB				
FDC	FIRE DEPARTMENT CONNECTION (SWAMESE)				
FW	FAIRFAX WATER				
FF	FIRST FLOOR				
FFE	FINISHED FLOOR ELEVATION				
FG	FINISHED GRADE				
FH	FIRE HYDRANT				
FP	FLOOD PLAIN				
FCPA	FAIRFAX COUNTY PARK AUTHORITY				
FOY	FOYER				
FPS	FEET PER SECOND				
FT	FEET				
G	G	GAS			
GF	GARAGE FLOOR				
GFA	GROSS FLOOR AREA				
Gr.	GRADE				
GR	GUARD RAIL				
H	HC	HANDICAPPED PARKING SPACE			
HGL	HYDRAULIC GRADE LINE				
HP	HIGH POINT				
HR	HAND RAIL				
HT	HEIGHT				
I	I	RAINFALL INTENSITY			
ID	INCH				
IN	INCH				
INV	INVERT				
IP	IRON PIPE				
IPF	IRON PIPE FOUND				
IPS	IRON PIPE SET				
J	JB	JUNCTION BOX			
K	K	SIGHT DISTANCE COEFFICIENT			
L	L	LENGTH			
LAT	LATERAL				
LL	LOWER LEVEL				
LP	LOW POINT				
LS	LOADING SPACE				
LCG	LIMITS OF CLEARING & GRADING				

LEGEND

ADDITIONAL LEGEND INFORMATION PROVIDED ON APPLICABLE SHEETS

PROPOSED IMPROVEMENTS BY OTHERS	---
EXISTING INTERMEDIATE CONTOUR	---86---
EXISTING CONTOUR INDEX	---200---
PROPOSED CONTOUR	---86---
EXISTING EDGE OF PAVEMENT	EX. E.P.
PROPOSED EDGE OF PAVEMENT	PROP. E.P.
PROPOSED HEADER CURB	---
EXISTING CURB	---
PROPOSED CURB & GUTTER	CG-6
PROPOSED CG-6	CG-6 CG-6R
TRANSITION FROM CG-6 TO CG-6R	CG-6 CG-6R
EXISTING WATERLINE W/TEE	W W
PROPOSED WATERLINE W/TEE	W W
EXISTING TELEPHONE LINE	T T
PROPOSED TELEPHONE LINE	T T
EXISTING STORM SEWER	EX. 15" RCP
PROPOSED STORM SEWER	15" RCP
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING ELECTRIC SERVICE	E E
PROPOSED ELECTRIC SERVICE	E E
EXISTING GAS LINE	G G
PROPOSED GAS LINE	G G
PROPERTY LINE	---
EASEMENT LINE	---
CENTER LINE	10+00 11+00
LIMITS OF CLEARING & GRADING	±12.0
EXISTING SPOT ELEVATIONS	+12.0
PROPOSED SPOT ELEVATION	+12.0
EXISTING TREE LINE	12" DIM.
EXISTING TREE W/TRUNK DIAMETER	12" DIM.
EXISTING TREE W/DRIPLINE	12" DIM.
PROPOSED TREE	+
FLOW LINE OF SWALE	→ →
FENCE LINE	0 0 0
EXISTING UTILITY POLE	0
PROPOSED UTILITY POLE	0
EXISTING FIRE HYDRANT	0 0
PROPOSED FIRE HYDRANT	0 0
EXISTING WATER VALVE	W W
PROPOSED WATER VALVE	W W
WATER METER (SINGLE & DOUBLE)	0 0
STREET SIGN (SEE SIGNAGE PLAN)	9
PARKING INDICATOR INDICATES THE NUMBER OF PARKING SPACES	9
TEST PIT	+
EXISTING STREET LIGHT	+
PROPOSED STREET LIGHT	+
PROPOSED TRAFFIC SIGNAL (APPROX. LOCATIONS)	+

GENERAL NOTES

ADDITIONAL DESIGN AND CONSTRUCTION NOTES ARE PROVIDED IN APPLICABLE SECTIONS.

