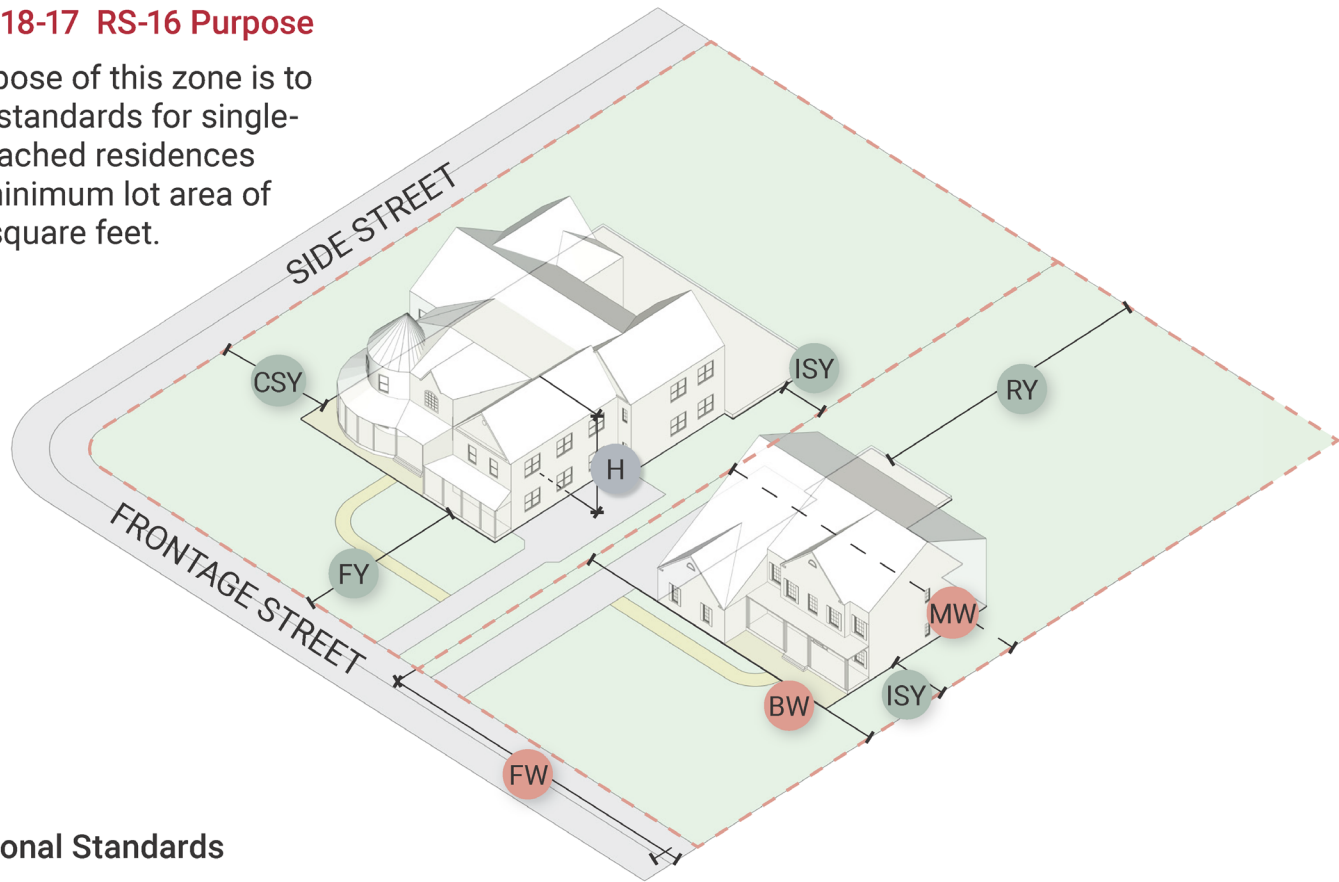


2. RESIDENTIAL - LARGE LOT ZONE (16,000 SQ. FT.) (RS-16)

Section 18-17 RS-16 Purpose

The purpose of this zone is to provide standards for single-unit, detached residences with a minimum lot area of 16,000 square feet.



Dimensional Standards

Principal Structure Count: 1 per lot max.

BUILDABLE LOT DIMENSIONS			BUILDING PLACEMENT STANDARDS		
	Lot Area Per Dwelling Unit	16,000 sq. ft. min.	FY	Front Yard Setback	35 ft. min. from front property line, including after any required dedication
FW	Lot Width at Front Lot Line	50 ft. min.	ISY	Interior Side Yard Setback	Principal dwelling structures: 15 ft. min. All other structures: 30 ft. min.
BW	Lot Width at Front Building Line	65 ft. min.	CSY	Corner Side Yard Setback	25 ft. min.
MW	Lot Width at Midline	90 ft. min.	RY	Rear Yard Setback	35 ft. min.
BUILDING STANDARDS			For accessory structure setbacks, see Article 4.		
H	Building Height	35 ft. max.	Reference to Other Standards Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.		
	Number of Stories	2.5 max.			
RESIDENTIAL COVERAGE					
[RESERVED]					

Permitted Uses

Residential Uses: Single-unit, Detached

Conditional Uses

Public, Institutional, and Community Uses: Adult Day Support Center, Cemetery, Child Care Center, Club or Service Organization, Community Garden, Government Uses, Private Outdoor Recreational Uses, Public Outdoor Parks and Recreational Uses, Public Community Center, Utility Facility

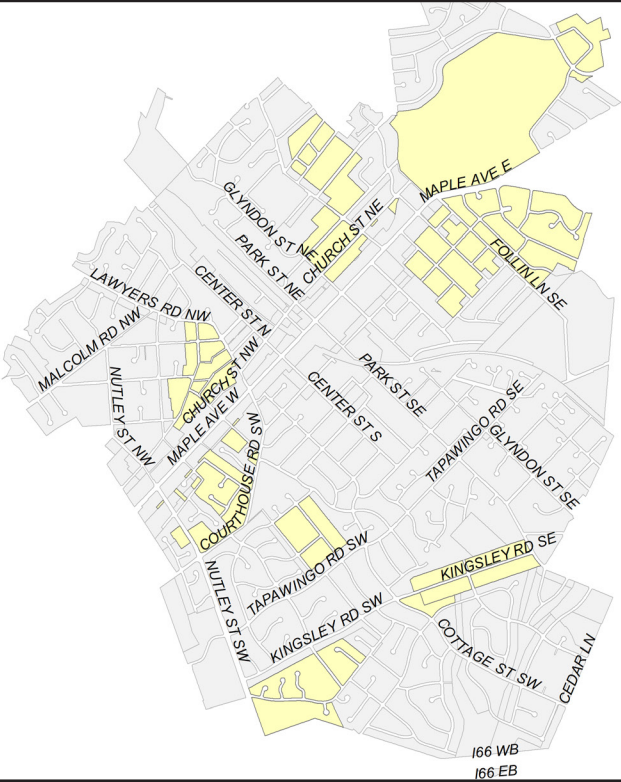
Commercial Uses: General Agriculture

Accessory Uses: Family Day Home 5-12 Children

Special Uses: College or University, Religious Assembly, Private School, Public School

Accessory Uses: Community Garden, Family Day Home 1-4 Children, Home-Based Business, Keeping of Chickens, Keeping of Domestic Animals, Keeping of Honeybees, Stable and Riding for Personal Use, Vehicle Charging Station

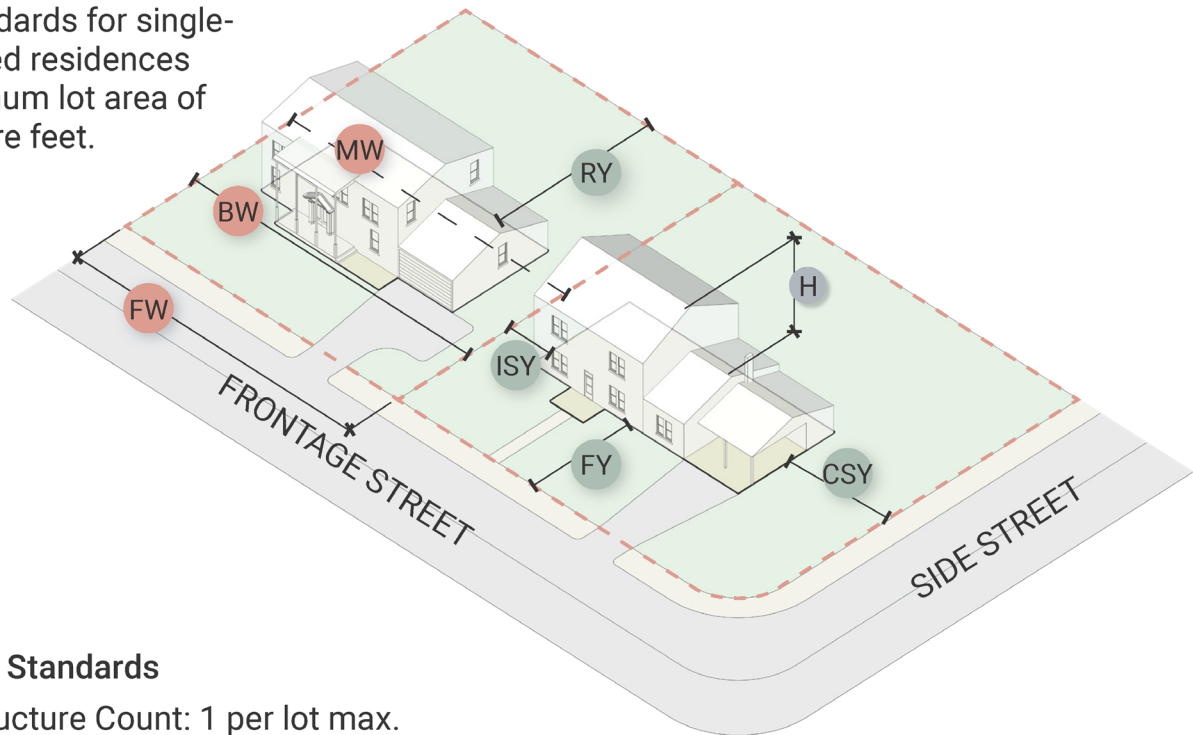
Temporary Uses: Construction Site Office and Storage, Farmers Market, Garage Sale or Yard Sale, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Temporary Family Health Care Structures, Public Use Trailer, Residential Use Trailer



3. RESIDENTIAL - MEDIUM LOT ZONE (12,500 SQ. FT.) (RS-12.5)

Section 18-18 RS-12.5
Purpose

The purpose of this zone is to provide standards for single-unit, detached residences with a minimum lot area of 12,500 square feet.



Dimensional Standards

Principal Structure Count: 1 per lot max.

BUILDABLE LOT DIMENSIONS			BUILDING PLACEMENT STANDARDS		
	Lot Area Per Dwelling Unit	12,500 sq. ft. min.	FY	Front Yard Setback	30 ft. min. from front property line, including after any required dedication
FW	Lot Width at Front Lot Line	50 ft. min.	ISY	Interior Side Yard Setback	Principal dwelling structures: 15 ft. min. All other structures: 30 ft. min.
BW	Lot Width at Front Building Line	65 ft. min.	CSY	Corner Side Yard Setback	25 ft. min.
MW	Lot Width at Midline	80 ft. min.	RY	Rear Yard Setback	35 ft. min.
BUILDING STANDARDS			For accessory structure setbacks, see Article 4.		
H	Building Height	35 ft. max.	Reference to Other Standards Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.		
	Number of Stories	2.5 max.			
RESIDENTIAL COVERAGE		TBD			

Permitted Uses

Residential Uses: Single-unit, Detached

Conditional Uses

Public, Institutional, and Community Uses: Adult Day Support Center, Cemetery, Child Care Center, Club or Service Organization, Community Garden, Government Uses, Private Outdoor Recreational Uses, Public Outdoor Parks and Recreational Uses, Public Community Center, Utility Facility

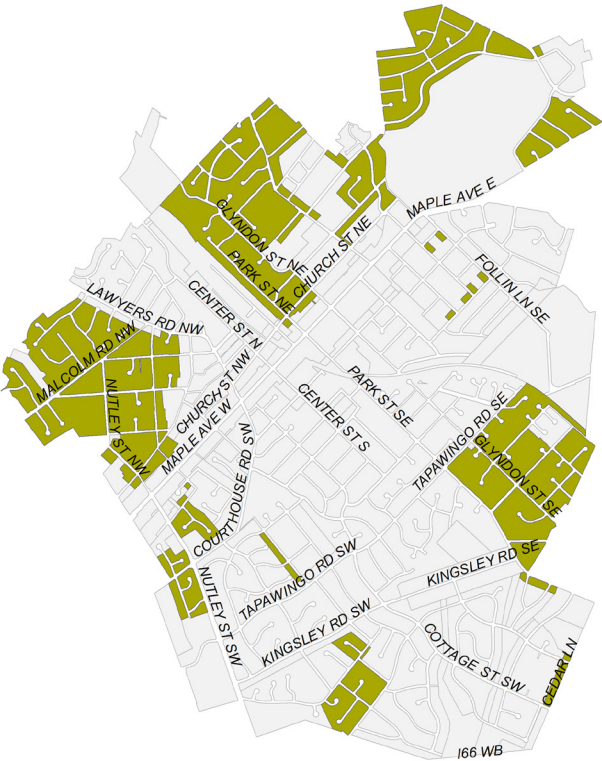
Commercial Uses: General Agriculture

Accessory Uses: Family Day Home 5-12 Children

Special Uses: College or University, Religious Assembly, Private School, Public School

Accessory Uses: Community Garden, Family Day Home 1-4 Children, Home-Based Business, Keeping of Chickens, Keeping of Domestic Animals, Keeping of Honeybees, Stable and Riding for Personal Use, Vehicle Charging Station

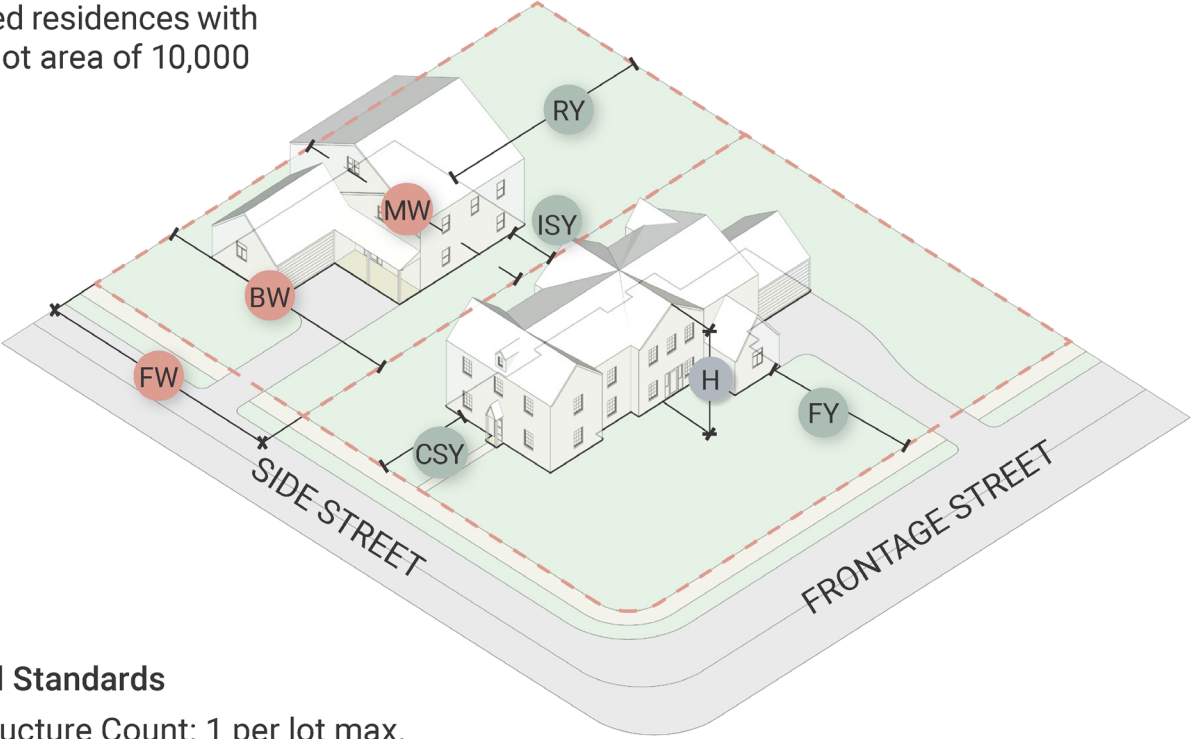
Temporary Uses: Construction Site Office and Storage, Farmers Market, Garage Sale or Yard Sale, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Temporary Family Health Care Structures, Public Use Trailer, Residential Use Trailer



4. RESIDENTIAL - SMALL LOT ZONE (10,000 SQ. FT.) (RS-10)

Section 18-19 RS-10 Purpose

The purpose of this zone is to provide standards for single-unit, detached residences with a minimum lot area of 10,000 square feet.