- ALL CONSTRUCTION SHALL CONFORM TO TOWN OF VIENNA AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED TO, ENVIRONMENTAL PROTECTION AGENCY (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT, NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHAPS), AND NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEALTH (NIOSH).
- WHEN DURING THE COURSE OF CONSTRUCTION, ANY OBJECT OF AN UNUSUAL NATURE IS ENCOUNTERED, THE CONTRACTOR SHALL CEASE WORK IN THAT AREA AND IMMEDIATELY NOTIFY THE PROPER AUTHORITY, TOWN OF VIENNA AND/OR THE ARCHITECT/ENGINEER.
- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN IN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
- ALL UTILITIES WHICH WILL BE PLACED UNDER EXISTING PUBLIC STREETS SHALL BE BORED OR JACKED, UNLESS PERMISSION TO OPEN CUT IS OBTAINED FROM VDOT.
- CONTROLLED FILLS MUST BE COMPACTED TO 95% AS DETERMINED PER STANDARD PROCTOR AASHTO T-99 OR ASTM D 698. DENSITY MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER AND THE RESULTS SUBMITTED TO TOWN OF VIENNA PRIOR TO FOOTING CONSTRUCTION.
- ALL FILL SOILS UNDER EXPANDED PAVED AREAS SHALL BE COMPACTED TO 95% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM SPECIFICATION D-698 STANDARD PROCTOR METHOD, WITHIN + OR - 2% OF OPTIMUM MOISTURE FOR THE FULL WIDTH OF ANY DEDICATED RIGHT-OF-WAY AND ALL PARKING LOTS, PRIVATE STREETS, PARKING BAYS, CURB AND GUTTER, AND SIDEWALKS ADJACENT TO STREETS AND PARKING LOTS (NOT INTENDED TO INCLUDE LEADWALKS), WITH UPPER 1.0 FT. COMPACTED TO 100% OF THE MAXIMUM DRY DENSITY PER ASTM D-698.
- ALL STREET CUT AND PATCH WORK IN PUBLIC RIGHT-OF-WAY REQUIRED FOR UTILITIES INSTALLATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH TOWN OF VIENNA AND VDOT STANDARDS AND SPECIFICATIONS.
- A SMOOTH GRADE SHALL BE MAINTAINED FROM EDGE OF PAVEMENT OF EXISTING ROAD TO PROPOSED CURB AND GUTTER AND/OR PROPOSED PAVEMENT TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR THE PONDING OF ANY WATER ON THE ROADWAY. REMOVE AND RECONSTRUCT EXISTING PAVEMENT AND/OR CURB AS DICTATED BY FIELD CONDITIONS TO PROVIDE POSITIVE DRAINAGE AT TIE-IN POINTS.
- PROPOSED SIDEWALKS MUST BE CONSTRUCTED WITH U3 UNDERDRAINS WHEN LONGITUDINAL GRADES ARE 3% OR GREATER UNLESS SOIL TEST CONFIRM THAT THEY ARE NOT NEEDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION (APPLIES TO SIDEWALK IN RIGHT-OF-WAY ONLY).
- THE DEVELOPER WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STREET AND UTILITIES WHICH OCCURS AS A RESULT OF HIS CONSTRUCTION PROJECT WITHIN OR CONTIGUOUS TO THE EXISTING RIGHT-OF-WAY.
- COMPACTION OF BACKFILL IN UTILITY TRENCHES SHALL BE IN ACCORDANCE WITH TOWN OF VIENNA & V.D.O.T. STANDARDS & SPECIFICATIONS.
- TO THE BEST OF OUR KNOWLEDGE THERE ARE NO GRAVE SITES OR BURIAL PLOTS ON THIS PROPERTY.
- THERE ARE NO DOWNSTREAM IMPOUNDMENTS IN THE INFLUENCE AREA OF THE PROPOSED DEVELOPMENT.
- THIS PLAN COMPLIES FULLY WITH THE AMENDED CHESAPEAKE BAY PRESERVATION ORDINANCE PER THE JULY 7, 2003 BOARD POLICY FOR THE TREATMENT OF APPROVED AND PENDING PLANS OF DEVELOPMENT, WITH AN EFFECTIVE DATE OF NOVEMBER 18, 2003 AND WITH REVISIONS ADOPTED BY THE BOARD WITH AN EFFECTIVE DATE OF JULY 12, 2005.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL. THE DEVELOPER SHALL SUBMIT A SIGNING, STRIPING AND/OR SIGNALIZATION PLAN TO THE VDOT LAND DEVELOPMENT SECTION A MINIMUM OF 30 DAYS PRIOR TO PERMIT APPLICATION. THE DEVELOPER SHALL NOT COMMENCE CONSTRUCTION OF ANY PAVEMENT COURSE WITHOUT AN APPROVED STRIPING PLAN.
- ALL RETAINING WALLS 3' AND GREATER IN HEIGHT REQUIRE A SEPARATE BUILDING PERMIT.
- ALL ROOF DRAINS AND NON-STANDARD PIPE WILL BE CONSTRUCTED UNDER A SEPARATE PLUMBING PERMIT PER IBC INTERNATIONAL PLUMBING CODE.
- ALL EXTERIOR LIGHTING FIXTURES PROPOSED WITH THIS PLAN SHALL BE FULL CUT-OFF OR DIRECTIONALLY SHIELDED TYPES.
- ALL ADA ACCESSIBILITY IMPROVEMENTS PROPOSED/SHOWN ON THIS PLAN, INCLUDING BUT NOT LIMITED TO PARKING SPACES, AISLES, ROUTES, AND SLOPES, COMPLY WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE 2012 USBC.

TOWN OF VIENNA GENERAL NOTES

- A PRE-CONSTRUCTION MEETING MUST BE HELD PRIOR TO THE START OF CONSTRUCTION. CALL 703-255-6384 TO SCHEDULE THE PRE-CONSTRUCTION MEETING.
- ALL CONSTRUCTION GENERATED DEBRIS MUST BE HAULED AWAY BY THE CONTRACTOR OR OWNER.
- PRIOR TO THE REMOVAL OF ANY TOWN TREES (TREES WITHIN THE RIGHT OF WAY), THE APPLICANT OR THEIR REPRESENTATIVE SHALL CONTACT THE TOWN OF VIENNA ARBORIST AT 703-255-6360 TO COORDINATE HAVING THE TOWN ARBORIST ONSITE DURING ALL TOWN TREE REMOVAL.
- TREE PROTECTION FOR ANY TOWN TREE, AS SHOWN ON PLAN, MUST BE INSTALLED PRIOR TO ANY SITE WORK.
- IT IS UNLAWFUL TO PERFORM ANY CONSTRUCTION ABOVE FOUNDATION CORNERS PRIOR TO APPROVAL OF SETBACKS. WORK COMPLETED IN VIOLATION OF THIS REQUIREMENT IS SUBJECT TO DEMOLITION.
- ALL DUMPSTERS/PODS ARE TO BE PLACED ON PRIVATE PROPERTY.
- FRONT ELEVATION CHECKS ARE REQUIRED.
- WALL CHECK SURVEYS ARE REQUIRED AND MUST BE SUBMITTED PRIOR TO CONSTRUCTION ABOVE FOUNDATION CORNERS.
- A CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO OCCUPANCY. ALL REQUIRED DOCUMENTATION AND INSPECTIONS MUST BE SUBMITTED/COMPLETED BEFORE THE TOWN OF VIENNA WILL ISSUE A CERTIFICATE OF OCCUPANCY.
- EXISTING SANITARY SEWER LATERALS ARE TYPICALLY CAPPED AT OR NEAR THE PROPERTY LINE. THE REUSE OF THE PORTION OF THE EXISTING SANITARY SEWER LATERAL BETWEEN THE TOWN OWNED SEWER MAIN AND THE CAPPED END MAY BE ALLOWED PROVIDING THAT A LICENSED PLUMBER CERTIFIES THAT THE EXISTING PIECE OF PIPE IS GRADED PROPERLY AND IN LIKE NEW CONDITION. THE REUSE OF A PORTION OF THE EXISTING LATERAL DOES NOT IMPLY THAT THE TOWN IS WARRANTING THE CONDITION IN ANY WAY.

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Suite 350  
Arlington, VA 22201  
T 703.876.9600  
www.asdsky.com

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1007 ELECTRIC AVE  
VIENNA, VA 22180