Dimensional Standards

Principal Structure Count: 1 per lot max.

BUILDABLE LOT DIMENSIONS			BUILDING PLACEMENT STANDARDS		
	Lot Area Per Dwelling Unit	10,000 sq. ft. min.	FY	Front Yard Setback	25 ft. min. from front property line, including after any required dedication
FW	Lot Width at Front Lot Line	45 ft. min.	ISY	Interior Side Yard Setback	Principal dwelling structures: 12 ft. min. All other structures: 30 ft. min.
BW	Lot Width at Front Building Line	60 ft. min.	CSY	Corner Side Yard Setback	25 ft. min.
MW	Lot Width at Midline	75 ft. min.	RY	Rear Yard Setback	Decks: 25 ft. min. All other structures: 35 ft. min.
BUILDING STANDARDS			For accessory structure setbacks, see Article 4.		
H	Building Height	35 ft. max.	Reference to Other Standards Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.		
	Number of Stories	2.5 max.			
RESIDENTIAL COVERAGE		TBD			

Permitted Uses

Residential Uses: Single-unit, Detached

Conditional Uses

Public, Institutional, and Community Uses: Adult Day Support Center, Cemetery, Child Care Center, Club or Service Organization, Community Garden, Government Uses, Private Outdoor Recreational Uses, Public Outdoor Parks and Recreational Uses, Public Community Center, Utility Facility

Commercial Uses: General Agriculture

Accessory Uses: Family Day Home 5-12 Children

Special Uses: College or University, Religious Assembly, Private School, Public School

Accessory Uses: Community Garden, Family Day Home 1-4 Children, Home-Based Business, Keeping of Chickens, Keeping of Domestic Animals, Keeping of Honeybees, Stable and Riding for Personal Use, Vehicle Charging Station

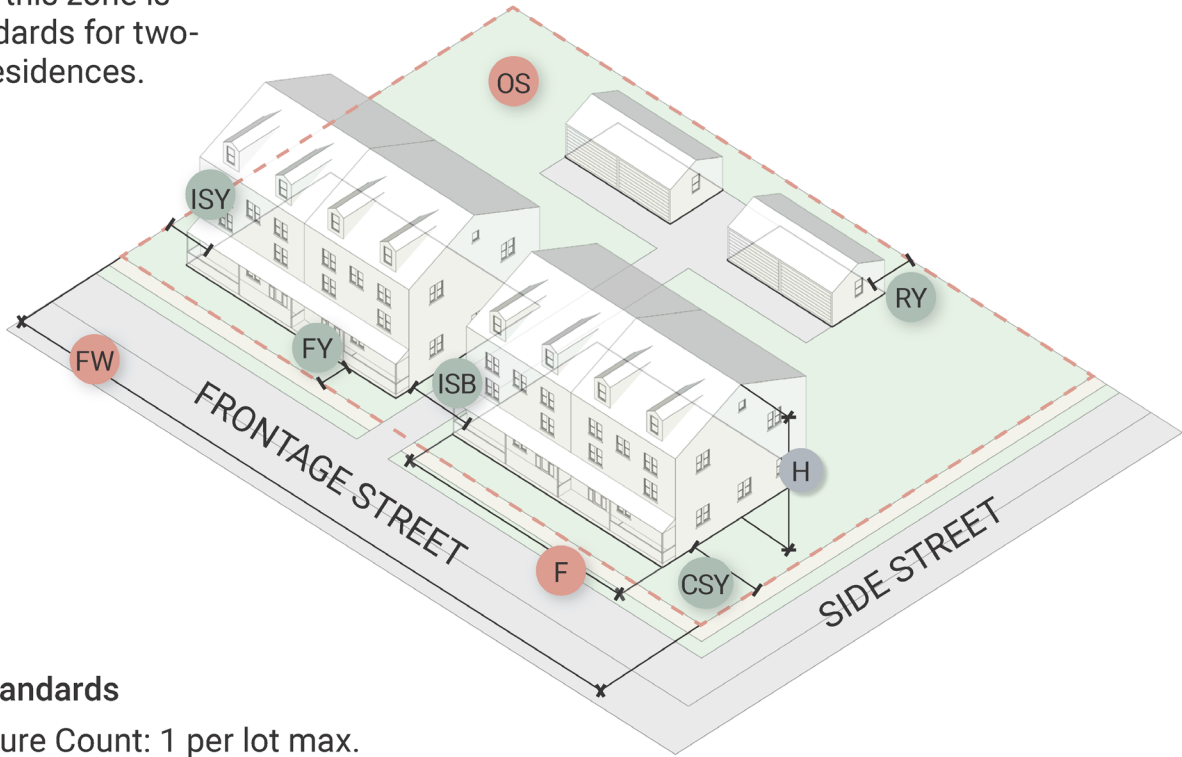
Temporary Uses: Construction Site Office and Storage, Farmers Market, Garage Sale or Yard Sale, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Temporary Family Health Care Structures, Public Use Trailer, Residential Use Trailer



5. A. RESIDENTIAL - MULTI-UNIT ZONE (RMU)
TWO-UNIT ATTACHED DWELLINGS / DUPLEXES

Section 18-20 RMU Purpose

The purpose of this zone is to provide standards for two-unit attached residences.



Dimensional Standards
Principal Structure Count: 1 per lot max.

SITE DEVELOPMENT STANDARDS			BUILDING PLACEMENT STANDARDS		
	Development Site	10,000 sq. ft. min.	FY	Front Yard Setback	20 ft. min. from front property line
F	Development Site Frontage	70 ft. min.	ISY	Interior Side Yard Setback	15 ft. min.
FW	Lot Width at Front Lot Line of Development Site	70 ft. min.	RY	Rear Yard Setback	35 ft. min.
	Units Per Gross Acre	20 max.	CSY	Corner Side Yard Setback	25 ft. min.
	Contiguous Series/ Row of Attached Units	2 max.	ISB	Internal Setbacks Between Buildings on Same Lot	Minimum required by Virginia Uniform Statewide Building Code
OS	Open Space	35% min.	For accessory structure setbacks, see Article 5.		
BUILDING STANDARDS			Reference to Other Standards		
H	Building Height	35 ft. max.	Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.		
	Number of Stories	3 max.			

- Permitted Uses**
- Residential Uses:** Duplexes, Townhouses, Multi-unit, Cottage Court
- Conditional Uses**

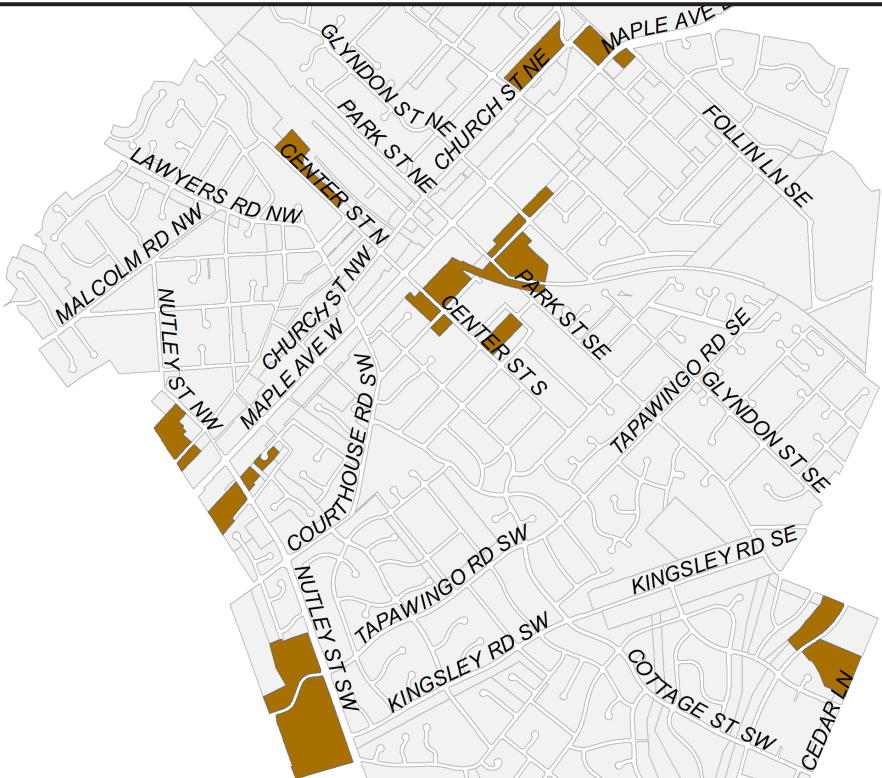
Public, Institutional, and Community Uses: Adult Day Support Center, Cemetery, Child Care Center, Club or Service Organization, Community Garden, Government Uses, Private Outdoor Recreational Uses, Public Outdoor Parks and Recreational Uses, Utility Facility

Accessory Uses: Family Day Home 5-12 Children

Special Uses: College or University, Religious Assembly, Private School, Public School

Accessory Uses: Community Garden, Family Day Home 1-4 Children, Home-Based Business, Keeping of Domestic Animals, Vehicle Charging Station

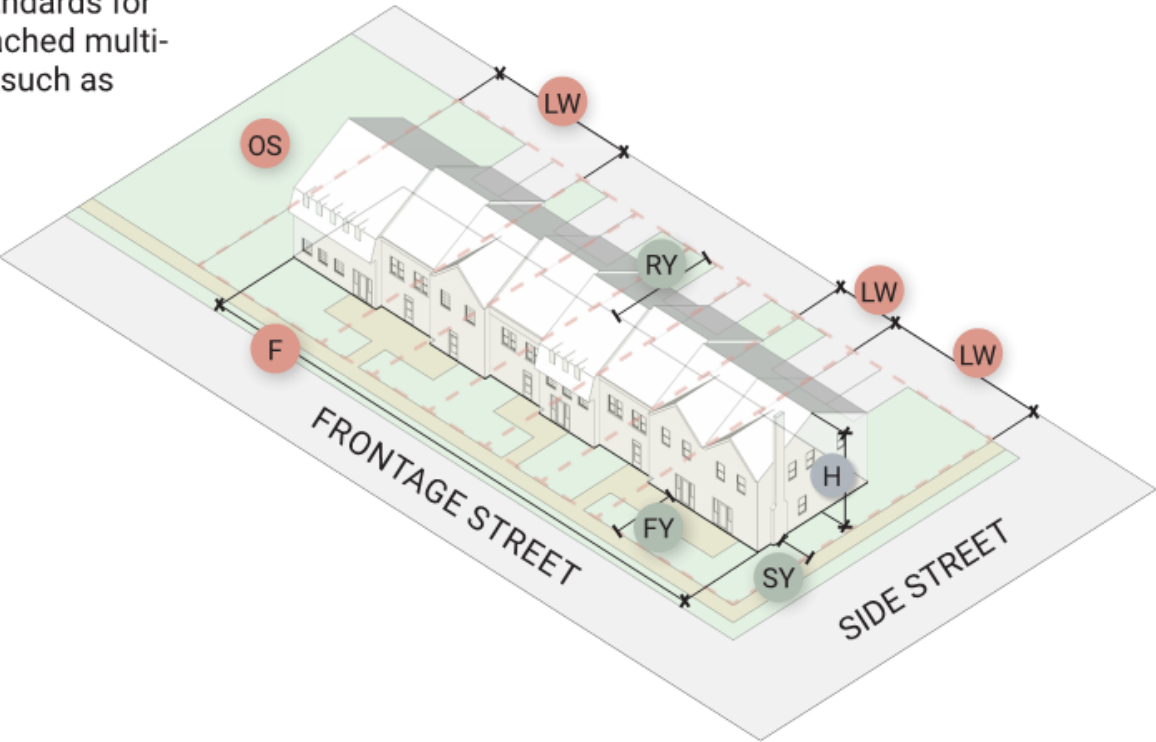
Temporary Uses: Construction Site Office and Storage, Farmers Market, Garage Sale or Yard Sale, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer



5. B. RESIDENTIAL - MULTI-UNIT ZONE (RMU)
TOWNHOMES

Section 18-21 RMU Purpose

The purpose of this zone is to provide standards for horizontally attached multi-unit residences such as townhomes.



Dimensional Standards

SITE DEVELOPMENT STANDARDS			BUILDING STANDARDS		
F	Site Frontage	70 ft. min.	H	Building Height	40 ft. max.
LW	Individual Unit Width	16 ft. min.	Number of Stories 3 max.		
Units Per Gross Acre			20 max.		
Contiguous Series/Row of Attached Units			10 max.		
OS	Open Space Set Aside Per Development	30% of total development gross acreage; private yards may count toward open space calculations for the development	Reference to Other Standards		
			Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.		
			BUILDING PLACEMENT STANDARDS		
			FY	Front Yard Setback	20 ft. min. and 25 ft. average from lot line; no more than two units in a row may have the same front setbacks
			SY	Side Yard Setback	15 ft. min. for end lots
			RY	Rear Yard Setback	Decks: 25 ft. min. All other structures: 35 ft. min.

Permitted Uses

Residential Uses: Duplexes, Townhouses, Multi-unit, Cottage Court

Conditional Uses

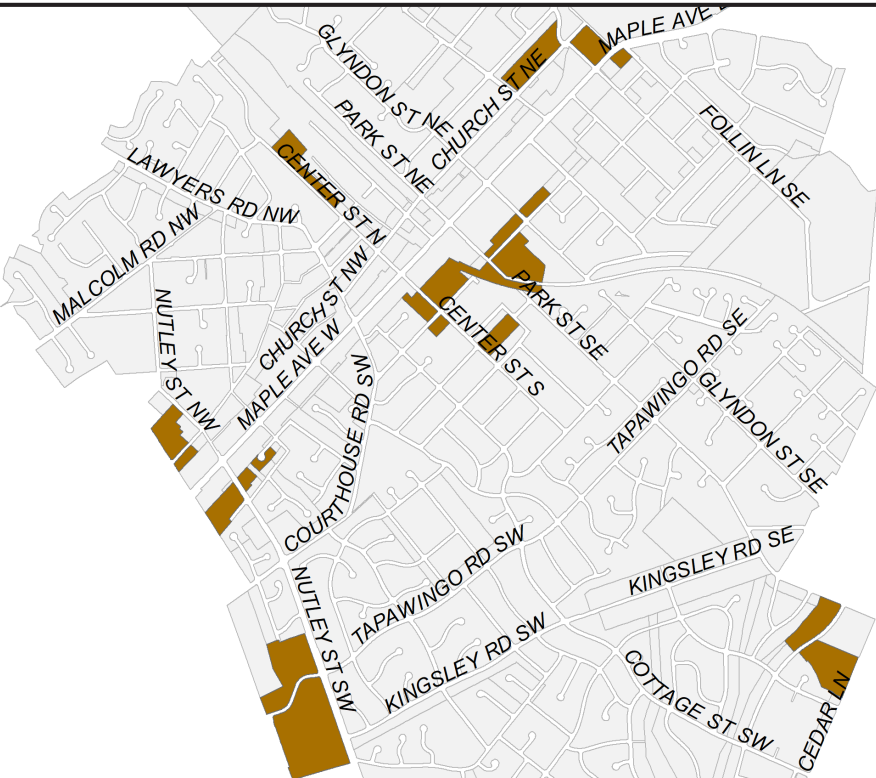
Public, Institutional, and Community Uses: Adult Day Support Center, Cemetery, Child Care Center, Club or Service Organization, Community Garden, Government Uses, Private Outdoor Recreational Uses, Public Outdoor Parks and Recreational Uses, Utility Facility

Accessory Uses: Family Day Home 5-12 Children

Special Uses: College or University, Religious Assembly, Private School, Public School

Accessory Uses: Community Garden, Family Day Home 1-4 Children, Home-Based Business, Keeping of Domestic Animals, Vehicle Charging Station

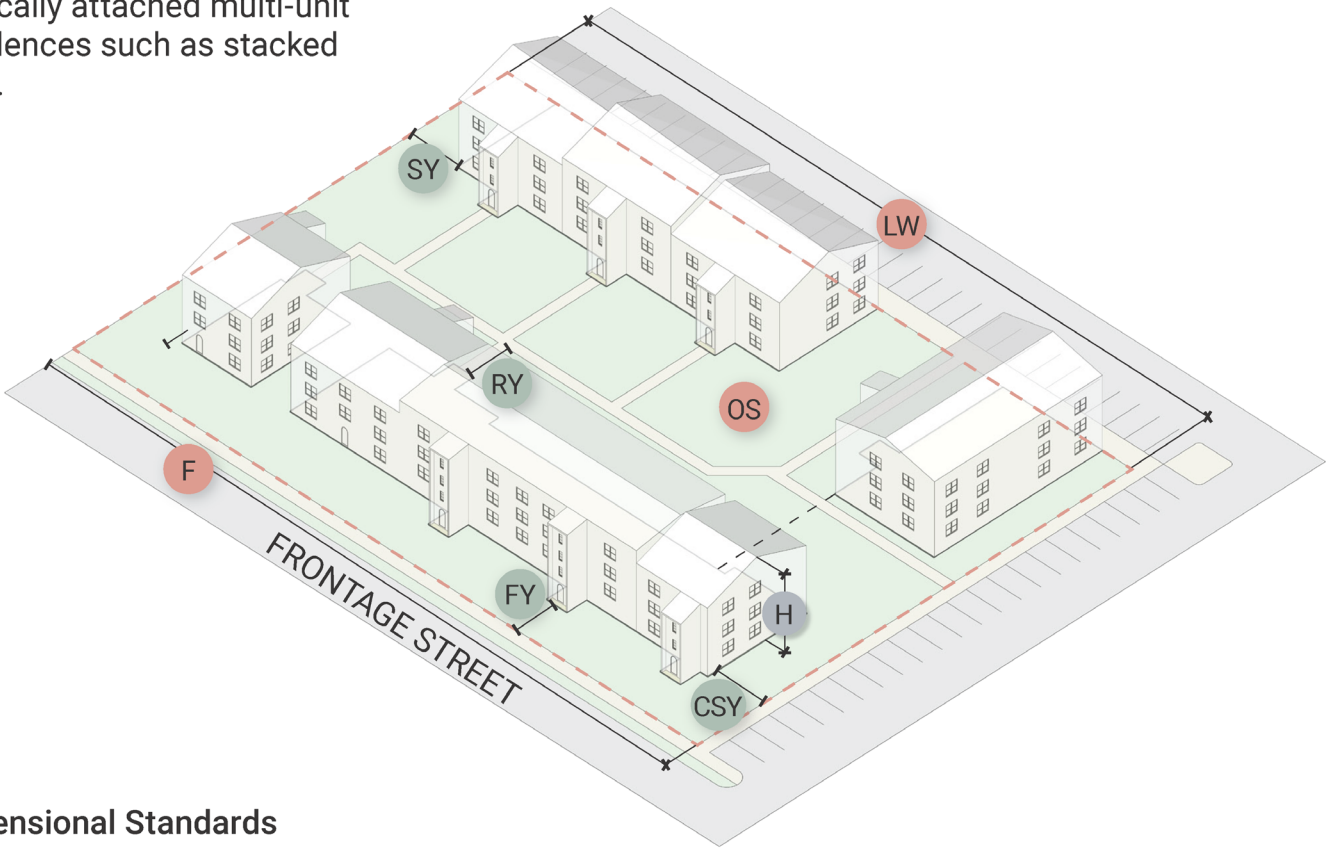
Temporary Uses: Construction Site Office and Storage, Farmers Market, Garage Sale or Yard Sale, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer



5. C. RESIDENTIAL - MULTI-UNIT ZONE (RMU)
MULTI-UNIT BUILDINGS AND COMPLEXES

Section 18-22 RMU Purpose

The purpose of this zone is to provide standards for vertically attached multi-unit residences such as stacked flats.



Dimensional Standards

SITE DEVELOPMENT STANDARDS			BUILDING PLACEMENT STANDARDS		
F	Development Site Frontage	70 ft. min.	FY	Front Yard Setback	20 ft. min. from front property line
	Units Per Gross Acre	30 max.	SY	Side Yard Setback	Dwellings and their accessory structures: 15 ft. min.
OS	Open Space Set Aside Per Development Site	30% of total development gross acreage	RY	Rear Yard Setback	35 ft. min.
			CSY	Corner Side Yard Setback	25 ft. min.
BUILDING STANDARDS			Reference to Other Standards Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.		
H	Building Height	40 ft. max.			
	Number of Stories	3 max.			

Permitted Uses

Residential Uses: Duplexes, Townhouses, Multi-unit, Cottage Court

Conditional Uses

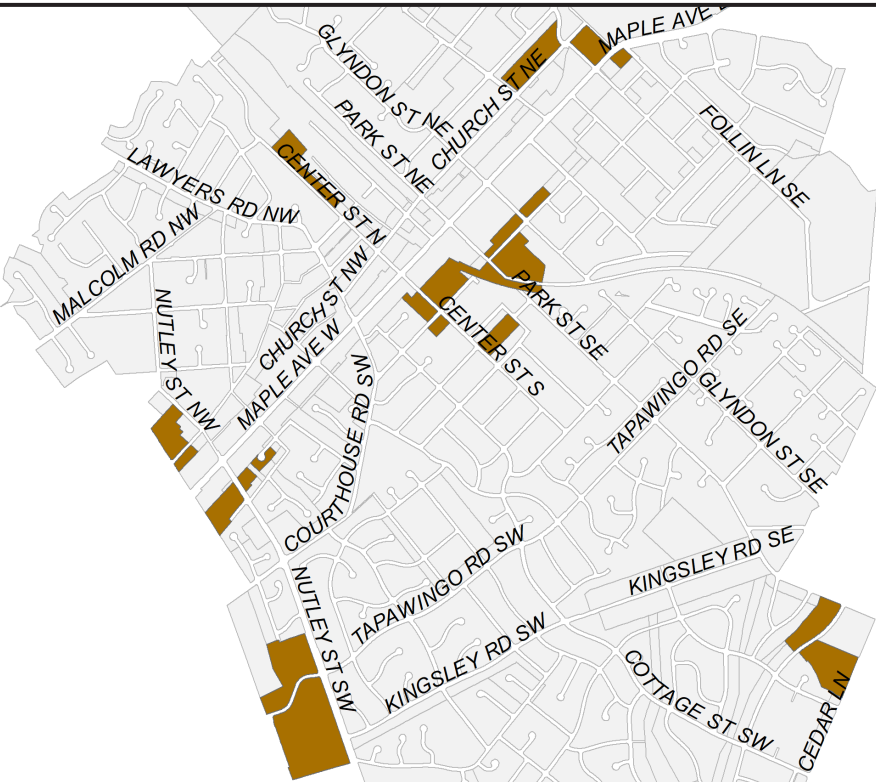
Public, Institutional, and Community Uses: Adult Day Support Center, Cemetery, Child Care Center, Club or Service Organization, Community Garden, Government Uses, Private Outdoor Recreational Uses, Public Outdoor Parks and Recreational Uses, Utility Facility

Accessory Uses: Family Day Home 5-12 Children

Special Uses: College or University, Religious Assembly, Private School, Public School

Accessory Uses: Community Garden, Family Day Home 1-4 Children, Home-Based Business, Keeping of Domestic Animals, Vehicle Charging Station

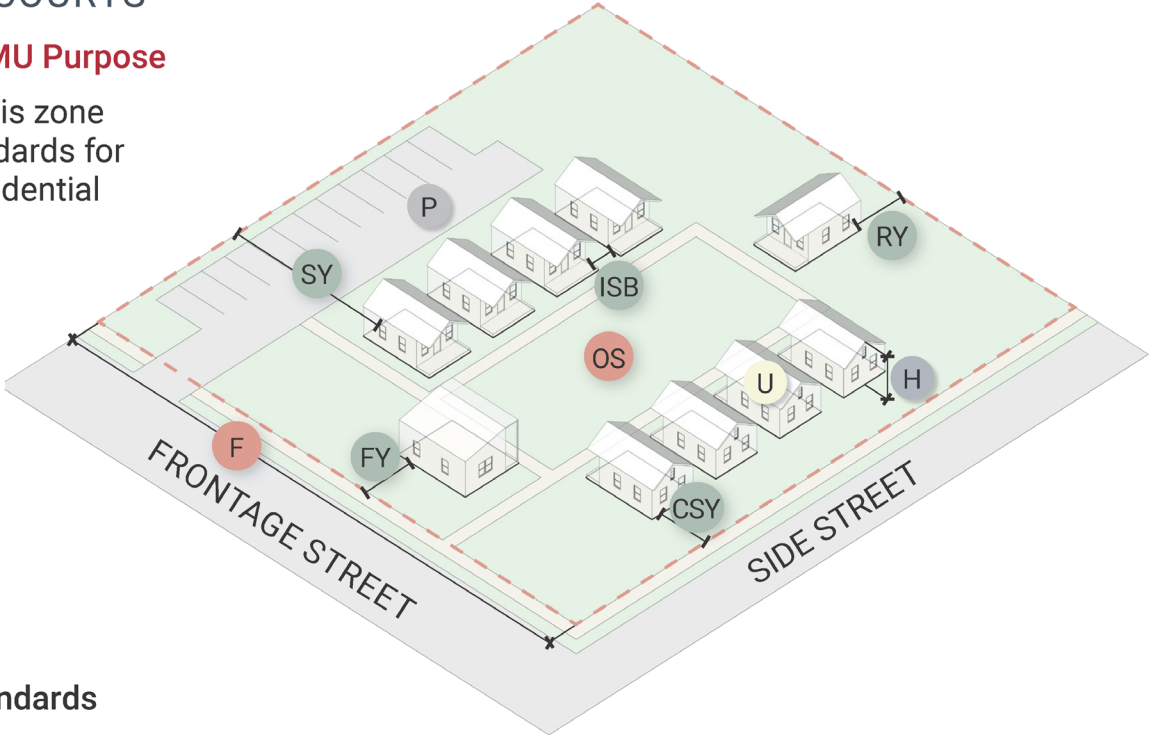
Temporary Uses: Construction Site Office and Storage, Farmers Market, Garage Sale or Yard Sale, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer



5. D. RESIDENTIAL - MULTI-UNIT ZONE (RMU)
COTTAGE COURTS

Section 18-23 RMU Purpose

The purpose of this zone is to provide standards for cottage court residential developments.



Development Standards

SITE DEVELOPMENT STANDARDS		
	Development Site	1/2 acre min.
F	Development Site Frontage	70 ft. min.
	Units Per Gross Acre	10 max.; not more than 20 units total per development site
OS	Open Space Set Aside Per Development	40% min.
BUILDING STANDARDS		
H	Building Height	28 ft. max.
	Number of Stories	1.5 stories max.
UNIT SIZE		
U	Unit Size	1,800 sq. ft. max.
	Building footprint	1,200 sq. ft. max.

BUILDING PLACEMENT STANDARDS		
FY	Front Yard Setback	20 ft. min. from front property line
SY	Side Yard Setback	15 ft. min. each side
RY	Rear Yard Setback	20 ft. min.
CSY	Corner Side Yard Setback	20 ft. min.
ISB	Internal Setbacks Between Buildings on Same Lot	Minimum required by Virginia Uniform Statewide Building Code.
ENCROACHMENT		
	Decks and patios	May encroach up to 5 feet of side or rear yard setback.
PARKING		
P	Parking Area	May be located in side or rear yards. 5 ft. min. setback from lot line to allow for landscaped buffer. Parking area may be covered.
Reference to Other Standards Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.		

Permitted Uses

Residential Uses: Duplexes, Townhouses, Multi-unit, Cottage Court

Conditional Uses

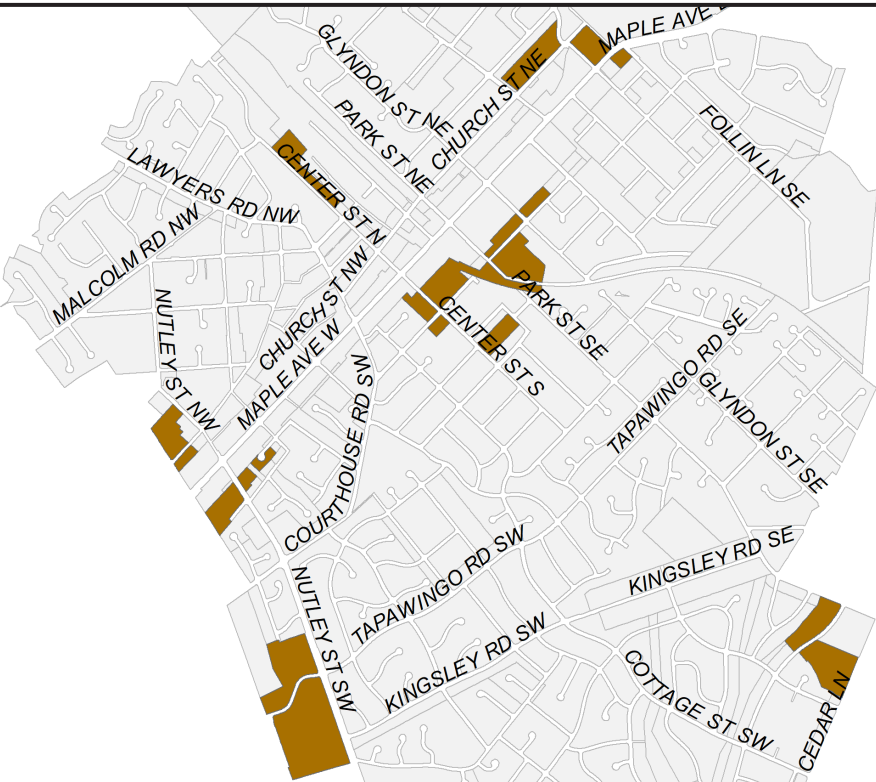
Public, Institutional, and Community Uses: Adult Day Support Center, Cemetery, Child Care Center, Club or Service Organization, Community Garden, Government Uses, Private Outdoor Recreational Uses, Public Outdoor Parks and Recreational Uses, Utility Facility

Accessory Uses: Family Day Home 5-12 Children

Special Uses: College or University, Religious Assembly, Private School, Public School

Accessory Uses: Community Garden, Family Day Home 1-4 Children, Home-Based Business, Keeping of Domestic Animals, Vehicle Charging Station

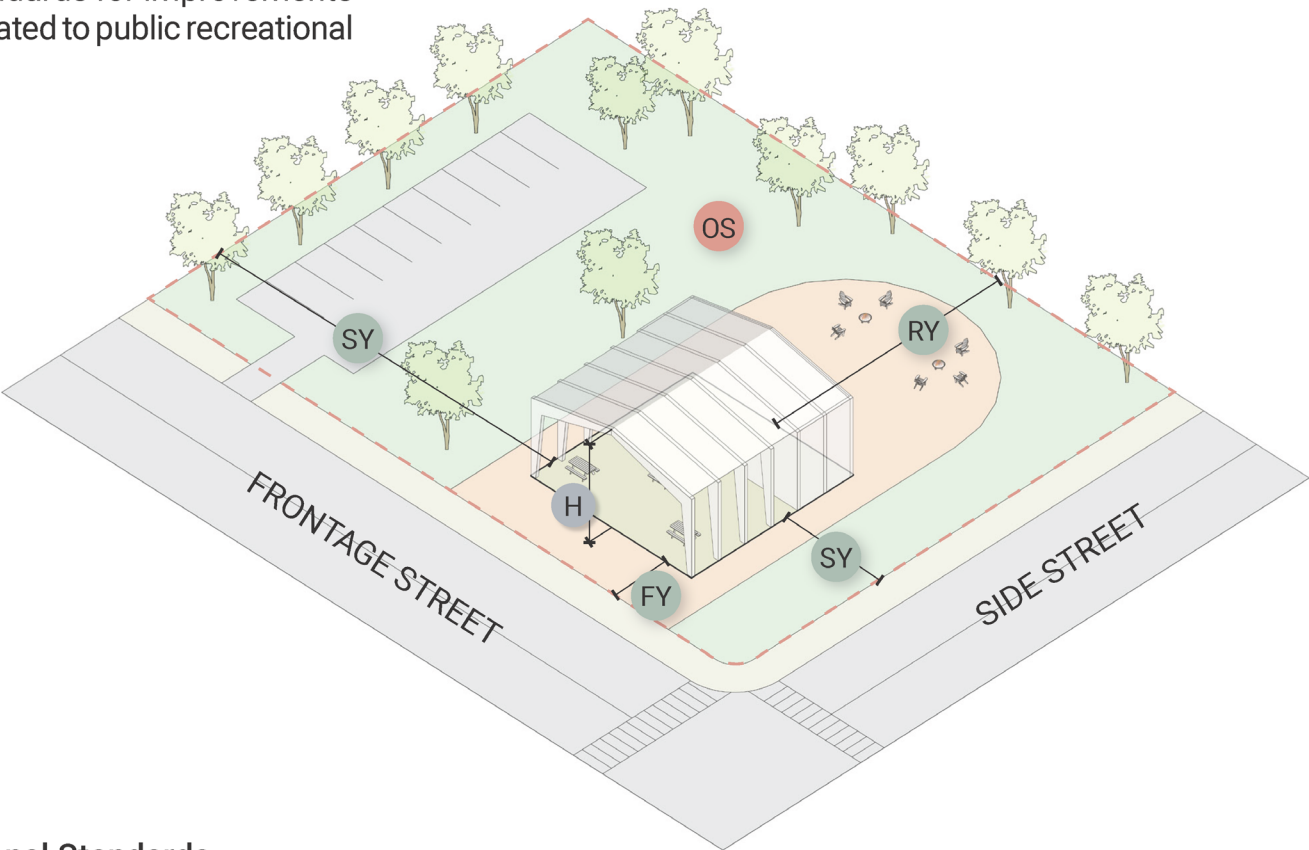
Temporary Uses: Construction Site Office and Storage, Farmers Market, Garage Sale or Yard Sale, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer



6. PARKS AND RECREATIONAL ZONE (PR)

Section 18-24 PR Purpose

The purpose of the Parks and Recreational Zone is to provide a standards for improvements dedicated to public recreational uses.