**Dewberry**  
Dewberry Engineers Inc.  
8401 Arlington Boulevard  
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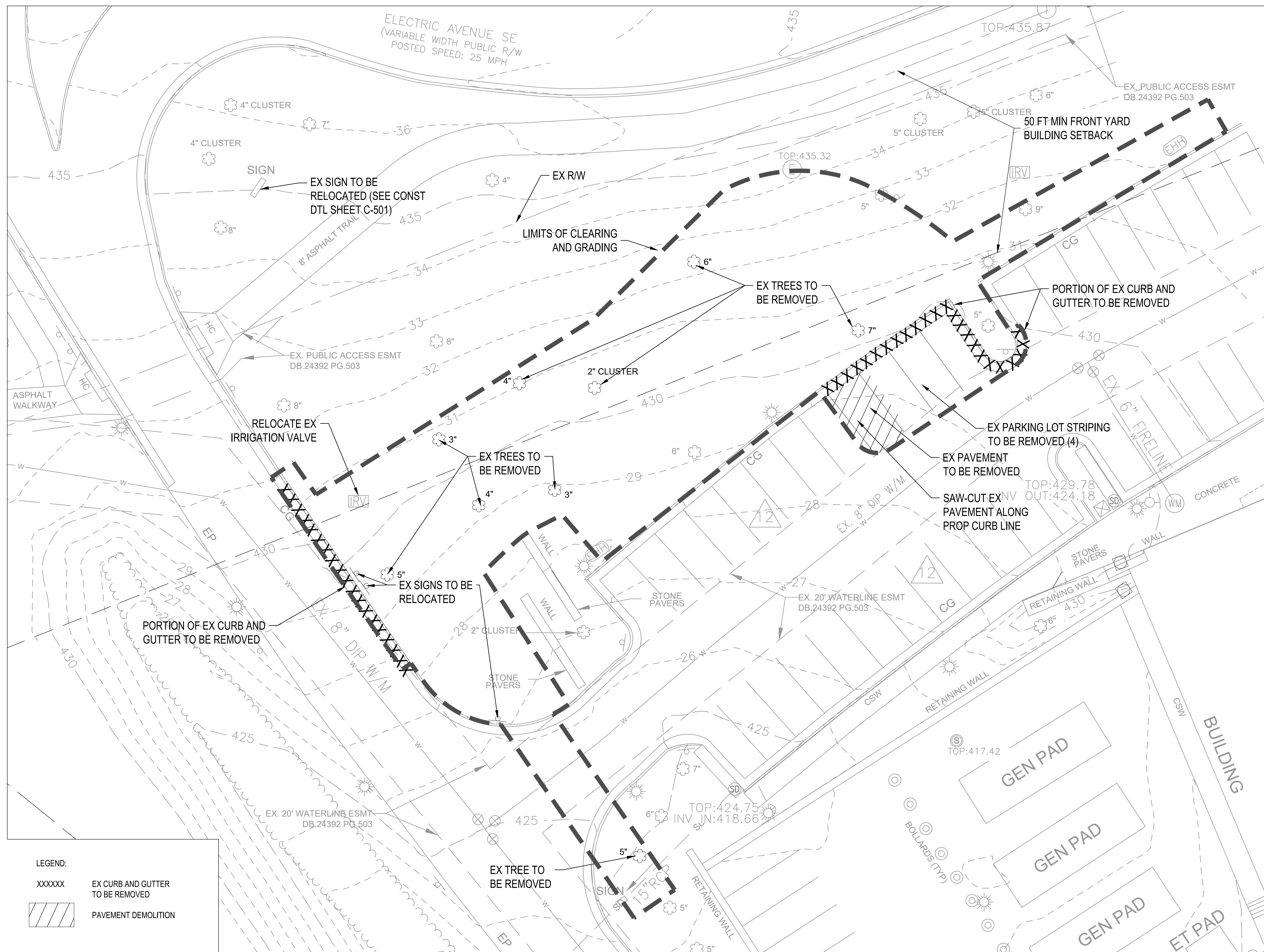
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C-002

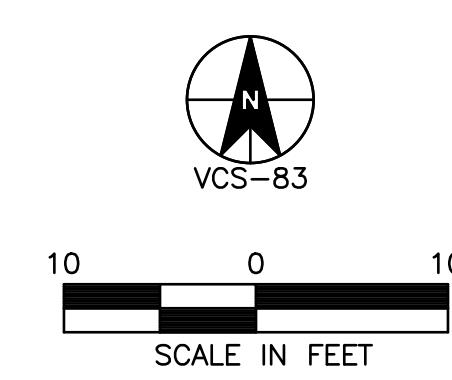








LEGEND:  
XXXXXX EX CURB AND GUTTER TO BE REMOVED  
PAVEMENT DEMOLITION



ASD | SKY

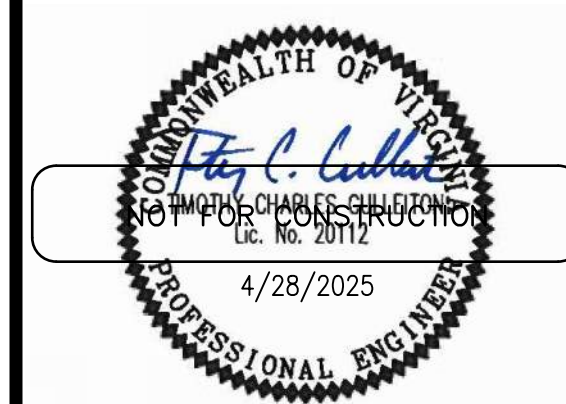
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Associated Space Design, Inc. 2024

REVISIONS	
NO.	REVISIONS
1	TBD
2	1/24/2025
3	DATE: 4/28/2025
4	ISSUED FOR PERMIT AND PRICING
5	REMARKS:

DRAWING TITLE:  
EXISTING CONDITIONS AND DEMO PLAN

PROJECT NO.: 50184423  
ISSUE DATE: 25.04.28  
DRAWN BY:  
CHECKED BY:

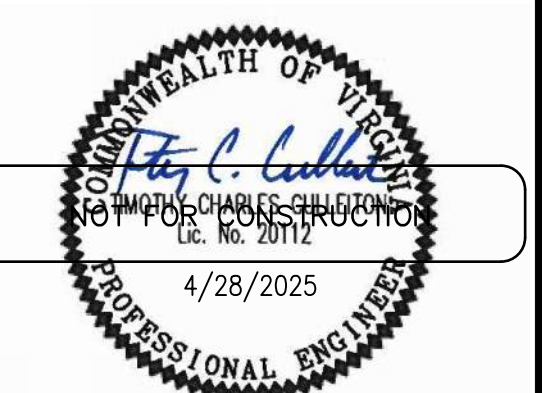
SHEET NUMBER:  
C-101



007 ELECTRIC AVE  
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703 698 9440 Phone  
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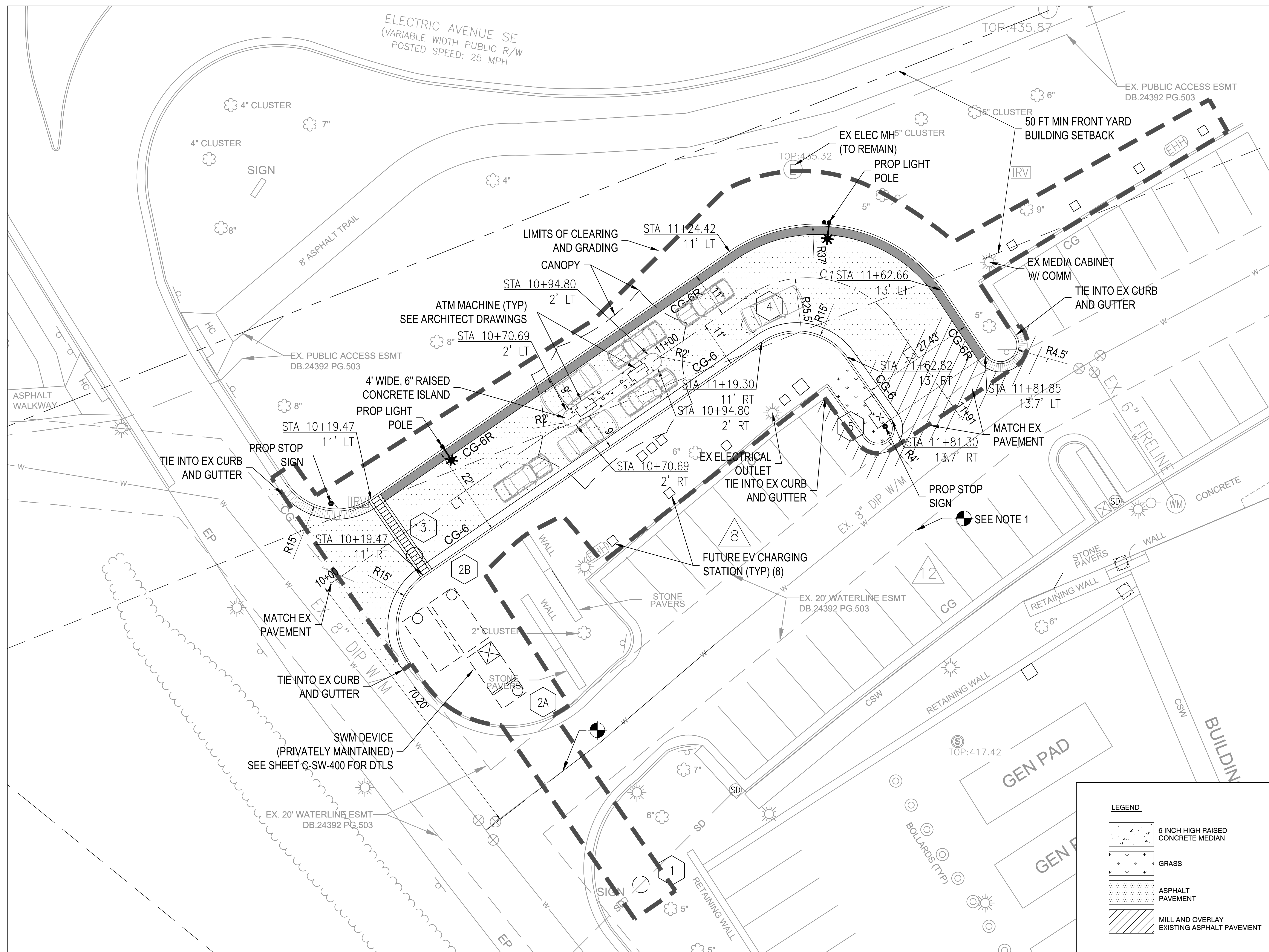
1	TBD	ASI 01
0	1/24/2025	ISSUED FOR PERMIT AND PRICING
NO.	DATE:	REMARKS:
REVISIONS:		

DRAWING TITLE: SITE PLAN

PROJECT NO:	ISSUE DATE:
50184423	25.04.28
DRAWN BY:	CHECKED BY:

SHEET NUMBER:

C-102



NOTE:

1. CONTRACTOR SHALL TEST PIT EXISTING 8-INCH DIP WATERMAIN PRIOR TO INSTALLATION OF ELECTRICAL CONDUIT BY DIRECTIONAL BORE. TARGET FOR DIRECTIONAL BORE 4.5 FEET ABOVE SERVICE YARD SLAB.



PLANTING LEGEND

LAWN

GROUNDCOVER / PERENNIALS

DECORATIVE RIVER STONE

EXISTING TREE (TO REMAIN)

TREE PROTECTION FENCE

CANOPY TREE

UNDERSTORY TREE

SHRUB

GRASS

SEE L-201 FOR ADDITIONAL INFORMATION

NOTES:  
1. ALL INVASIVE PLANTS AND VINES WITHIN TREE-SAVE AREAS SHALL BE CONTROLLED AND REMOVED FROM TREES.

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Suite 350  
Arlington, VA 22201  
T 703.876.9600  
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Associated Space Design, Inc. 2024

NO.	DATE	REVISIONS
1	TBD	ASD 01
0	1/24/2025	ISSUED FOR PRICING AND PERMIT
NO.	DATE	REMARKS

DRAWING TITLE:  
TREE PRESERVATION AND  
LANDSCAPE PLAN

PROJECT NO.:  
50184423

ISSUE DATE:  
25.04.28

DRAWN BY:

CHECKED BY:

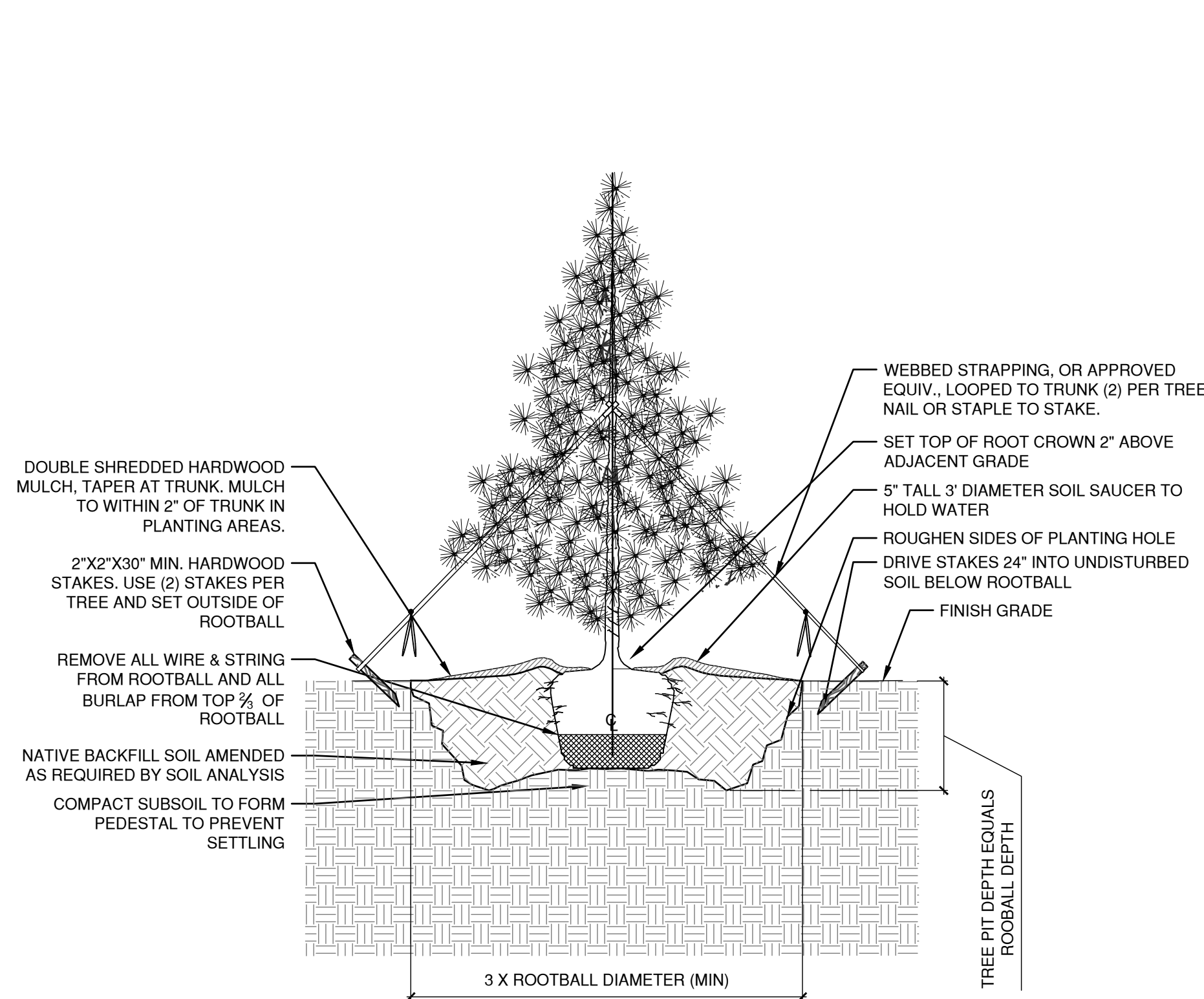
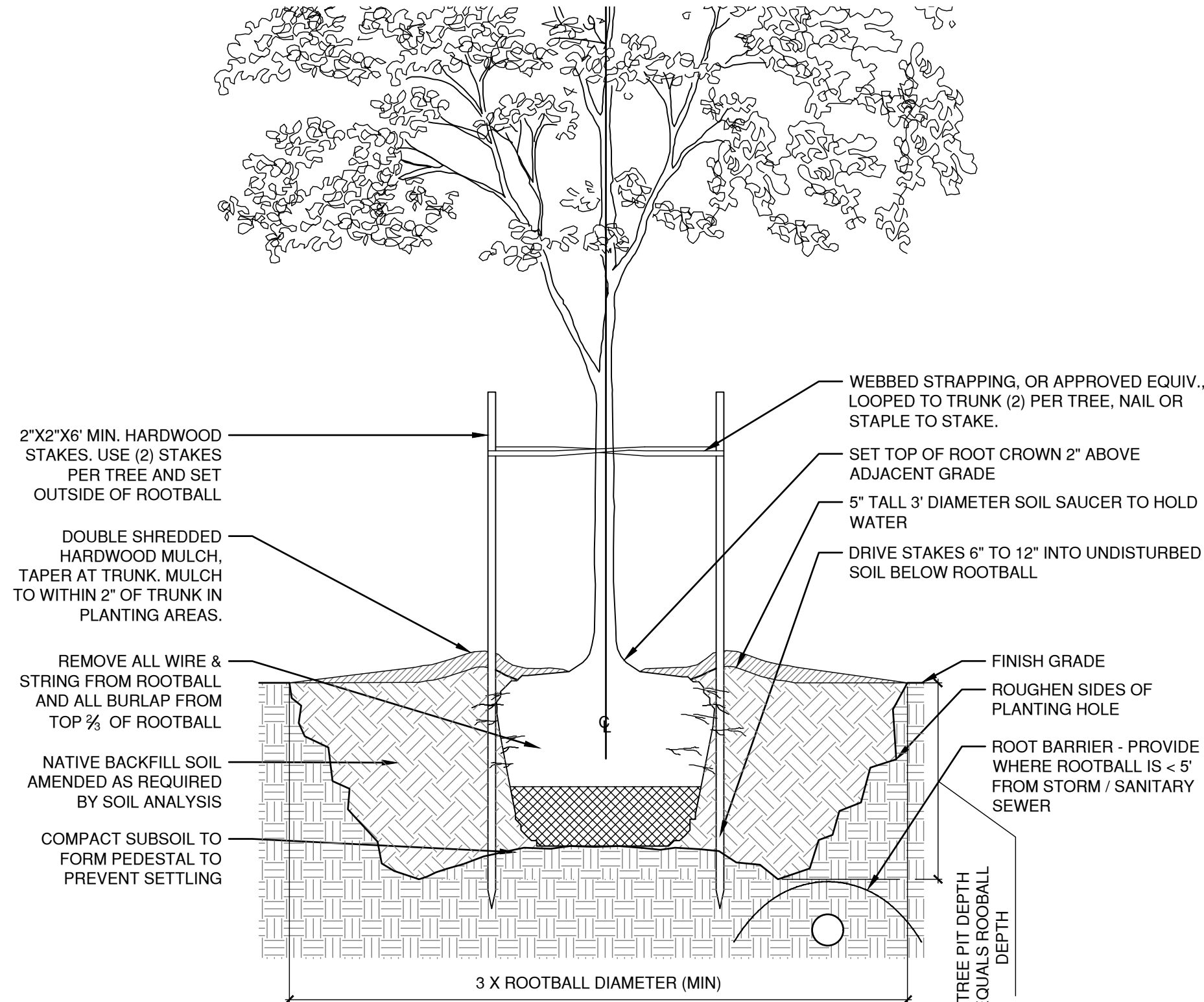
SHEET NUMBER:

L-101



QTY	KEY	LATIN NAME	COMMON NAME	SIZE	ROOT CONDITION	TREE (SF)	PROVIDED (SF)	
<b>Trees</b>								
3	AML	Amelanchier arborea	Downy Serviceberry	2 - 2 1/2" cal.	B&B - 3 STEM	150	450	
3	CRJ	Cryptomeria japonica	Japanese Cryptomeria	8' ht.		B&B	150	
1	INX	Ilex x 'Nellie Stevens'	Nellie Stevens Holly	8' ht.		B&B	200	
1	NSX	Nyssa syhatica	Blackgum	2 - 2 1/2" cal.		B&B	250	
4	QPH	Quercus phellos 'Hightower'	Hightower Willow Oak	2 - 2 1/2" cal.	B&B	300	1,200	
<b>12</b>							<b>2,550</b>	
<b>Shrubs</b>								
8	FMO	Fothergilla major 'Mt Airy'	Mt Airy Fothergilla	3 gal.	Shamrock hollyberry	3 gal.		
41	IGS	Ilex glabra 'Shamrock'	Shamrock hollyberry	3 gal.		3 gal.		
7	PLA	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel	3 gal.				
<b>Perennials and Grasses</b>								
53	NXF	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 gal.	18" o.c.			
19	PVS	Panicum virgatum	Switchgrass	1 gal.				
108	RFG	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-Eyed Susan	1 qt.				
32	SHX	Sporobolus heterolepis	Prairie Dropseed	1 gal.				
<b>Turf 4,110 sf</b>								
		Tall fescue blend						
<b>Decorative Stone 11 sf</b>								
		Earth Tones (grey, brown, blue and red)	Rounded River Stone	5"-8"				

	Acreage	sq. ft.
Site Area	10.77	469,045
Tree Canopy Coverage Required (10%)*	2.15	93,809
Crown Coverage Provided		
Existing (14012 SP, 02.04.2015)	6.98	304,174
Existing Canopy to be Removed	-0.06	-2,400
Proposed	0.06	2,550
Total Canopy Coverage Provided	6.99	304,324



1. THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF/HERSELF WITH THE CONDITIONS OF THE CONTRACT, LOCAL CONDITIONS RELATING TO THE LOCATION, ACCESSIBILITY AND GENERAL CHARACTER OF THE CONSTRUCTION SITE AND LOCAL LABOR CONDITIONS SO THAT HE/SHE UNDERSTANDS THE NATURE, EXTENT, DIFFICULTIES AND RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK.
2. CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL GOVERNMENT ORDINANCES, CODES AND REGULATIONS.
3. CONTRACTOR SHALL VERIFY DIMENSIONS, GRADES, LEVELS, BOUNDARIES AND CONSTRUCTION INDICATED ON CONTRACT DRAWINGS BEFORE PROCEEDING WITH THE WORK AND SHALL IMMEDIATELY BRING ANY DISCREPANCIES TO THE OWNER AND ARCHITECT.
4. ALL MATERIALS SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS.
5. DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
6. DO NOT SCALE DRAWINGS. NUMERICAL DIMENSIONS SUPERSEDE SCALED DIMENSIONS. CONSULT THE ARCHITECT FOR DIMENSIONS NOT INDICATED OR IN ERROR.
7. CONTRACTOR SHALL NOT MAKE OR CAUSE TO BE MADE OR PERMIT A SUBCONTRACTOR TO MAKE ANY CHANGE TO WHAT IS SPECIFIED IN THE CONTRACT DOCUMENTS WITHOUT SPECIFIC AUTHORIZATION OF THE ARCHITECT.
8. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE FOR ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH THE REQUIREMENTS SPECIFIED IN THE OWNER AGREEMENT IS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
9. FOR THE MEANS AND METHODS OF CONSTRUCTION OF THIS PROJECT, CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, METHODS, TECHNIQUES, AND SAFETY PROCEDURES AND FOR COORDINATING ALL PHASES OF WORK.
10. ALL WORK SHALL BE COMPLETED TO AT LEAST THE STANDARDS ESTABLISHED FOR THE INDUSTRY OR TRADE FOR A PARTICULAR ITEM. ANY QUESTIONS RELATED TO QUALITY SHALL BE ADDRESSED TO THE ARCHITECT PRIOR TO THE SUBMISSION OF BIDS OR THE ORDERING, FABRICATION, INSTALLATION OR STORAGE OF THESE ITEMS.

23. THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
24. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE AMOUNT OF SOD OR SEED REQUIRED TO INSTALL LAWN AREAS ACCORDING TO THE LANDSCAPE PLANS. ANY ADDITIONAL SOD OR SEED AREAS ADDED TO THE PLANS DURING THE INSTALLATION PROCESS SHALL BE PROVIDED BY THE CONTRACTOR AT A MUTUALLY AGREED UPON SQ. FT. UNIT COST. AREAS TO BE SODDED OR SEEDED SHALL BE AMENDED PER SOILS REPORT TO PROVIDE REQUIRED NUTRIENTS AND SOIL PH OF BETWEEN 6.0 AND 7.0.
25. ALL LAWN AREAS WITHIN THE PROJECT'S BOUNDARY SHALL BE SODDED OR SEEDDED WITH A SUN/SHADE SOD OR SEED MIX AS FOLLOWS:
  - a. SHADOW/SHADE
    - SIMMONS CREEPING REED FESCUE 24.73%
    - VIKING HIO HARD FESCUE 24.19%
    - AMBROSE CHEWINGS FESCUE 23.23%
    - PALMER III PERENNIAL RYEGRASS 22.96%
  - b. SUN
    - TALKUMYR I G 1 S TALL FESCUE 34.59%
    - VALKYRIE I S TALL FESCUE 34.48%
    - DYNAMITE G 1 S 29.40%
26. TOPSOIL FOR LAWN AREAS SHALL BE RAKED SMOOTH TO FINISH GRADE, STABILIZED AND FREE OF RUTS, MOUNDS, RIDGES AND STONES / DEBRIS GREATER THAN 1 INCH.
27. SATISFACTORY TURF:
  - a. SODDED: AT END OF MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE TURF HAS BEEN ESTABLISHED, FREE OF WEEDS, OPEN JOINTS, BARE AREAS, AND SURFACE IRREGULARITIES.
  - b. SEEDDED: AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF TURF HAS BEEN ESTABLISHED, FREE OF WEEDS, SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SQUARE FOOT AREA AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY AND PLUMB CONDITION OF ALL INSTALLED PLANT MATERIALS AND REPLACING ANY DAMAGED PLANT MATERIAL WITH PLANTS OF EQUAL KIND, SIZE AND CONDITION AT NO ADDITIONAL COST TO THE OWNER. NO CHAINS OR CABLES ATTACHED TO THE TRUNK SHALL BE USED WHEN INSTALLING PLANT MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PREVENT PLANTS AND TREES FROM FALLING OR BEING BLOWN OVER, AND TO REPLACE ALL PLANTS WHICH ARE DAMAGED DUE TO INADEQUATE GUYING OR STAKING, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL REMOVE ALL STAKING MATERIALS THE FIRST YEAR OF THE WARRANTY PERIOD AND DISPOSE OFFSITE.
29. ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" LAYER OF MULCH AS SPECIFIED. ALL TREES SHALL HAVE A 3" THICK MULCH RING PLACED AROUND THE BASE OF THE TRUNK. THE LANDSCAPE SCOT SHALL WORK ASPECTS INCLUDING MULCHING AS AN INTEGRAL PART THE PROJECT AND NOT AS A SEPARATE COST