Dimensional Standards

LOT STANDARDS

OS	Open Space	60% min., which may include structures, such as but not limited to bleachers, playground equipment, in-ground permanent swimming pools, picnic structures, trails, tennis courts, and playing fields.
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BUILDING STANDARDS

H	Building Height	40 ft. max.
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BUILDING PLACEMENT STANDARDS

FY	Front Yard Setback	15 ft. min.
SY	Side Yard Setback	15 ft. min.
RY	Rear Yard Setback	25 ft. min.

Reference to Other Standards
Uses and Use Standards: See Article 3;
Administration & Procedures: See Article 8.

Permitted Uses

Public, Institutional, and Community Uses: Community Garden, Public Outdoor Parks and Recreational Uses, Government Uses, Public Community Center

Conditional Uses

Special Uses:

Accessory Uses: Community Garden, Vehicle Charging Station

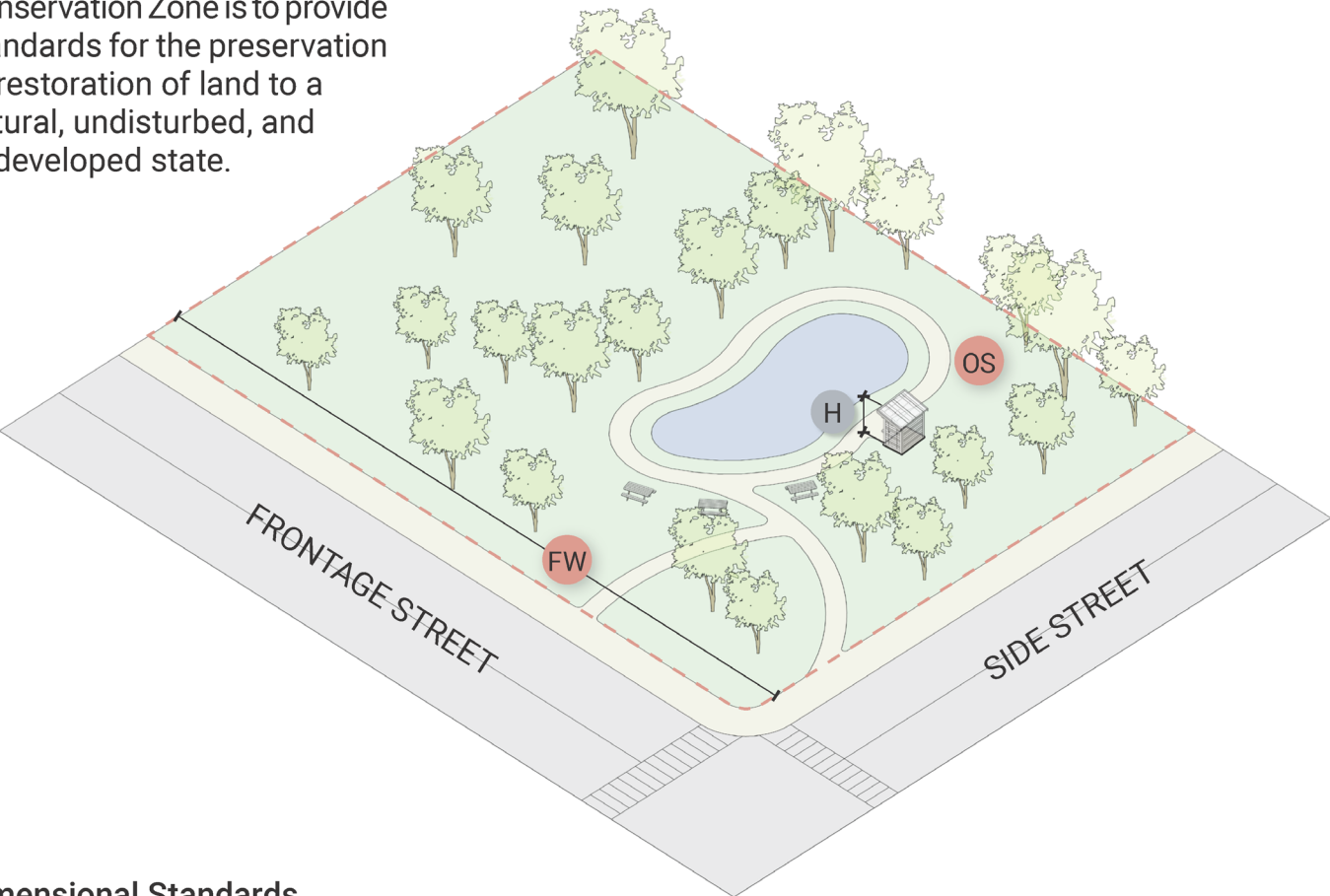
Temporary Uses: Construction Site Office and Storage, Farmers Market, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer



7. PARKS AND CONSERVATION ZONE (PC)

Section 18-25 PC Purpose

The purpose of the Parks and Conservation Zone is to provide standards for the preservation or restoration of land to a natural, undisturbed, and undeveloped state.



Dimensional Standards

LOT STANDARDS

	Lot Area	5 ac. min. if not abutting another lot in the PC Zone; no min. if abutting another lot in the PC Zone
FW	Lot Width at Front Lot Line	75 ft. min.
OS	Open Space	90% min.

BUILDING STANDARDS

H	Building Height	14 ft. max.
	Aggregate area of buildings	150 sq. ft. max.

Reference to Other Standards
Uses and Use Standards: See Article 3; Administration & Procedures: See Article 8.

Permitted Uses

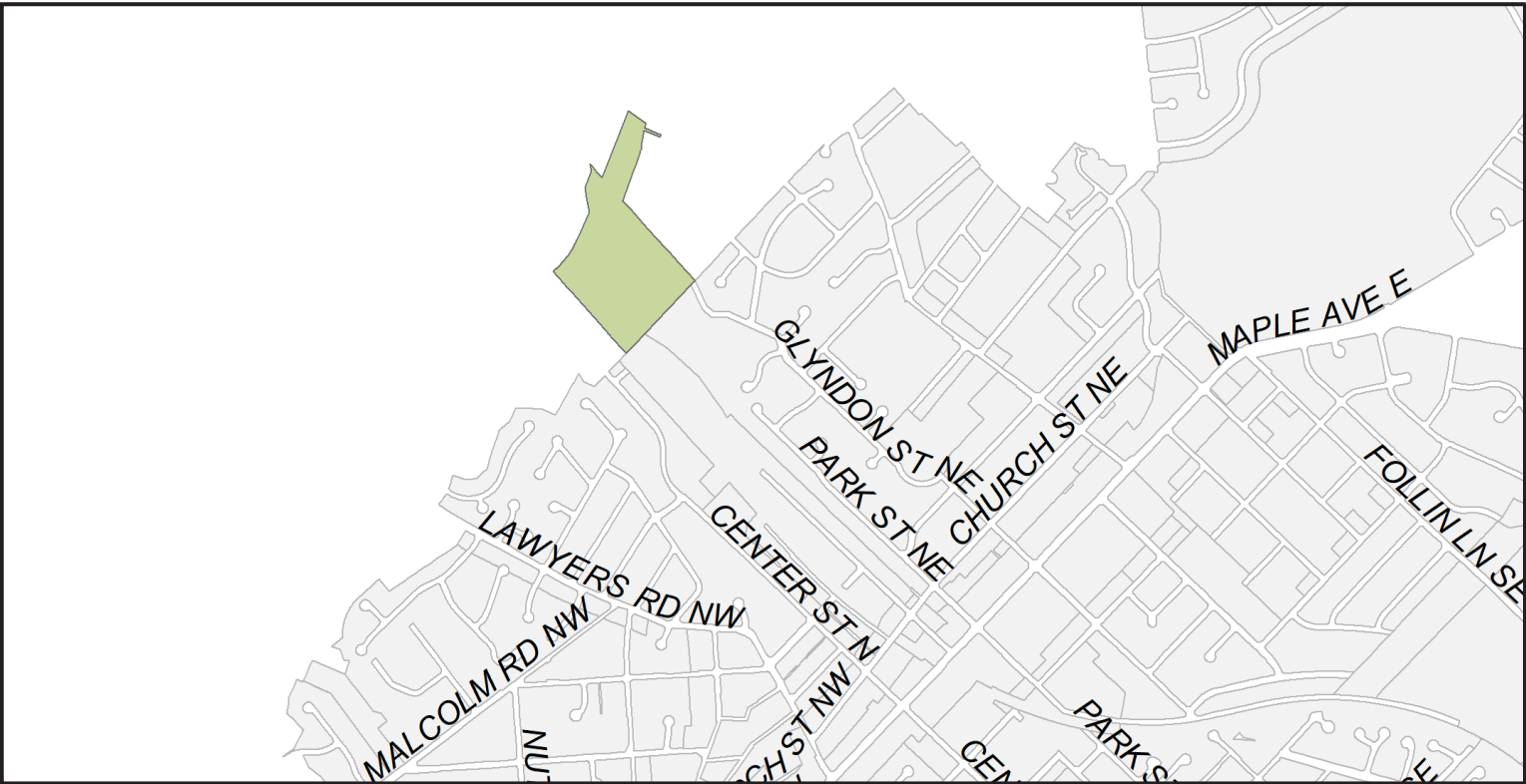
Public, Institutional, and Community Uses: Public Outdoor Parks and Recreational Uses

Conditional Uses

Special Uses:

Accessory Uses:

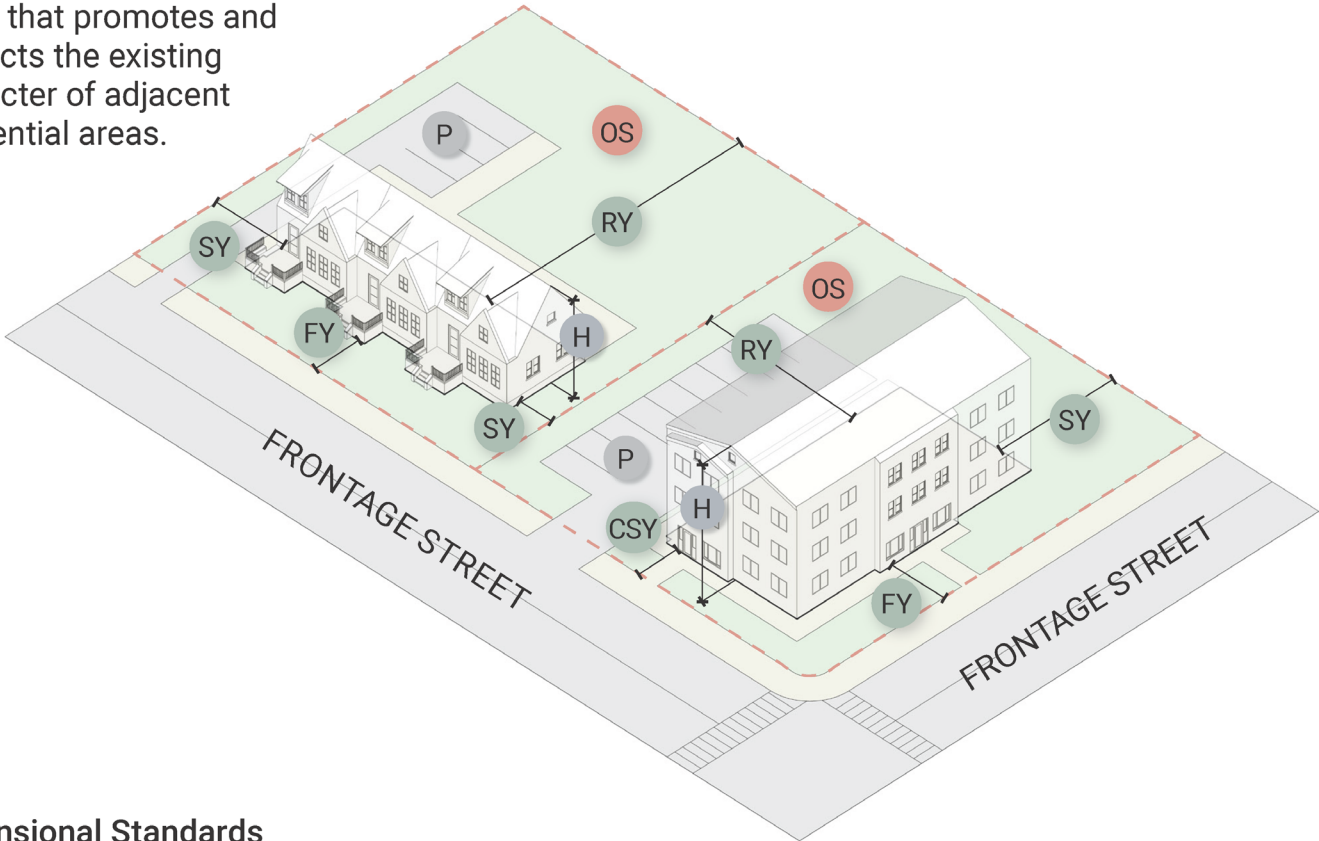
Temporary Uses:



8. NEIGHBORHOOD TRANSITIONAL ZONE (NT)

Section 18-26 NT Purpose

The purpose of the Neighborhood Transitional Zone is to provide standards for a built buffer between residential and commercial areas that promotes and respects the existing character of adjacent residential areas.



Dimensional Standards

LOT STANDARDS		
OS	Open Space	25% min.
BUILDING PLACEMENT STANDARDS		
FY	Front Yard Setback	15 ft. min.
SY	Side Yard Setback	12 ft. min.
RY	Rear Yard Setback	20 ft. min.
CSY	Corner Side Yard Setback	20 ft. min.

BUILDING STANDARDS		
H	Building Height	28 ft. max. for cottage court residential uses. 42 ft. max. for all other uses.
PARKING LOCATION		
P	Side or rear yard only	
Reference to Other Standards Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4; Development Standards - Non-Residential: See Article 5.		