1. LANDSCAPE WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, THE SUPPLYING OF ALL PLANT MATERIALS SPECIFIED, THE FURNISHING OF ALL LABOR, EQUIPMENT, WATER, ELECTRICITY, EQUIPMENT AND ALL MATERIALS CALLED. THE WORK SHALL INCLUDE MAINTAINING OF ALL PLANTS AND PLANTING AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE ARCHITECT AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE.
2. ALL LANDSCAPE WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
3. PERMITTING IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. VERIFICATION OF EXISTING CONDITIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. THIS INCLUDES BUT IS NOT LIMITED TO: SOIL CONDITIONS, UTILITIES (UNDERGROUND AND ABOVE GROUND) EXISTING STRUCTURES, ETC.
5. THE CONTRACTOR SHOULD BE COMPLETELY FAMILIAR WITH LANDSCAPE PLANS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES, POTENTIAL PROBLEMS, ETC. SHOULD BE MADE KNOWN TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
6. ALL REASONABLE SAFEGUARDS ARE TO BE TAKEN IN ORDER TO PROTECT EXISTING STRUCTURES, PAVEMENT, FURNISHINGS, LAWN AND LANDSCAPING. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE THAT OCCURS AS A RESULT OF CONTRACTOR NEGLIGENCE.
7. EXISTING AND PROPOSED DRAINAGE PATTERNS ARE NOT TO BE DISTURBED BY THE CONTRACTOR IN A WAY THAT IS INCONSISTENT WITH THE LANDSCAPE PLANS.
8. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK TO BE PERFORMED WITH THE WORK OF OTHER SUBCONTRACTORS ON THE SITE, INCLUDING SCHEDULING AND PHYSICAL INTERFERING.
9. THE CONTRACTOR MUST CONFIRM THE AVAILABILITY OF ALL SPECIFIED PLANT MATERIAL PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL ARRANGE FOR APPROVAL OF PLANT MATERIALS BY THE ARCHITECT VIA FIELD VISITS/TAGGING AND/OR SUBMISSION OF PHOTOS OF ALL TREES AT THE DISCRETION OF THE ARCHITECT.
10. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE AMERICAN STANDARDS FOR NURSERY STOCK AS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE INC.
11. ALL PLANT MATERIAL SPECIES SPECIFIED ARE MINIMUM SIZES. ALL CONTAINER AND TREE CALIPER SIZES ARE MINIMUM. CONTAINER OR CALIPER SIZE MAY BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.
12. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL AT THE JOB SITE BY THE ARCHITECT PRIOR TO INSTALLATION. WHEN DELIVERED PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS, THE ARCHITECT RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE CONTRACTOR TO REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED AND FOUND TO BE ACCEPTABLE. THE CONTRACTOR SHALL REMOVE REJECTED PLANTS AND MATERIALS FROM THE PLANTING SITE WITHIN 72 HOURS AND REPLACE WITH ACCEPTABLE MATERIALS.
13. NO PLANT SUBSTITUTIONS WILL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT. ANY SUBSTITUTIONS MUST BE SUBMITTED IN WRITING ACCOMPANIED BY PICTURES OR SAMPLES FOR APPROVAL BY THE ARCHITECT PRIOR TO INSTALLATION.
14. ALL SHRUB BEDS SHALL BE TILLED TO MINIMUM DEPTH OF 12".
15. ALL LAWN AREAS SHALL BE TILLED TO A MINIMUM DEPTH OF 6".
16. PLANTING BEDS TO BE SEPARATED FROM LAWN AREAS WITH METAL EDGING (1/8" X 5-1/2" MIN.) AS SPECIFIED OR 4" HIGH. EDGING SHALL BE INSTALLED WITH THE TREE SHALL HAVE A VERTICAL FACE AGAINST THE LAWN AREA, AND A GENTLY TAPERED EDGE LEADING INTO THE SHRUB BED.
17. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SOIL IN ALL PLANTED AREAS IS OF AN APPROPRIATE TYPE AND CONSISTENCY FOR PLANTING AND AT THE CORRECT PH. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING SOIL SUITABILITY, AND ANY NECESSARY AMENDMENTS SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING VEGETATION AS REQUIRED AND PREPARING PLANTING AREAS PRIOR TO INSTALLATION OF PLANT MATERIALS.
19. THE LANDSCAPE CONTRACTOR SHALL TEST THE SITE SOILS TO VERIFY THAT THEY ARE ACCEPTABLE FOR PROPER GROWTH OF PLANT MATERIALS AND ADEQUATE DRAINAGE IN PLANT BEDS AND PLANTERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE LOCATION, AND PROCUREMENT OF EXISTING OR NEW SOILS TO BE TESTED. THE ARCHITECT REPRESENTATIVE SAMPLES SHALL BE SUBMITTED TO A CERTIFIED TESTING LABORATORY FOR ANALYSIS. THE FINDINGS, TOGETHER WITH RECOMMENDATIONS FOR AMENDING THE SOILS SHALL BE REVIEWED AND APPROVED BY THE OWNER AND ARCHITECT PRIOR TO DELIVERY AND INSTALLATION OF PLANT MATERIALS AT THE JOB.
20. THE LANDSCAPE CONTRACTOR SHALL ENSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. VERTICAL DRILLING THROUGH HARDPAN AND COMPACTED FILL SHALL BE ACCOMPLISHED TO ENSURE DRAINAGE.
21. ALL PLANTING BEDS SHALL BE STAKED AND/OR PAINTED BY THE CONTRACTOR FOR APPROVAL BY THE ARCHITECT PRIOR TO PLANT INSTALLATION. TREES SHALL BE LOCATED WITH STAKES OR FLAGS FOR APPROVAL BY THE ARCHITECT PRIOR TO PLANT INSTALLATION.
22. ALL PROPOSED TREES SHALL BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED OUTLINES SHALL NOT BE OBSTRUCTED AND SHALL BE SMOOTH AND FLOWING. IF TREES ARE LOCATED OUTSIDE PLANTING BEDS IN SOO AREAS, MAINTAIN A MINIMUM 3' WIDE OFFSET.