Permitted Uses

Residential Uses: Cottage Court
Public, Institutional, and Community Uses: Public Outdoor Parks and Recreational Uses
Commercial Uses: Office

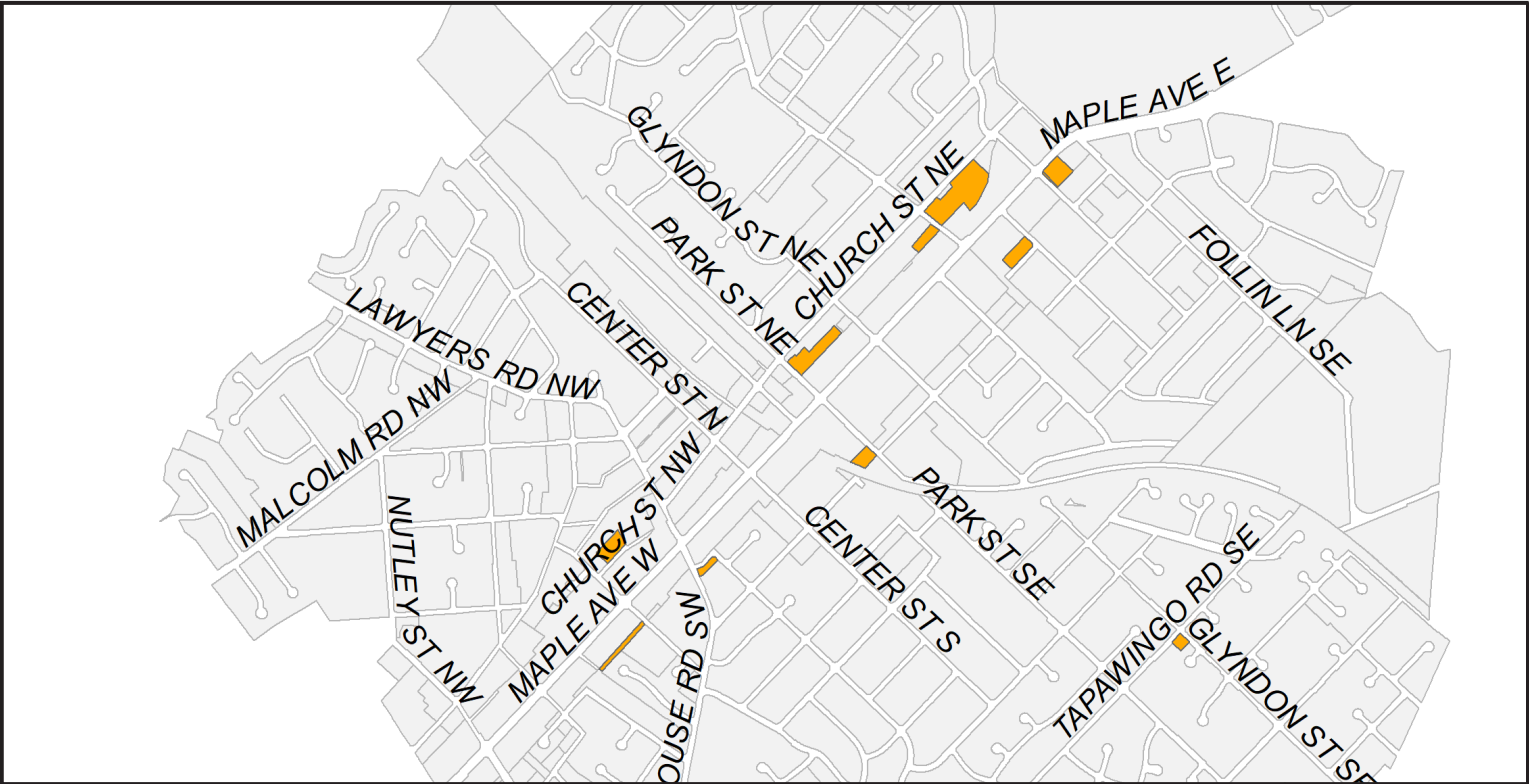
Conditional Uses

Public, Institutional, and Community Uses: Adult Day Support Center, Child Care Center, Club or Service Organization, Community Garden, Government Uses, Independent Living Facility, Medical Care Facility, Utility Facility
Commercial Uses: Bed and Breakfast, Personal Services
Accessory Uses: Family Day Home 1-5 Children

Special Uses: Religious Assembly

Accessory Uses: Community Garden, Family Day Home 1-4 Children, Home-Based Business, Keeping of Domestic Animals, Vehicle Charging Station

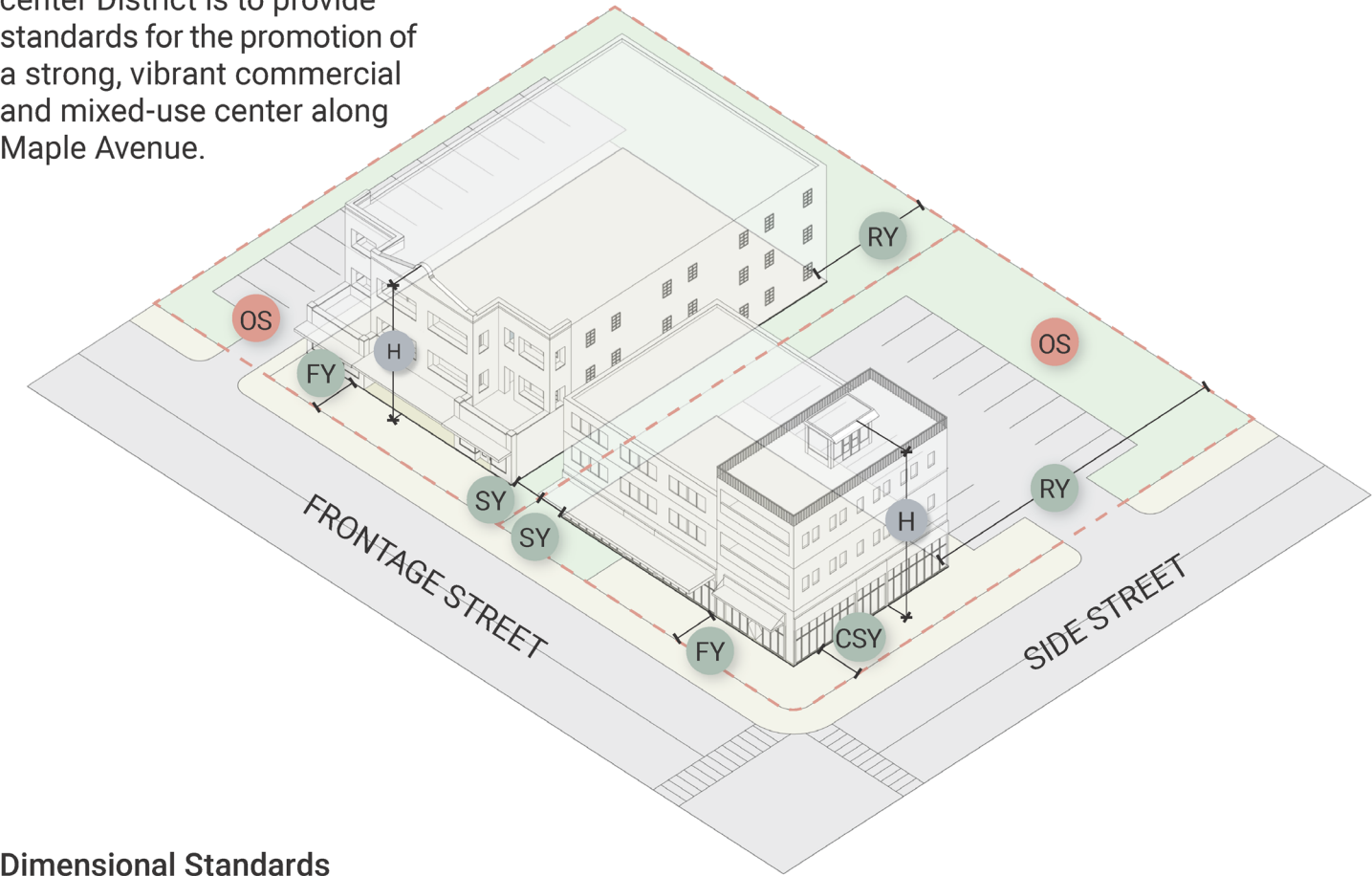
Temporary Uses: Construction Site Office and Storage, Farmers Market, Garage Sale or Yard Sale, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer



9. AVENUE CENTER DISTRICT (AC)

Section 18-27 AC Purpose

The purpose of the Avenue center District is to provide standards for the promotion of a strong, vibrant commercial and mixed-use center along Maple Avenue.



Dimensional Standards

LOT STANDARDS			BUILDING STANDARDS		
OS	Open Space	15% min.	H	Building Height	42 ft. max. 42 ft. max. plus rooftop use area (not to exceed 12 ft. in height) if located in the AC-O District (see page 2-30)
BUILDING PLACEMENT STANDARDS				Ground Floor Height	16 ft. min. floor-to-floor
FY	Front Yard Setback	15 ft. min.	PARKING LOCATION		
SY	Side Yard Setback	0 ft. except as determined by building code.	Side or rear yard only		
RY	Rear Yard Setback	10 ft. min. 30 ft. min. if property abuts a residential zone or residential use.	Reference to Other Standards		
CSY	Corner Side Yard Setback	15 ft. min.	Avenue Center Amenity Overlay: See page 30; Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4; Development Standards - Non-Residential: See Article 5.		

Permitted Uses

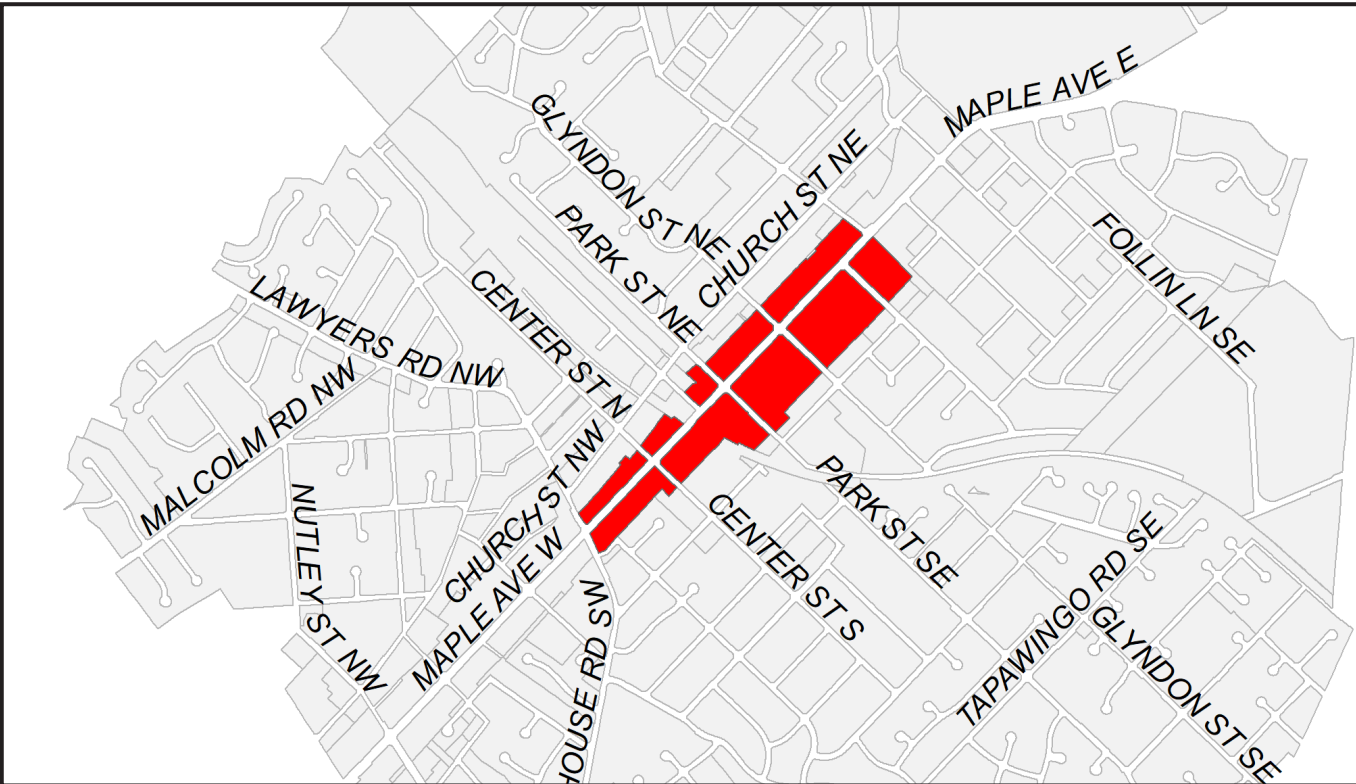
Residential Uses: Upper Story Residential
Public, Institutional, and Community Uses: Club or Organization Service, Cultural Facility or Museum, Government Uses, Public Outdoor Parks and Recreational Uses
Commercial Uses: Pet Grooming, Bed and Breakfast, Brewpub, Hotel, Boutique Hotel, Restaurant, Financial Institution, Office, Public Entertainment, General Services, Personal Services, Small Grocery, Large Grocery, Small Retail, Large Retail
Industrial Uses: Artisan Manufacturing

Conditional Uses

Residential Uses: Townhouses, Cottage Court
Public, Institutional, and Community Uses: Adult Day Support Center, Child Care Center, Convention or Conference Center, Funeral Home or Mortuary, Independent Living Facility, Medical Care Facility
Commercial Uses: Veterinary, Catering, Shared Kitchen, Car Wash, Commercial Off-Street Parking, Vehicle Fueling Station, Vehicle Repair and Maintenance,
Industrial Uses: Craft Beverage Production Establishment
Accessory Uses: Dancing and Entertainment Accessory Use, Drive-through Windows/Facilities Accessory Use, Family Day Home 5-12 Children, Smoking Lounge Accessory Use

Special Uses: College or University, Religious Assembly

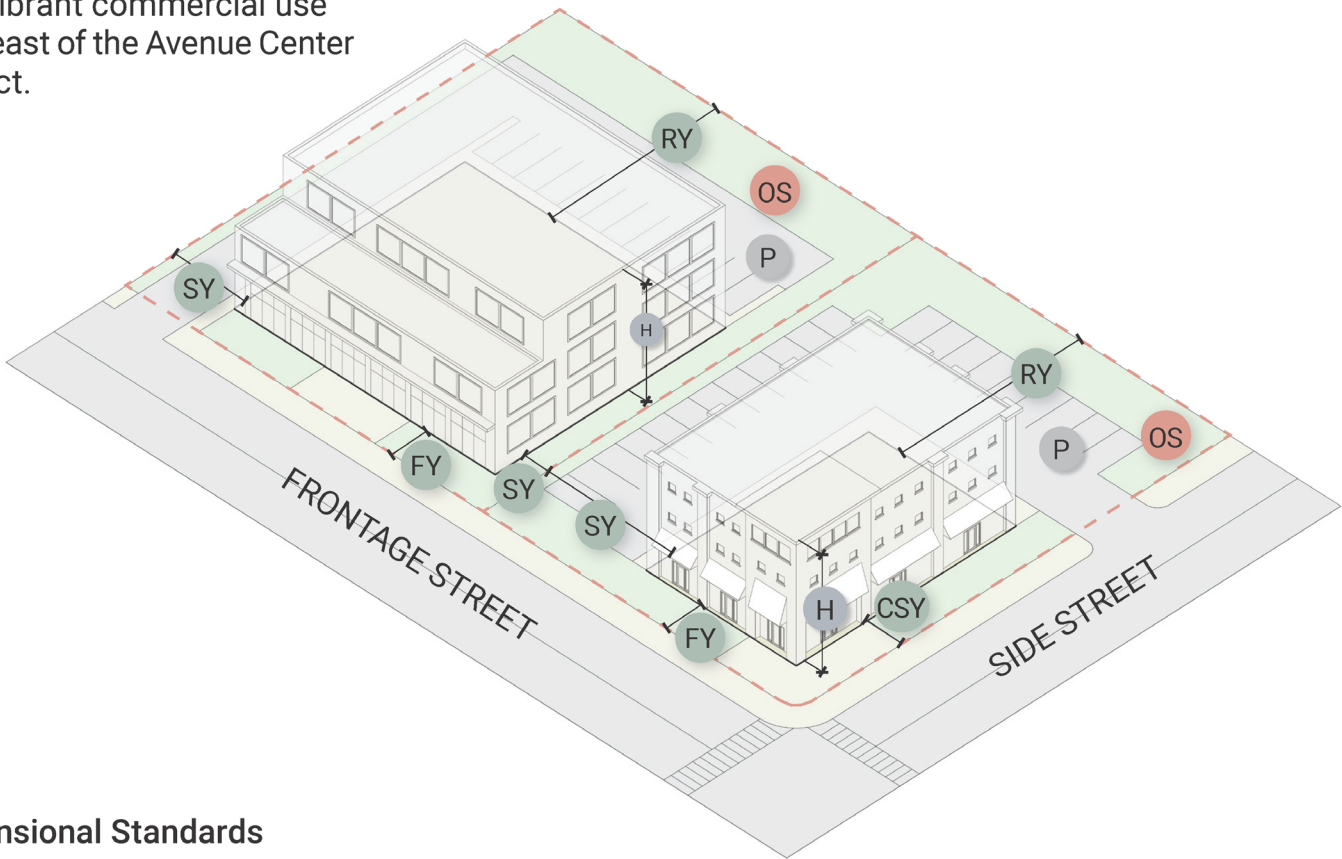
Accessory Uses: Catering for Restaurant, Family Day Home 1-4 Children, Keeping of Domestic Animals, Outdoor Dining, Outdoor Display and Sales, Ride Share Standing Area, Vehicle Charging Station
Temporary Uses: Construction Site Office and Storage, Farmers Market, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer



10. AVENUE EAST GATEWAY DISTRICT (AE)

Section 18-28 AE Purpose

The purpose of the Avenue East Gateway District is to promote standards for the promotion of a vibrant commercial use area east of the Avenue Center District.



Dimensional Standards

LOT STANDARDS		
OS	Open Space	15% min.
BUILDING PLACEMENT STANDARDS		
FY	Front Yard Setback	15 ft. min.
SY	Side Yard Setback	10 ft. min. 0 ft. min. if no windows or doors are located on that side of the building
RY	Rear Yard Setback	20 ft. min. 30 ft. min. if property abuts a residential zone or residential use.
CSY	Corner Side Yard Setback	15 ft. min.

BUILDING STANDARDS		
H	Building Height	42 ft. max.
	Ground Floor Height	16 ft. min. floor-to-floor
PARKING LOCATION		
P	Side or rear yard only	

Reference to Other Standards
Uses and Use Standards: See Article 3;
Development Standards - Residential: See Article 4;
Development Standards - Non-Residential: See Article 5.

Permitted Uses

Public, Institutional, and Community Uses: Adult Day Support Center, Child Care Center, Club or Organization Service, Cultural Facility or Museum, Funeral Home or Mortuary, Government Uses, Independent Living Facility, Medical Care Facility, Public Outdoor Parks and Recreational Uses, Religious Assembly
Commercial Uses: Pet Grooming, Veterinary, Bed and Breakfast, Brewpub, Catering, Boutique Hotel, Restaurant, Shared Kitchen, Financial Institution, Office, Public Entertainment, General Services, Personal Services, Small Grocery, Large Grocery, Small Retail, Large Retail, Car Wash, Vehicle Fueling Station, Vehicle Repair and Maintenance
Industrial Uses: Artisan Manufacturing

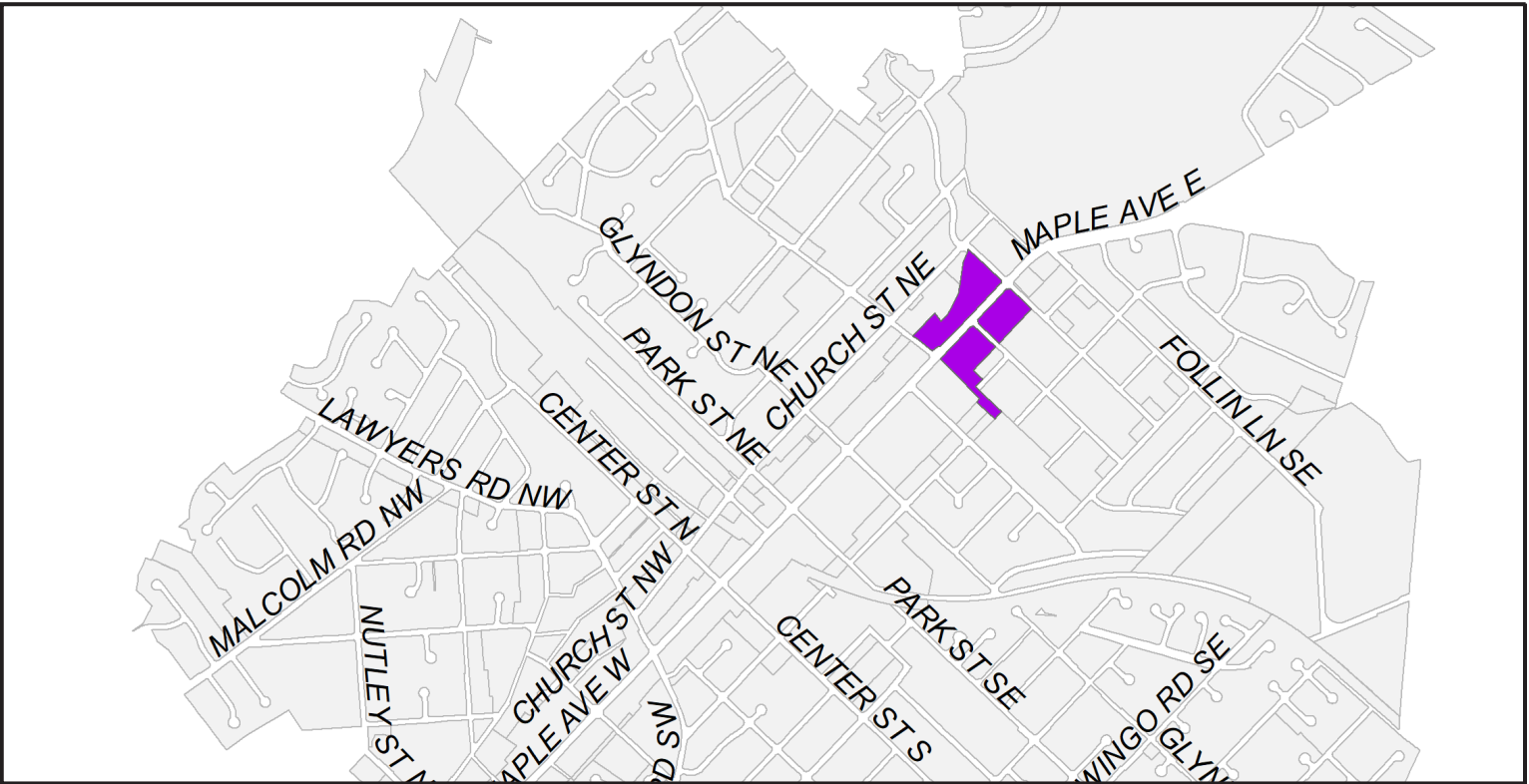
Conditional Uses

Residential Uses: Upper Story Residential
Public, Institutional, and Community Uses: Convention or Conference Center,
Commercial Uses: Hotel, Commercial Off-Street Parking, Vehicle Sales and Rental
Industrial Uses: Craft Beverage Production Establishment
Accessory Uses: Dancing and Entertainment Accessory Use, Drive-through Windows/Facilities Accessory Use, Family Day Home 5-12 Children, Smoking Lounge Accessory Use

Special Uses: College or University,

Accessory Uses: Catering for Restaurant, Family Day Home 1-4 Children, Keeping of Domestic Animals, Outdoor Dining, Outdoor Display and Sales, Ride Share Standing Area, Vehicle Charging Station

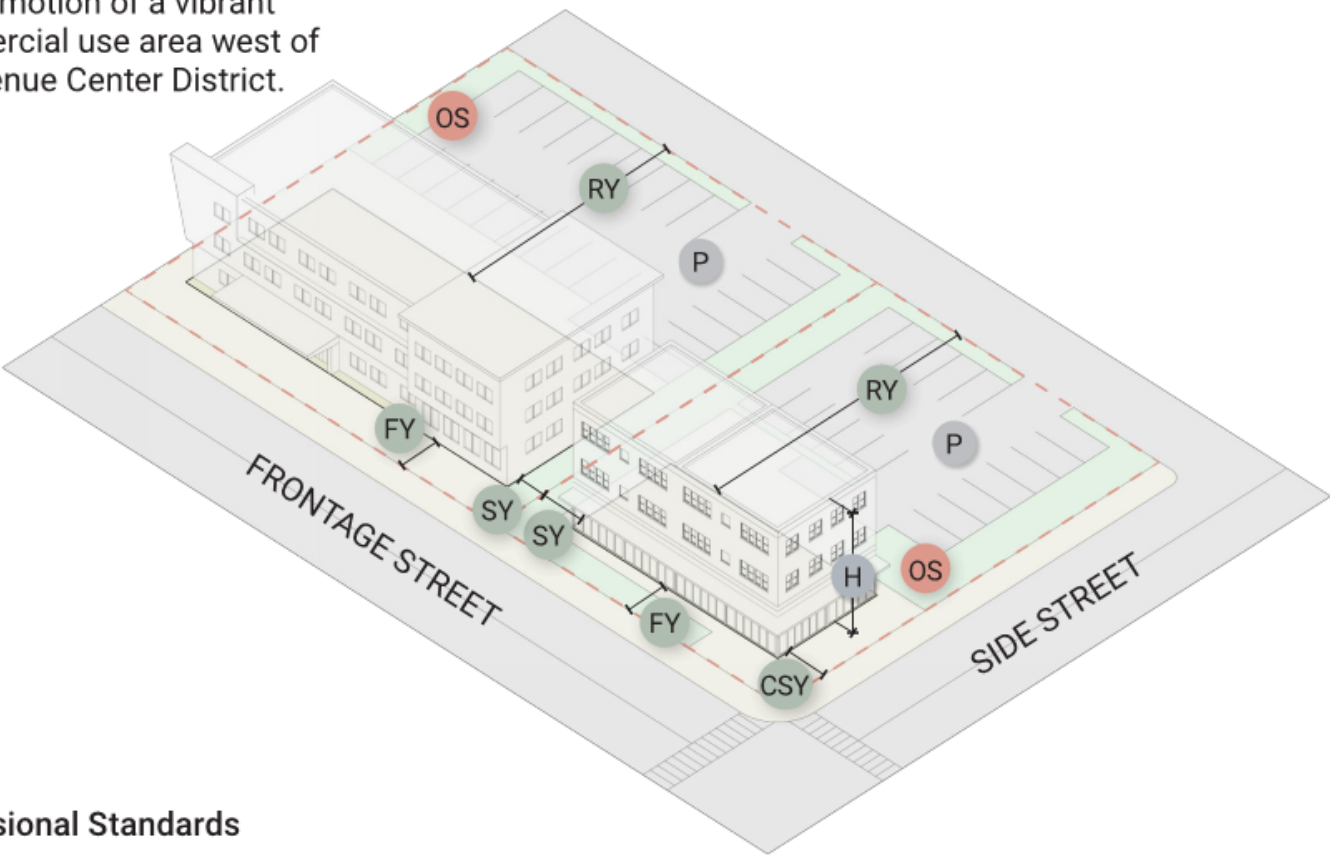
Temporary Uses: Construction Site Office and Storage, Farmers Market, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer



11. AVENUE WEST GATEWAY DISTRICT (AW)

Section 18-29 AW Purpose

The purpose of the Avenue West Gateway District is to provide standards for the promotion of a vibrant commercial use area west of the Avenue Center District.



Dimensional Standards

LOT STANDARDS		
OS	Open Space	15% min.
BUILDING PLACEMENT STANDARDS		
FY	Front Yard Setback	15 ft. min.
SY	Side Yard Setback	10 ft. min. 0 ft. min. if no windows or doors are located on that side of the building
RY	Rear Yard Setback	20 ft. min. 30 ft. min. if property abuts a residential zone or residential use.
CSY	Corner Side Yard Setback	15 ft. min.

BUILDING STANDARDS		
H	Building Height	42 ft. max.
	Ground Floor Height	16 ft. min. floor-to-floor
PARKING LOCATION		
P	Side or rear yard only	
Reference to Other Standards Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4; Development Standards - Non-Residential: See Article 5.		

Permitted Uses

Public, Institutional, and Community Uses: Adult Day Support Center, Child Care Center, Club or Organization Service, Cultural Facility or Museum, Funeral Home or Mortuary, Government Uses, Independent Living Facility, Medical Care Facility, Public Outdoor Parks and Recreational Uses, Religious Assembly

Commercial Uses: Pet Grooming, Veterinary, Bed and Breakfast, Brewpub, Catering, Boutique Hotel, Restaurant, Shared Kitchen, Financial Institution, Office, Public Entertainment, General Services, Personal Services, Small Grocery, Large Grocery, Small Retail, Large Retail, Car Wash, Vehicle Fueling Station, Vehicle Repair and Maintenance

Industrial Uses: Artisan Manufacturing

Conditional Uses

Residential Uses: Upper Story Residential

Public, Institutional, and Community Uses: Convention or Conference Center,

Commercial Uses: Hotel, Commercial Off-Street Parking, Vehicle Sales and Rental

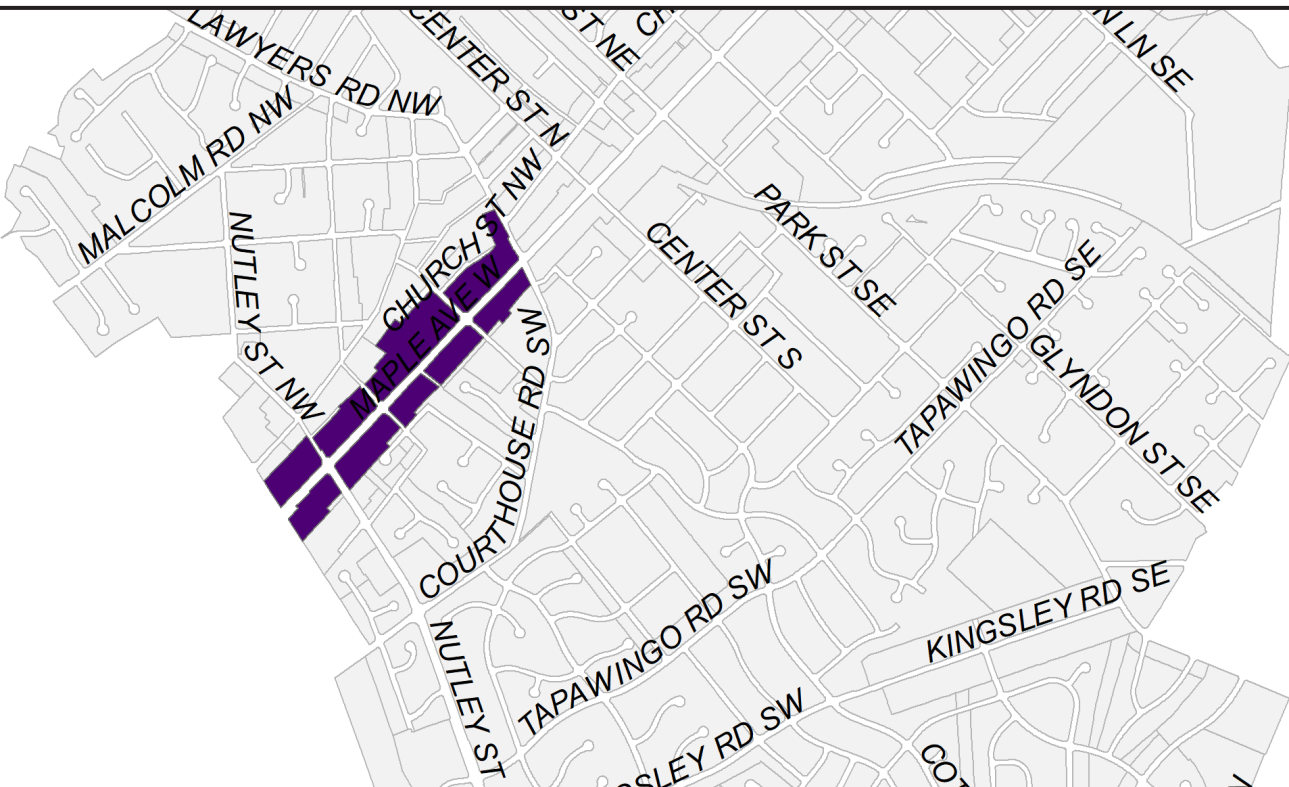
Industrial Uses: Craft Beverage Production Establishment

Accessory Uses: Dancing and Entertainment Accessory Use, Drive-through Windows/Facilities Accessory Use, Family Day Home 5-12 Children, Smoking Lounge Accessory Use

Special Uses: College or University,

Accessory Uses: Catering for Restaurant, Family Day Home 1-4 Children, Keeping of Domestic Animals, Outdoor Dining, Outdoor Display and Sales, Ride Share Standing Area, Vehicle Charging Station

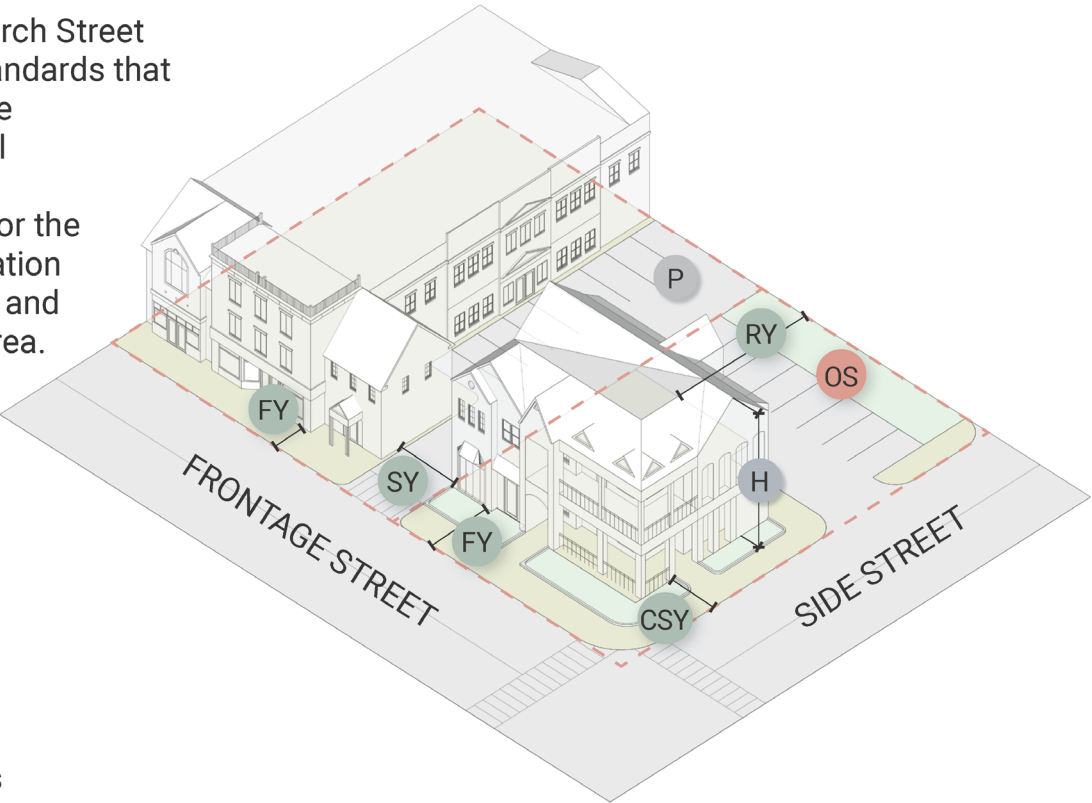
Temporary Uses: Construction Site Office and Storage, Farmers Market, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer



12. CHURCH STREET DISTRICT (CSD)

Section 18-30 CSD Purpose

The purpose of the Church Street District is to provide standards that recognize the distinctive character of the original Old Vienna commercial district and to provide for the protection and preservation of the traditional image and history of this unique area.



Dimensional Standards

BUILDING PLACEMENT STANDARDS			BUILDING STANDARDS	
FY	Front Yard Setback	Interior lots must alternate front yard setbacks using one of the following: 5 ft.; 7 ft., 8 in.; or 10 ft., 4 in. Corner lots must have a front yard setback of at least 10 ft.	H	Building Height 42 ft. max. 50 ft. max for municipal parking structures
SY	Side Yard Setback	10 ft. min. 0 ft. min. if no windows or doors are located on that side of the building.		Ground Floor Height 16 ft. min. floor-to-floor
RY	Rear Yard Setback	10 ft. min. 0 ft. min. if no windows or doors are located on the rear of the building.	PARKING LOCATION	
CSY	Corner Side Yard Setback	15 ft. min.	P	Side or rear yard only
LOT STANDARDS			Reference to Other Standards	
OS	Open Space	10% min.	Church Street Vision Incentive Overlay: See page 31; Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4; Development Standards - Non-Residential: See Article 5.	

Permitted Uses

Residential Uses: Upper Story Residential
Public, Institutional, and Community Uses: Club or Organization Service, Cultural Facility or Museum, Government Uses, Public Outdoor Parks and Recreational Uses
Commercial Uses: Pet Grooming, Bed and Breakfast, Brewpub, Boutique Hotel, Restaurant, Financial Institution, Office, Public Entertainment, General Services, Personal Services, Small Grocery, Small Retail
Industrial Uses: Artisan Manufacturing

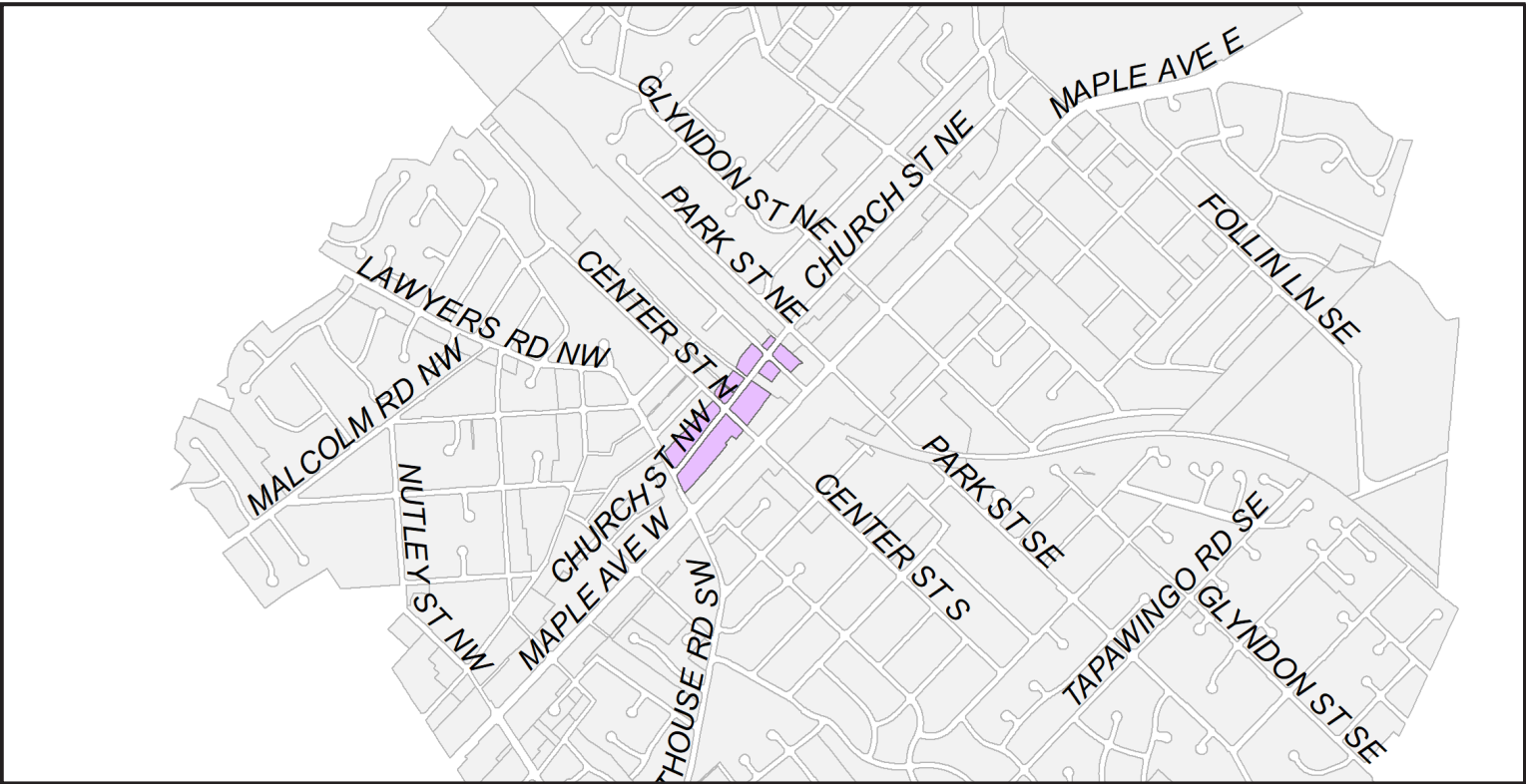
Conditional Uses

Residential Uses: Townhouses, Cottage Court,
Public, Institutional, and Community Uses: Adult Day Support Center, Child Care Center, Funeral Home or Mortuary, Independent Living Facility, Medical Care Facility
Commercial Uses: Veterinary, Catering, Hotel, Large Grocery, Large Retail, Car Wash, Commercial Off-Street Parking
Industrial Uses: Craft Beverage Production Establishment,
Accessory Uses: Dancing and Entertainment Accessory Use, Family Day Home 5-12 Children, Smoking Lounge Accessory Use

Special Uses: Religious Assembly

Accessory Uses: Catering for Restaurant, Family Day Home 1-4 Children, Keeping of Domestic Animals, Outdoor Dining, Outdoor Display and Sales, Ride Share Standing Area, Vehicle Charging Station

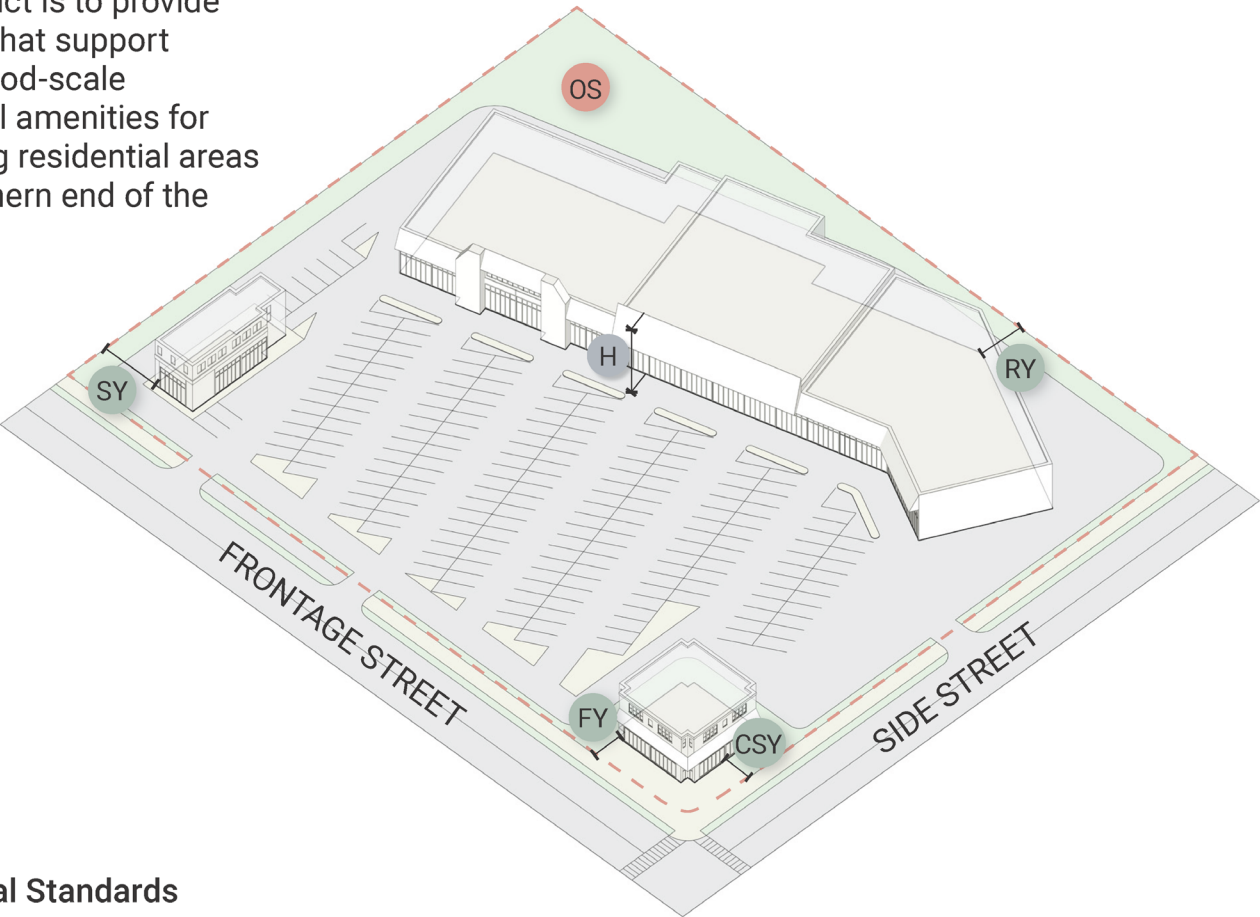
Temporary Uses: Construction Site Office and Storage, Farmers Market, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer



13. GATEWAY SOUTH DISTRICT (GS)

Section 18-31 GS Purpose

The purpose of the Gateway South District is to provide standards that support neighborhood-scale commercial amenities for surrounding residential areas in the southern end of the Town.



Dimensional Standards

LOT STANDARDS		
OS	Open Space	15% min.
BUILDING PLACEMENT STANDARDS		
FY	Front Yard Setback	15 ft. min.
SY	Side Yard Setback	10 ft. min. 0 ft. min. if no windows or doors are located on that side of the building
RY	Rear Yard Setback	20 ft. min. 30 ft. min. if property abuts a residential zone or residential use.
CSY	Corner Side Yard Setback	15 ft. min.

BUILDING STANDARDS		
H	Building Height	42 ft. max.
	Ground Floor Height	16 ft. min. floor-to-floor
PARKING LOCATION		
P	Side or rear yard only	
Reference to Other Standards Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4; Development Standards - Non-Residential: See Article 5.		

Permitted Uses

Public, Institutional, and Community Uses: Adult Day Support Center, Child Care Center, Club or Organization Service, Cultural Facility or Museum, Funeral Home or Mortuary, Government Uses, Independent Living Facility, Medical Care Facility, Public Outdoor Parks and Recreational Uses, Religious Assembly
Commercial Uses: Pet Grooming, Veterinary, Bed and Breakfast, Brewpub, Catering, Boutique Hotel, Restaurant, Shared Kitchen, Financial Institution, Office, Public Entertainment, General Services, Personal Services, Small Grocery, Large Grocery, Small Retail, Large Retail, Car Wash, Vehicle Fueling Station, Vehicle Repair and Maintenance
Industrial Uses: Artisan Manufacturing

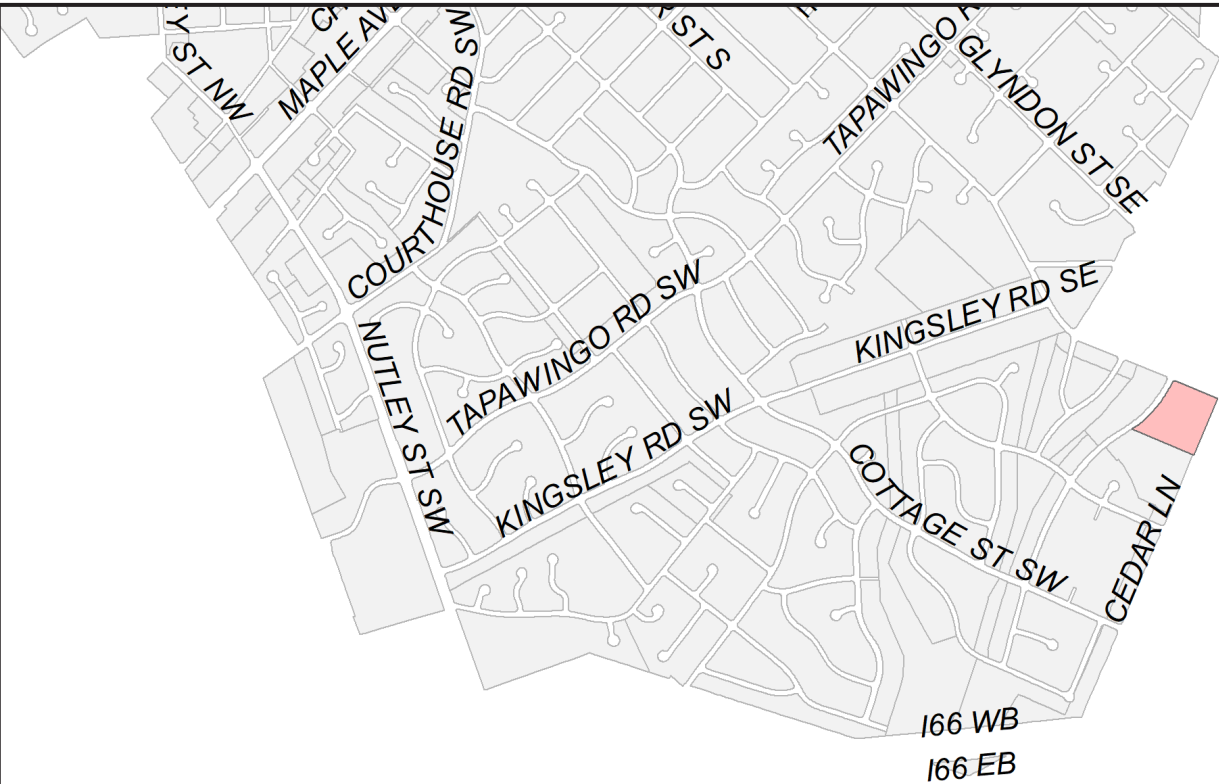
Conditional Uses

Residential Uses: Upper Story Residential
Public, Institutional, and Community Uses: Convention or Conference Center,
Commercial Uses: Hotel, Commercial Off-Street Parking, Vehicle Sales and Rental
Industrial Uses: Craft Beverage Production Establishment
Accessory Uses: Dancing and Entertainment Accessory Use, Drive-through Windows/Facilities Accessory Use, Family Day Home 5-12 Children, Smoking Lounge Accessory Use

Special Uses: College or University,

Accessory Uses: Catering for Restaurant, Family Day Home 1-4 Children, Keeping of Domestic Animals, Outdoor Dining, Outdoor Display and Sales, Ride Share Standing Area, Vehicle Charging Station

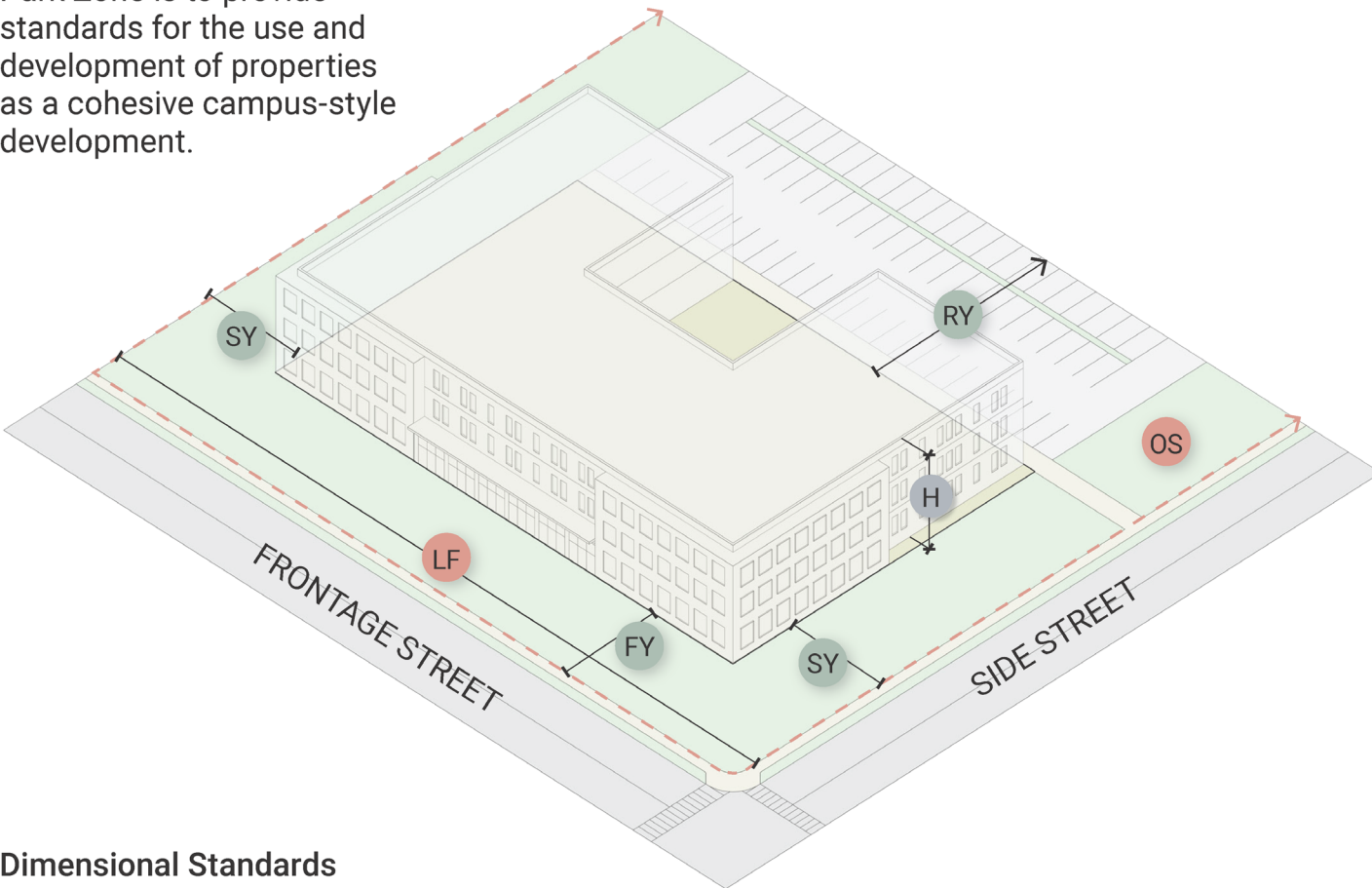
Temporary Uses: Construction Site Office and Storage, Farmers Market, Model Home Sales or Leasing Office/Trailer, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer



14. CORPORATE PARK DISTRICT (CP)

Section 18-32 CP Purpose

The purpose of the Corporate Park Zone is to provide standards for the use and development of properties as a cohesive campus-style development.



Dimensional Standards

LOT STANDARDS			BUILDING PLACEMENT STANDARDS		
LF	Lot Frontage	150 ft. min.; or 100 ft. min. for lots on cul-de-sac or on street curves	FY	Front Yard Setback	50 ft. min.; 100 ft. min. if abuts a residential zone
			SY	Side Yard Setback	50 ft. min. (each side); 100 ft. min. if abuts a residential zone
OS	Open Space	30% min.	RY	Rear Yard Setback	50 ft. min.; 100 ft. min. if abuts a residential zone
BUILDING STANDARDS				Distance from Street Right-of-Way (R.O.W.)	50 ft. min.
H	Building Height	45 ft. max., not including rooftop equipment	Reference to Other Standards Uses and Use Standards: See Article 3; Development Standards - Non-Residential: See Article 5; Administration & Procedures: See Article 8.		

Permitted Uses

Public, Institutional, and Community Uses: Government Uses, Public Outdoor Parks and Recreational Uses

Commercial Uses: Enclosed Agriculture, Financial Institution, Office

Conditional Uses

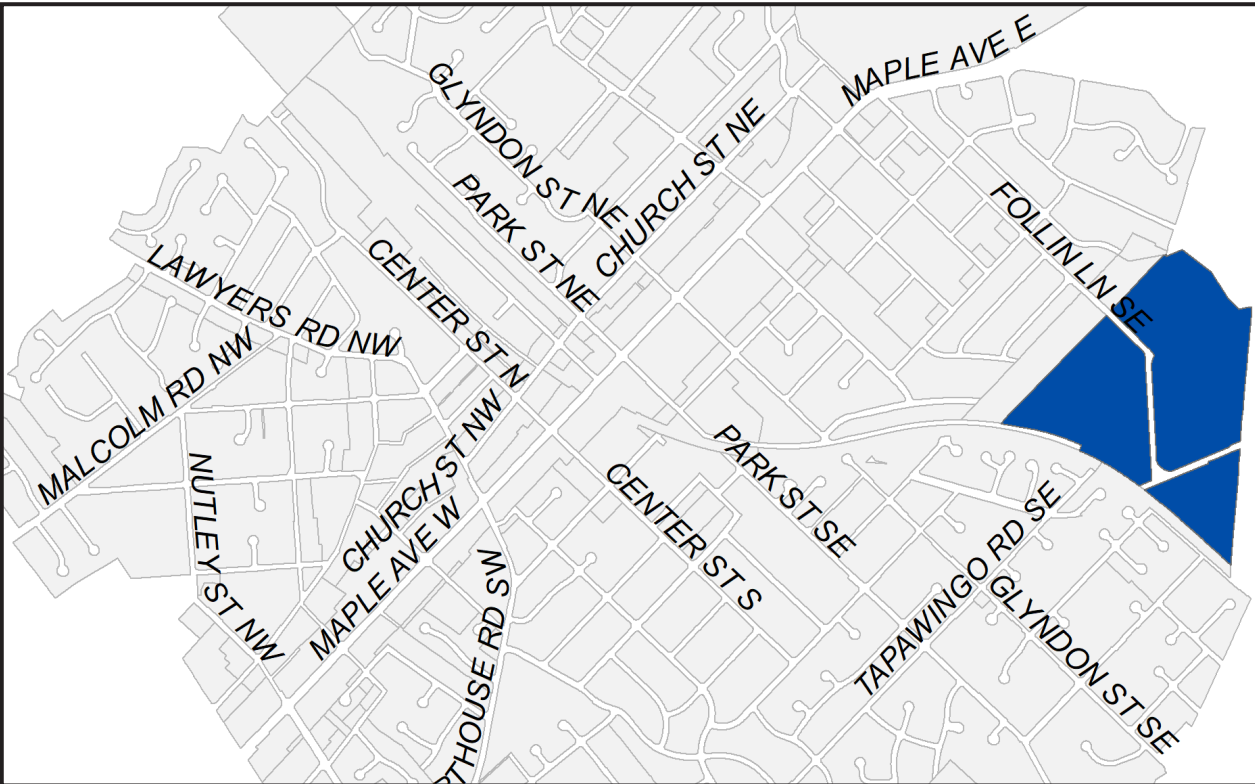
Public, Institutional, and Community Uses: Convention or Conference Center, Utility Facility

Industrial Uses: Craft Beverage Production Establishment, Data Center

Special Uses: College or University

Accessory Uses: Cafeteria, Community Garden, Residence for Manager or Employee, Ride Share Standing Area, Vehicle Charging Station

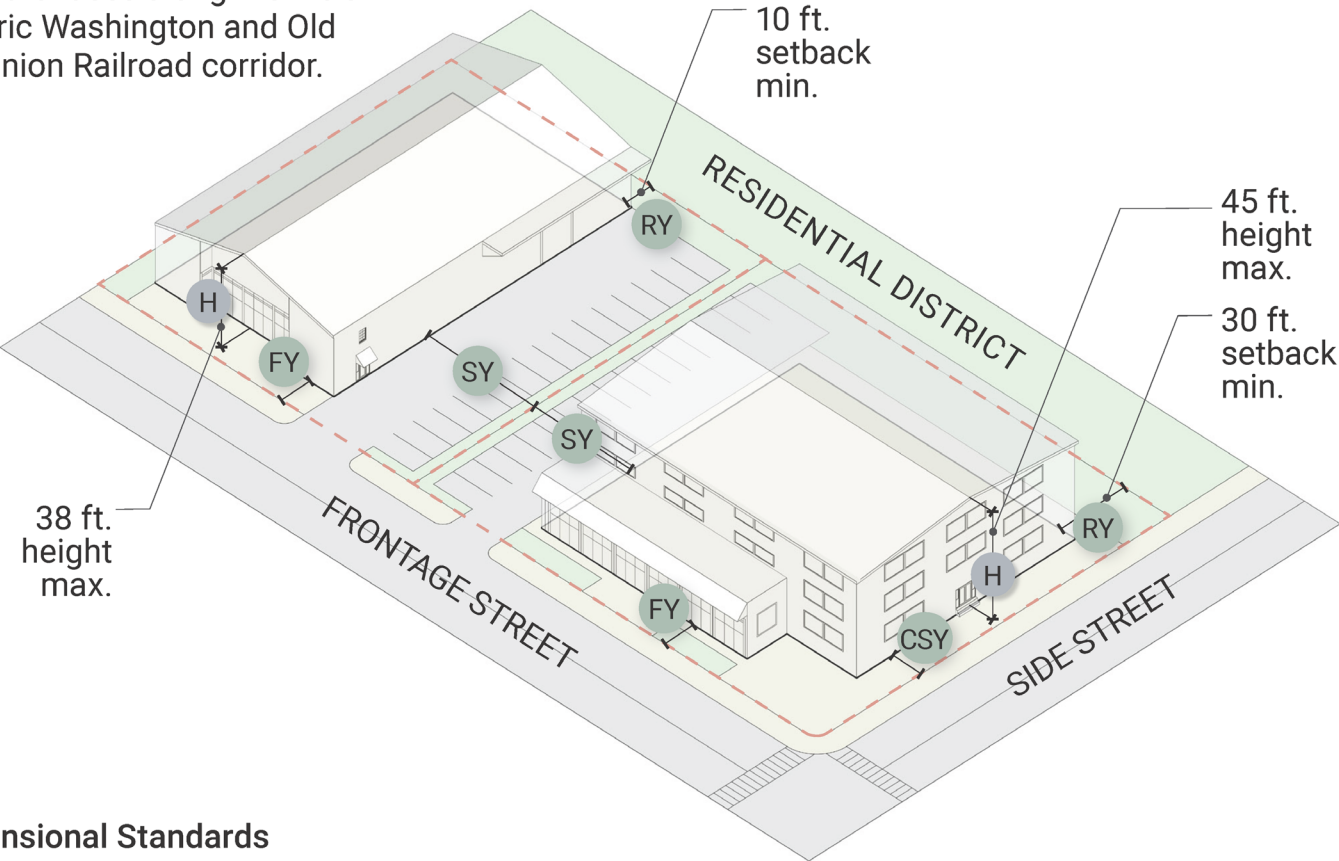
Temporary Uses: Construction Site Office and Storage, Farmers Market, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer



15. MILL DISTRICT (MD)

Section 18-33 MD Purpose

The purpose of the Mill District is to provide standards for light industrial uses along Vienna’s historic Washington and Old Dominion Railroad corridor.



Dimensional Standards

BUILDING PLACEMENT STANDARDS			BUILDING STANDARDS	
FY	Front Yard Setback	15 ft. min.	H	Building Height
SY	Side Yard Setback	Minimum required by Virginia Uniform Statewide Building Code.		45 ft. max.
RY	Rear Yard Setback	10 ft. min. If rear yard abuts a residential district the minimum is 10 ft. when building height is limited to 38 ft. If rear yard abuts a residential district the minimum is 30 ft. when building height is limited to 45 ft.		38 ft. max. if lot abuts a residential district and rear yard setback of less than 30 ft. is provided.
CSY	Corner Side Yard Setback	15 ft. min.	Reference to Other Standards Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4; Development Standards - Non-Residential: See Article 5.	

Permitted Uses

Public, Institutional, and Community Uses: Government Uses, Public Outdoor Parks and Recreational Uses

Commercial Uses: Pet Grooming, Brewpub, Catering, Restaurant, Shared Kitchen, Office, Public Entertainment, General Services, Small Grocery, Small Retail, Vehicle Repair and Maintenance

Industrial Uses: Artisan Manufacturing, Light Manufacturing, Building Materials Storage and Sales, Composting Drop-off Facility, Craft Beverage Production Establishment, Production or Processing, Recycling Drop-off Facility, Storage Yard, Warehouse, Wholesale

Conditional Uses

Public, Institutional, and Community Uses: Utility Facility

Commercial Uses: Enclosed Agriculture, Veterinary, Brewpub, Restaurant, Adult Entertainment, Public Entertainment

Industrial Uses: Self-storage

Accessory Uses: Dancing and Entertainment Accessory Use, Drive-through Windows/Facilities Accessory Use, Smoking Lounge Accessory Use

Special Uses: Religious Assembly

Accessory Uses: Outdoor Dining, Outdoor Display and Sales, Residence for Manager or Employee, Ride Share Standing Area, Vehicle Charging Station

Temporary Uses: Construction Site Office and Storage, Farmers Market, Portable Storage Container, Hypothermia Prevention Shelter, Special Event, Public Use Trailer