1. THE FOLLOWING TREE PROTECTION PRACTICES ARE TO BE FOLLOWED.
2. A PRE-CONSTRUCTION MEETING WITH THE TOWN OF VIENNA'S URBAN ARBORIST SHALL BE HELD ONSITE SO THAT THE ARBORIST CAN EXPLAIN THE PROTECTION MEASURES TO OPERATORS, CONSTRUCTION SUPERVISORS, AND/OR CONTRACTOR REPRESENTATIVES.
3. CONTRACTOR SHALL STAKE CLEARING LIMITS ONSITE IN ORDER TO FACILITATE LOCATION FOR TRENCING AND FENCING INSTALLATION FOR TREE PROTECTION.
4. NO CLEARING OR GRADING SHALL BEGIN IN AREAS WHERE TREE PRESERVATION MEASURES HAVE NOT BEEN COMPLETED.
5. THE USE OF HEAVY EQUIPMENT IS STRICTLY PROHIBITED WITHIN TREE PRESERVATION AREAS, INCLUDING FOR THE PURPOSE OF REMOVING UNWANTED TREES. STRUCTURES, PADS, ETC. SHALL BE REMOVED BY HAND.
6. THE SEQUENCE FOR TREE PRESERVATION MEASURES, IF REQUIRED, SHALL BE IN THIS ORDER: ROOT PRUNING TRENCING, TREE PROTECTION FENCING, TREE PRUNING AND CHEMICAL TREATMENT, AERATION SYSTEMS INSTALLED. THESE MEASURES SHALL BE DIRECTED INTHE FIELD BY THE CONSTRUCTION SUPERVISOR.
7. TREE PROTECTION FENCING SHALL BE MAINTAINED BY THE CONTRACTOR THROUGH DURATION OF CONSTRUCTION. NO ALTERATION SHALL OCCUR WITHOUT PRIOR APPROVAL BY A TOWN

Diagram illustrating the preparation and planting of a tree rootball:

- DOUBLE SHREDDED HARDWOOD MULCH
- ROUGHEN SIDES OF PLANTING HOLE
- REMOVE ALL WIRE & STRING FROM ROOTBALL AND ALL BURLAP FROM TOP 1/2 OF ROOTBALL
- NATIVE BACKFILL SOIL AMENDED AS REQUIRED BY SOIL ANALYSIS
- SET TOP OF ROOT CROWN 2" ABOVE ADJACENT GRADE
- TALL 3" DIAMETER SOIL SAUCER TO HOLD WATER
- FINISH GRADE
- PREPARE SUBSOIL TO FORM PEDESTAL TO PREVENT SETTLING
- 2 X ROOTBALL DIAMETER (MIN)

Scale: NTS

5

Scale: NTS

5

Scale: NTS

REPRESENTATIVE.

CRITICAL ROOT ZONE SHALL BE DEFINED AS 1.5' RADIUS PER 1" OF DBH (DIAMETER AT BREAST HEIGHT), WHICH SHALL BE MEASURED AT A HEIGHT OF 4.5' FROM HIGHEST POINT OF GROUND AT BASE OF TRUNK.

PROTECTION PROVIDED SHALL CONSIST OF FENCING AROUND THE TREE TO THE DRIP LINE, AND ENCLOSED AREAS SHALL BE KEPT FREE OF ALL SOIL, EQUIPMENT, AND CONSTRUCTION MATERIAL STORAGE, WHICH INCLUDES FINAL GRADING AND LANDSCAPING EFFORTS.

ROOT PRUNING REQUIREMENTS: UNLESS OTHERWISE INSTRUCTED BY THE TOWN'S ARBORISTS, ROOT PRUNING MUST BE PERFORMED WHEN LIMITS OF DISTURBANCE FALL WITHIN CRITICAL ROOT ZONE OF TREES TO BE SAVED. ROOTS SHALL BE PRUNED TO A MINIMUM DEPTH OF 12" AT OR BEFORE THE LIMITS OF DISTURBANCE.

TREES THAT ARE DETERMINED BY THE TOWN ARBORIST TO BE IN "POOR" CONDITION SHALL NOT COUNT TOWARD CANOPY COVERAGE CALCULATIONS.

ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH CURRENT AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 PRUNING STANDARDS. SPIKES SHALL NOT BE USED TO CLIMB LIVE TREES UNLESS THE TREE IS BEING REMOVED.

Diagram illustrating the installation of a tree rootball, showing the following components and instructions:

- DOUBLE SHREDDED HARDWOOD MULCH
- ROUGHEN SIDES OF PLANTING HOLE
- PULL OR WASH POTTING MIX AND ROOT MAT APART TO DIRECT THE CUTTER ROOTS INTO THE ADJACENT SOIL. DO NOT LEAVE CIRCLING ROOTS AGAINST THE ROOTBALL
- NATIVE BACKFILL SOIL, AMENDED AS REQUIRED BY SOIL ANALYSIS
- SET TOP OF ROOT CROWN 2" ABOVE ADJACENT GRADE
- TALL 9" DIAMETER SOIL SAUCER TO HOLD WATER
- FINISH GRADE
- PREPARE SUBSOIL TO FORM PEDESTAL TO PREVENT SETTLING
- 2 X ROOTBALL DIAMETER (MIN)

4

Scale: N.T.

SEE PLANT SCHED.  
FOR SPACING

FINISH GRADE  
DOUBLE SHREDDED HARDWOOD MULCH  
PLANTING SOIL  
SUBGRADE

6

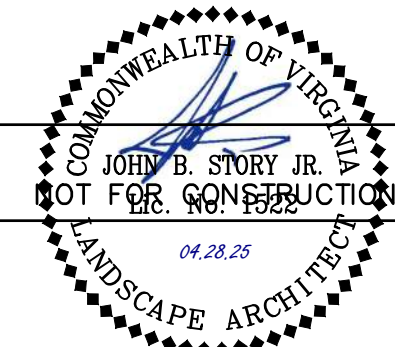
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3030 Clarendon Blvd.  
Suite 350  
Arlington, VA 22201  
T 703.876.9600  
[www.asdsky.com](http://www.asdsky.com)

1007 ELECTRIC AVE  
VIENNA, VA 22180

**Dewberry**  
Dewberry Engineers Inc.  
8401 Arlington Boulevard  
Fairfax, VA 22031  
703 698 9440 Phone  
703 849 4881 Fax

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Associated Space Design, Inc. 2024

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0	1/24/2025	ISSUED FOR PRICING AND PERMIT
NO.	DATE:	REMARKS:
<b>REVISIONS:</b>		

DRAWING TITLE:

LANDSCAPE SCHEDULE &amp; DETAILS

PROJECT NO.: <b>50184423</b>	ISSUE DATE: <b>25.04.28</b>
DRAWN BY:	CHECKED BY:

SHEET NUMBER: