



Yellow **DINER**

501 MAPLE AVENUE W
VIENNA, VIRGINIA
22180

BAR SUBMISSION
July 21, 2022

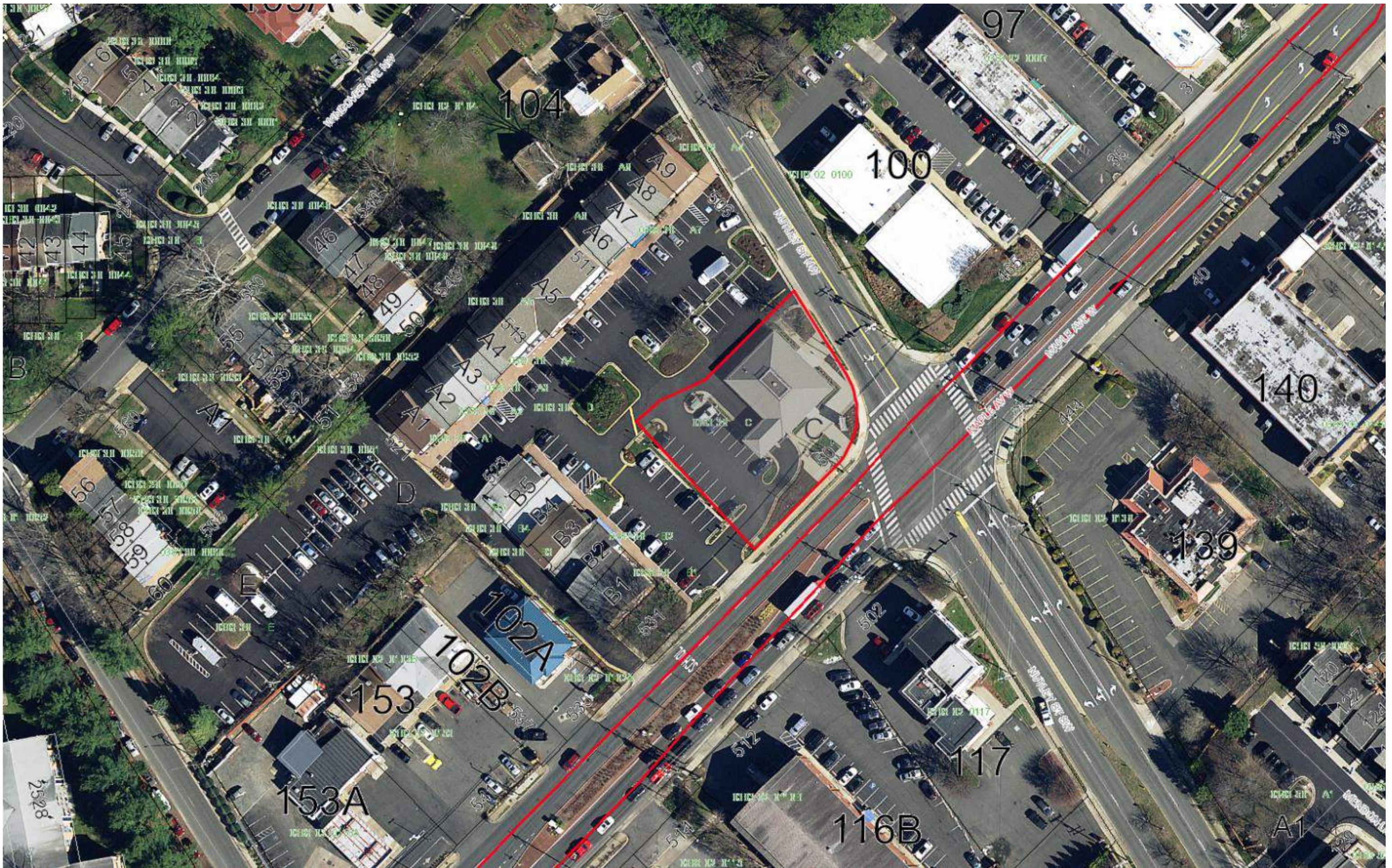
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Yellow
DINER

**EXISTING CONDITIONS &
SITE PHOTOS**



EXISTING AERIAL VIEW



SOUTH ELEVATION



WEST ELEVATION



NORTHWEST ELEVATION



NORTH ELEVATION

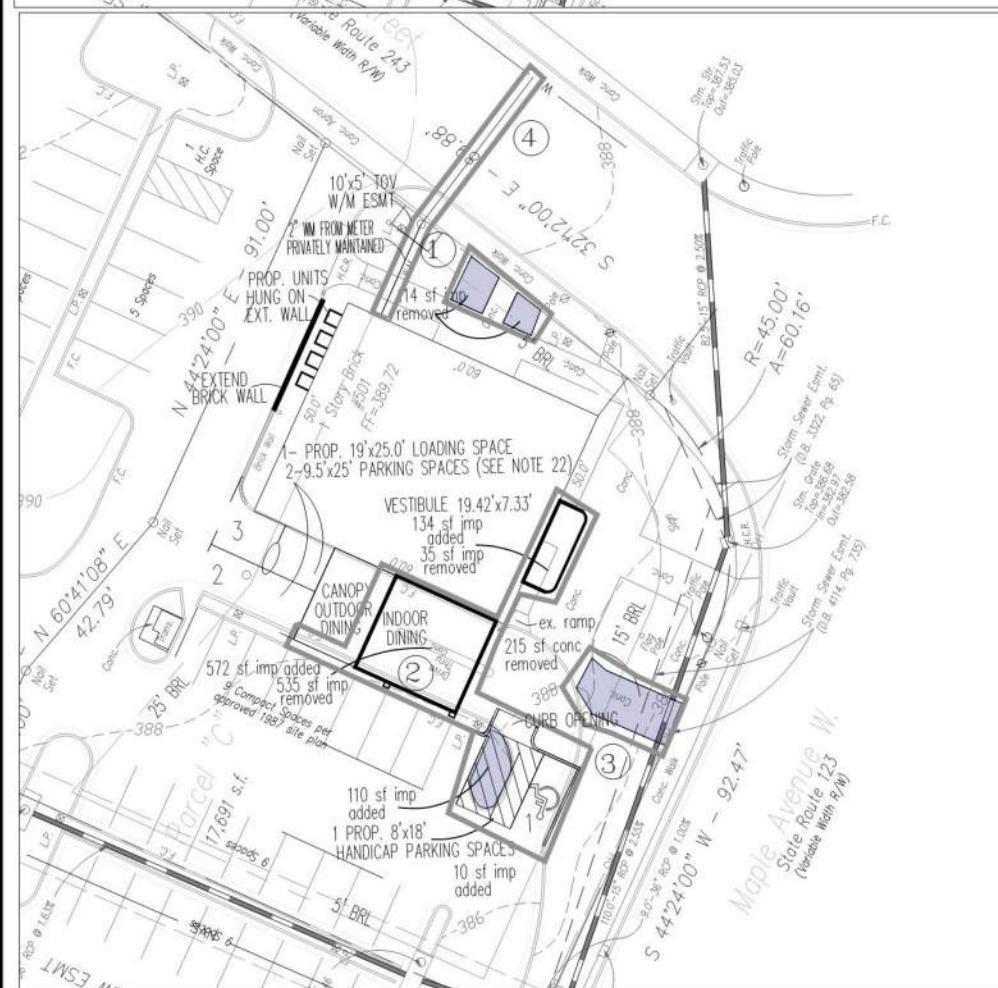
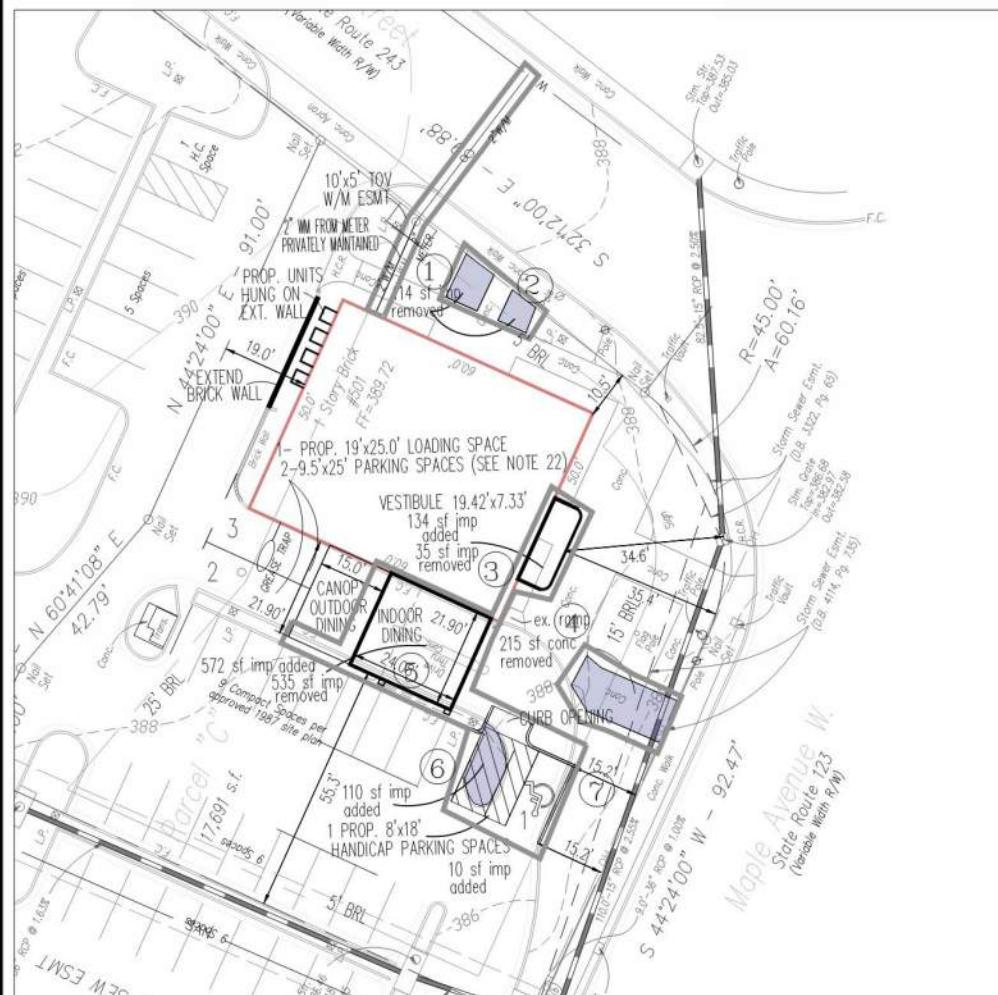


NORTHEAST ELEVATION

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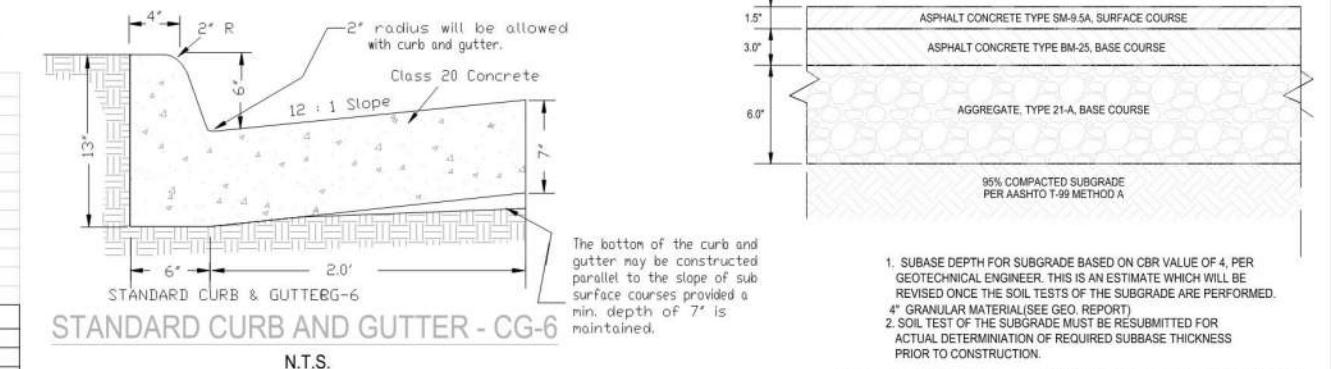
**CIVIL & LANDSCAPE
PLANS**





SUMMARY OF ADDED/ REMOVED IMPERVIOUS ARE

IMPERVIOUS AREAS		
DESCRIPTION	ADDED	REMOVED
AREA 1 - SIDEWALK	0	71
AREA 2 - SIDEWALK	0	43
AREA 3 - VESTIBULE	134	35
AREA 4 - SIDEWALK	0	215
AREA 5 - INDOOR DINING	572	535
AREA 6 - PAVEMENT /ISLAND	110	0
AREA - 7 CURB	10	0
TOTAL	826	899
NET		73



STANDARD CURB AND GUTTER - CG-6

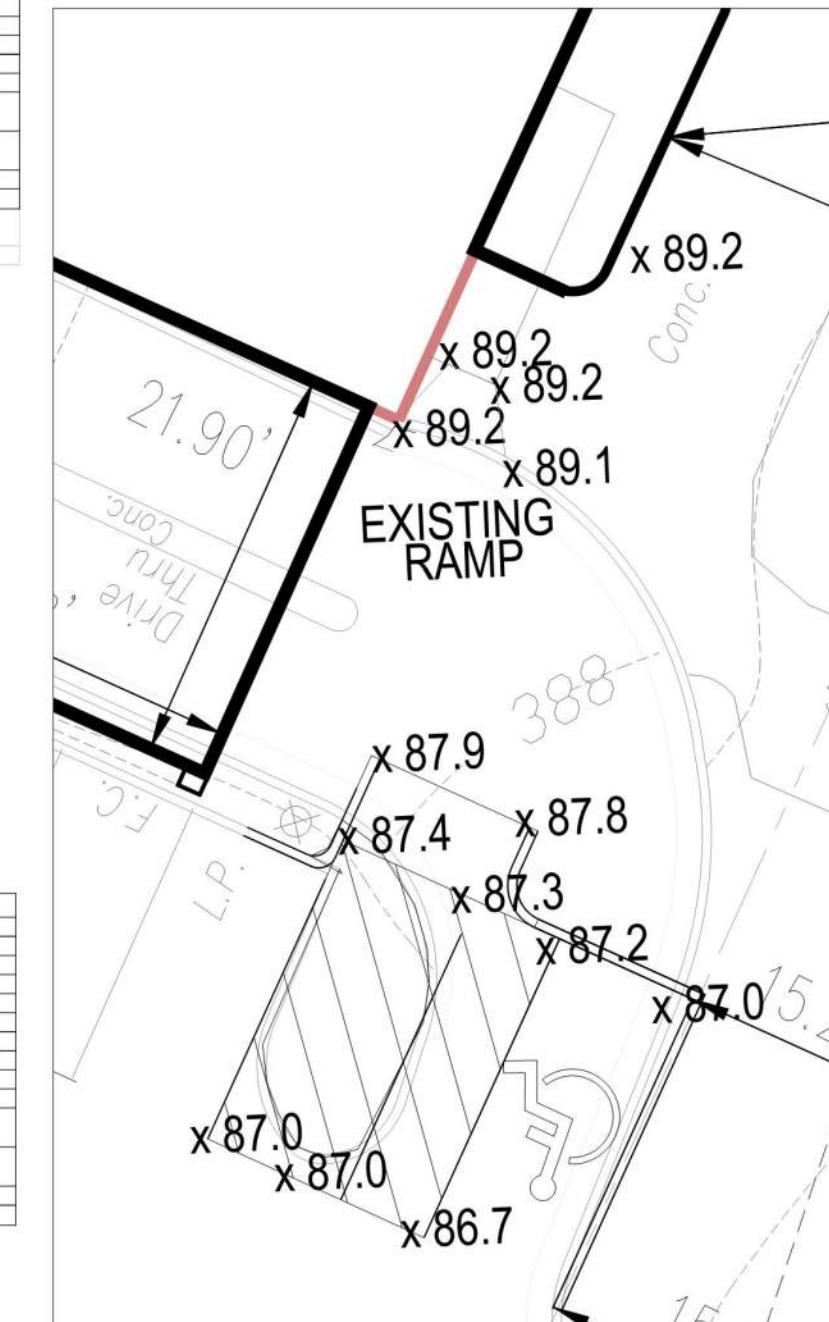
N

bottom of the curb and may be constructed to the slope of subcourses provided a depth of 7" is attained.

1. SUBBASE DEPTH FOR SUBGRADE BASED ON CBR VALUE OF 4, PER GEOTECHNICAL ENGINEER. THIS IS AN ESTIMATE WHICH WILL BE REVISED ONCE THE SOIL TESTS OF THE SUBGRADE ARE PERFORMED.
4" GRANULAR MATERIAL (SEE GEO. REPORT)
2. SOIL TEST OF THE SUBGRADE MUST BE RESUBMITTED FOR ACTUAL DETERMINATION OF REQUIRED SUBBASE THICKNESS PRIOR TO CONSTRUCTION.

PARKING LOT PAVEMENT SECTION

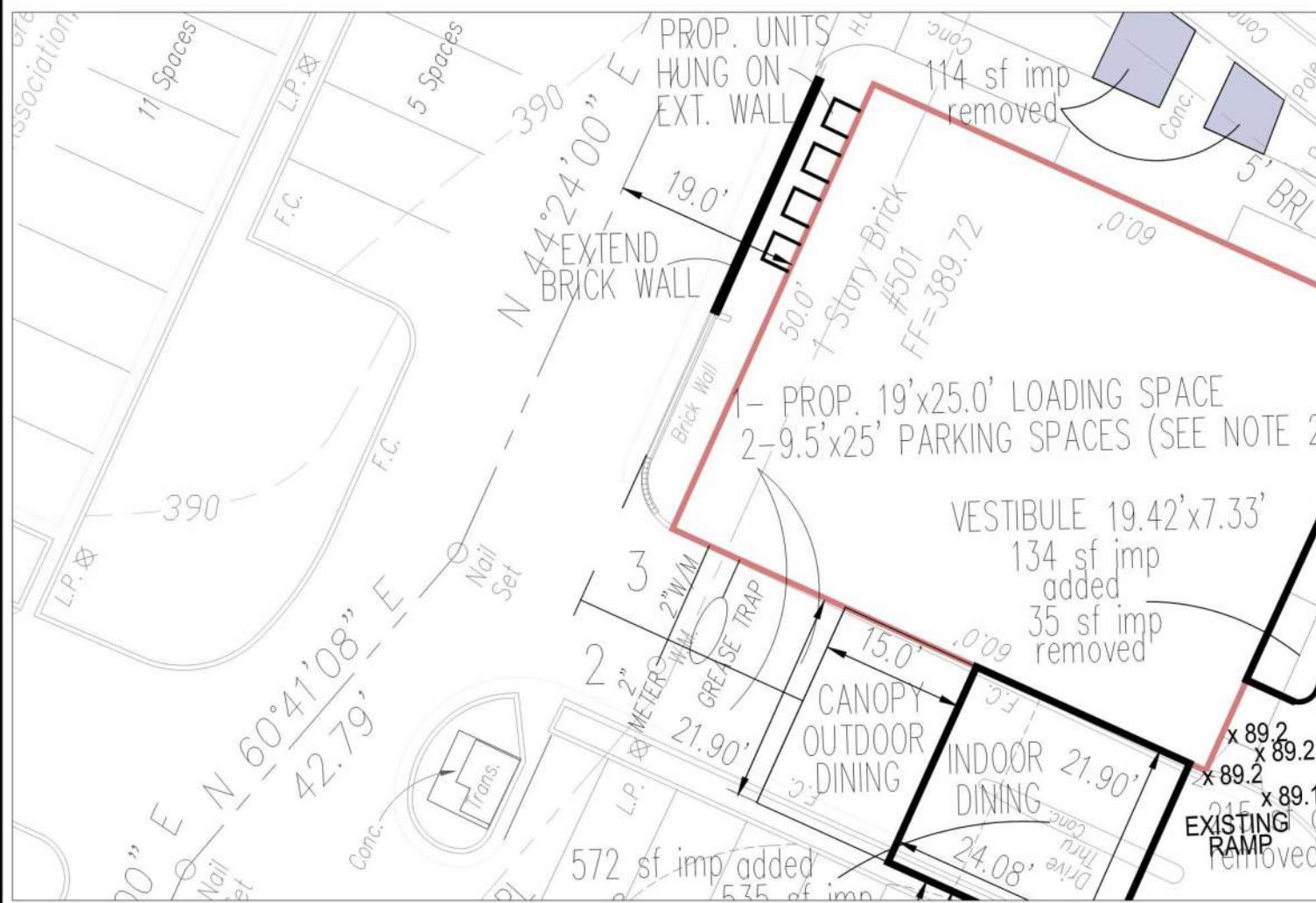
N.T.S.



PARKING LOT (HANDICAP) SPOTS

1

501 MAPLE AVE, W		DETAILS
HUNTER MILL DISTRICT - TOWN OF VIENNA-FAIRFAX COUNTY, VIRGINIA		
PROJ. NO:	180414.01	
DATE:	April 2022	
DWG. BY:	DMU	
SCALE:	1"=20'	
CHECK BY:	DMU	
DESIGNER:	Jordan Land Design LLC	
DEVELOPER:	JDA CUSTOM HOMES	
CONTACT: DENNIS RICE PO BOX 1208 VIENNA, VIRGINIA 22183 PHONE: (703) 938-1119		
ENGINEER:	David M. Jordan	
CONTACT: DAVID M. JORDAN 18167 CHANNEL RIDGE COURT LEESBURG, VA 20176 PHONE: (571) 231-5830		
COMMONWEALTH OF VIRGINIA DAVID M. JORDAN LIC. NO. 23297 4/19/22 PROFESSIONAL ENGINEER		
ENGINEER'S SEAL & SIGNATURE		
PROJ. NO:	COUNTY NUMBER:	
DATE:	TOWN OF VIENNA #:	
DWG. BY:	N/A	
SCALE:	SHEET NO:	
1"=20'	3	
	OF 4	



GI-1 GREASE INTERCEPTOR SIZING- PDI METHOD						
Fixture	Qty	Trap Size	Drainage Fixture-Unit Value	GPM Equivalent	Total	PDI Grease Interceptor Size
0	0	4"	6	45	0	
3xFD-1	3	3"	3	37.5	112.5	
FS/27/30.1	11	2"	3	22	242	
TOTAL GPM					354.5	500 GPM

GI-2 GREASE INTERCEPTOR SIZING- PDI METHOD						
Fixture	Qty	Trap Size	Drainage Fixture-Unit Value	GPM Equivalent	Total	PDI Grease Interceptor Size
-	0	4"	6	45	0	
B9	1	3"	5	37.5	37.5	
B1.B13.B13.1	6	2"	3	22	132	
TOTAL GPM					169.5	200 GPM 400 LBS

Project Name: The Yellow Diner			
Domestic Demand (Continuous)			
Fixture Type (standardized at 60 psf)	Fixture value (gpm)	Number of Fixtures	Total Fixture Value (gpm)
Bathtub	8	x	0
Bedpan Washers	10	x	0
Bidet	2	x	0
Dental Unit	2	x	0
Drinking Fountain (public)	2	x	0
Faucet (kitchen sink)	2.2	x	13
Faucet (bathroom)	1.5	x	12
Shower Head (shower only)	2.5	x	0
Faucet (utility sink)	4	x	8
Urinal (flush valve)	35	x	0
Urinal (wall or stall)	16	x	16
Urinal Trough (2 ft. unit)	2	x	0
Toilet Flush Valve	35	x	0
Toilet Tank Type	4	x	16
Dishwasher	2	x	4
Clothes Washer	6	x	0
Hose (50 ft length wash down) 1/2" connection	5	x	10
Hose (50 ft length wash down) 5/8" connection	9	x	0
Hose (50 ft length wash down) 3/4" connection	12	x	0
other	x	=	0
Total Fixture Value	=	79	
Water Flow Demand per fixture value (Figures 1 & 2 (see page 5 of 5) gpm	=	45	
Pressure adjustment factor (Table 1 (see page 4 of 5))	=	1.00	
Water Flow Demand x Pressure Factor gpm	=	45.0	
Total Domestic Demand gpm	=	45	

Information obtained from the American Water Works Association H22 2nd Ed.

Meter Size 1"

page 2 of 5

70 SIZING WATER SERVICE LINES AND METERS						
Table 6-1 AWWA meter standards						
Meter Displacement	Minimum Flow Rate gpm	Low-Normal Flow Rate gpm	Change-over Range (Compound Meter)	High-Normal Flow Rate gpm	Maximum Flow Rate gpm	Maximum Flow, psi
Positive displacement						
1/8 in.	0.25	1	N/A	7.5	15	15
1/4 in.	0.25	1		10	20	15
5/8 in.	0.50	2		15	30	15
1 in.	0.75	3		25	50	15
1 1/8 in.	1.50	5		50	100	15
2 in.	2.00	8		80	160	15
Multijet						
5/8 in.	0.25	1	N/A	10	20	15
1 in.	0.30	2		15	30	15
1 1/8 in.	0.75	3		25	50	15
2 in.	1.50	5		50	100	15
2 1/2 in.	2.00	8		80	160	15
Turbine class II						
1/8 in.	N/A	4	N/A	90	120	7
2 in.	4			140	190	7
3 in.	8			350	430	7
4 in.	15			650	750	7
6 in.	30			1,400	1,600	7
8 in.	50			2,400	2,800	7
10 in.	75			3,500	4,200	7
12 in.	120			4,400	5,300	7
16 in.	200			6,500	7,800	7
20 in.	300			10,000	12,000	7
Compound class II						
2 in.	0.25	1	13	80	160	15
3 in.	0.50	2	15	175	350	15
4 in.	0.75	3	18	300	600	15
6 in.	1.50	5	20	675	1,350	15
8 in.	2.00	16	35	900	1,600	15
Fire service, type II—compound						
3 in.	0.25	1	30	250	380	12
4 in.	0.50	4	40	400	700	12
6 in.	0.75	5	90	900	1,600	12
8 in.	1.50	8	150	1,600	2,800	12
10 in.	2.00	200	2,200	4,400	12	

Sources: Data are drawn from AWWA Standards C700, C701, C702, C703, C704, C706, C707, C712, C713, and C714, latest revision.
N/A = not applicable.
*Minimum flow rate is per the applicable AWWA standard for the bypass meter employed.

(Table continued on next page.)

AWWA Manual M22

PROJ. NO.	COUNTY NUMBER:
DATE:	APRIL 2022
DESIGN BY:	DMJ
CHECK BY:	DMJ
SCALE:	1" = 20'
4 OF 4	

501 MAPLE AVE, W
HUNTER MILL DISTRICT, TOWN OF VIENNA, FAIRFAX COUNTY, VIRGINIA

GREASE TRAP AND WATER DEMAND CALCULATIONS

DEVELOPER: **Jordan Land Design LLC**
CONTACT: DAVID M. JORDAN
18267 CHANNEL RIDGE COURT
LEESBURG, VA 20176
PHONE: (571) 233-5830

ENGINEER: **Jordan Land Design LLC**
CONTACT: DAVID M. JORDAN
18267 CHANNEL RIDGE COURT
LEESBURG, VA 20176
PHONE: (571) 233-5830

ENGINEER'S SEAL & SIGNATURE: 

4/9/22

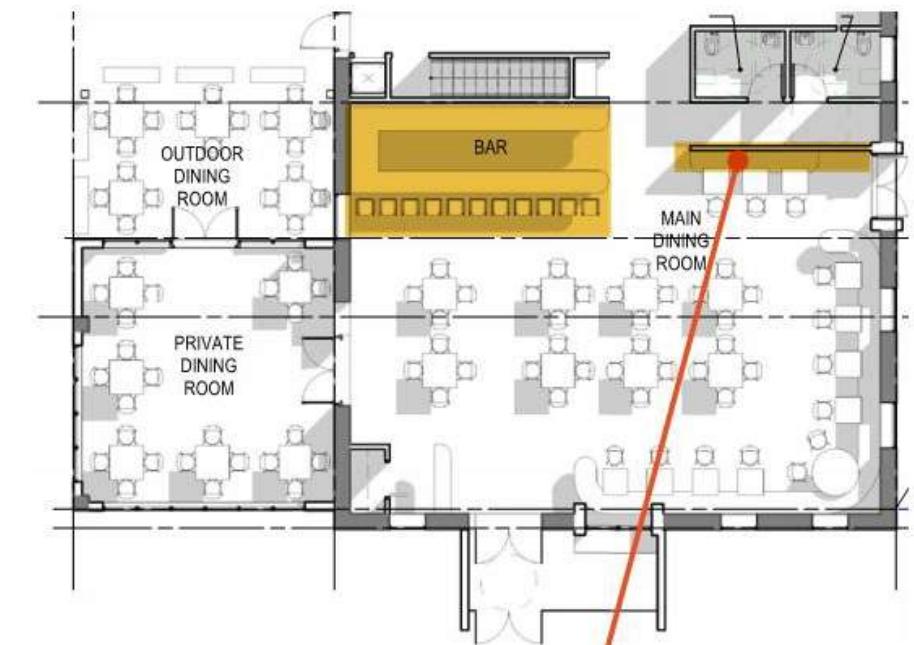


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DINER

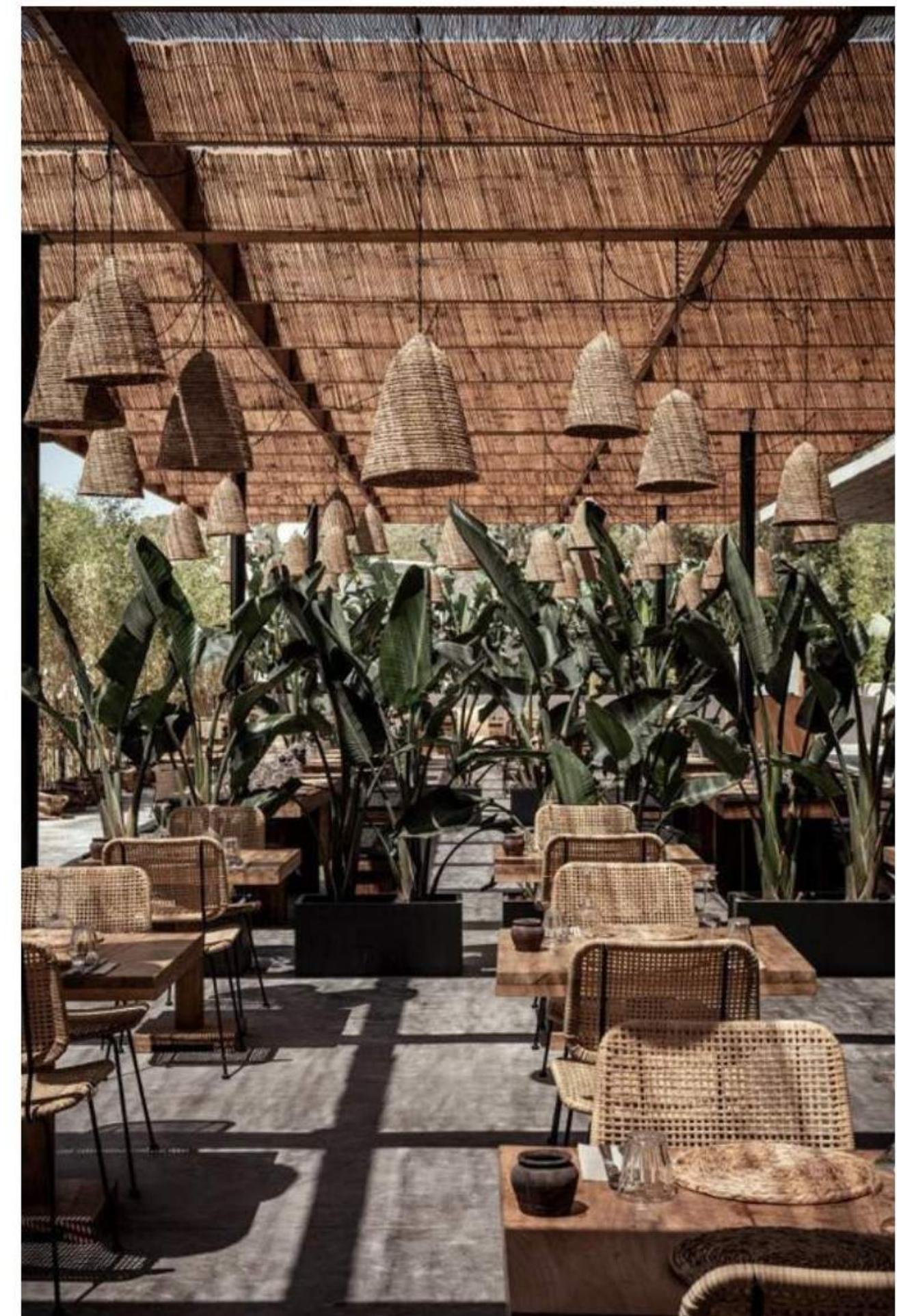
DESIGN INSPIRATION



SIMPLE, INVITING, UPDATED EXTERIOR



PRECEDENT IMAGES - WHITE, TEXTURED WALLS WITH ARCHWAYS - WOOD AND YELLOW ACCENTS

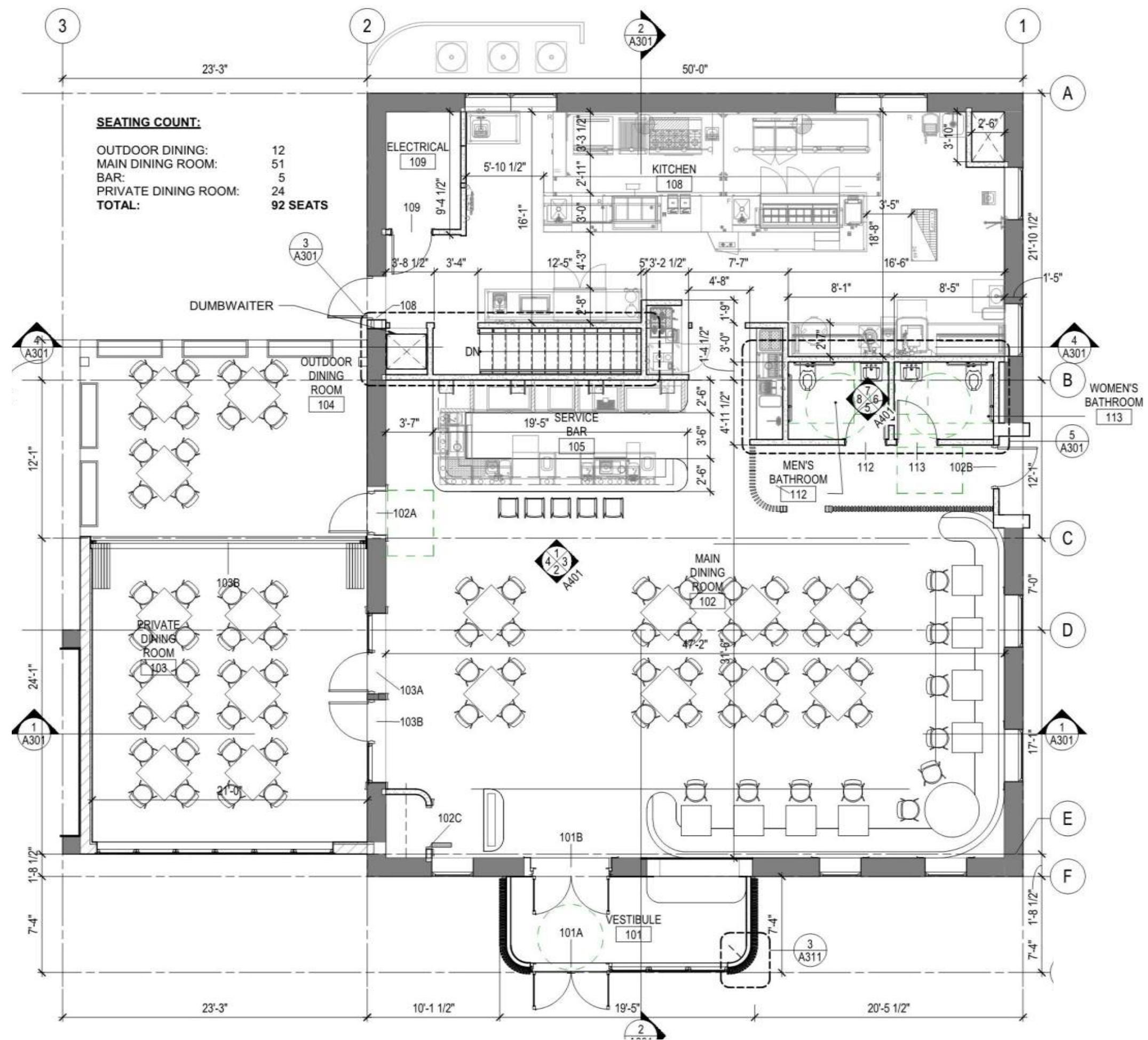


PRECEDENT IMAGES - OUTDOOR DINING - WOOD TRELLIS, WICKER AND GREENERY



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**FLOOR PLANS &
ELEVATIONS**



GROUND FLOOR PLAN



MATERIAL LEGEND

SW 7008
Alabaster
Honey - Creme
Swatch Number 20-13

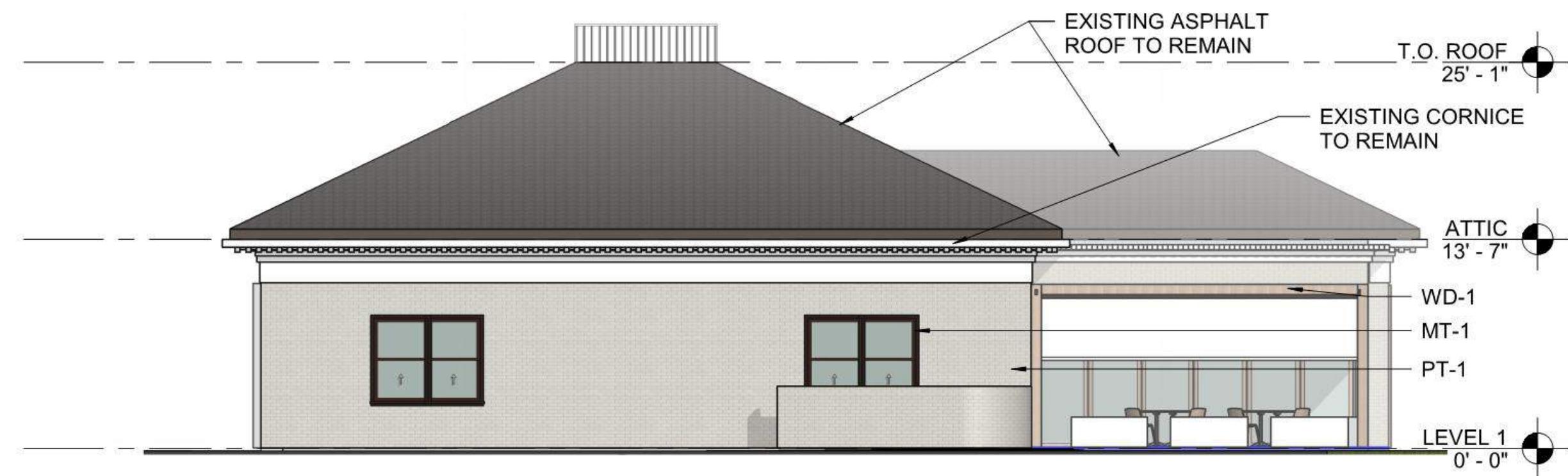
PT-1
SW 7008 ALABASTER

WD-1
WOOD, WHITE OAK

MT-1
ALUMINUM CLADDING
COPPER PEARLESCENT

2 SOUTH ELEVATION

1/8" = 1'-0"



1 NORTH ELEVATION

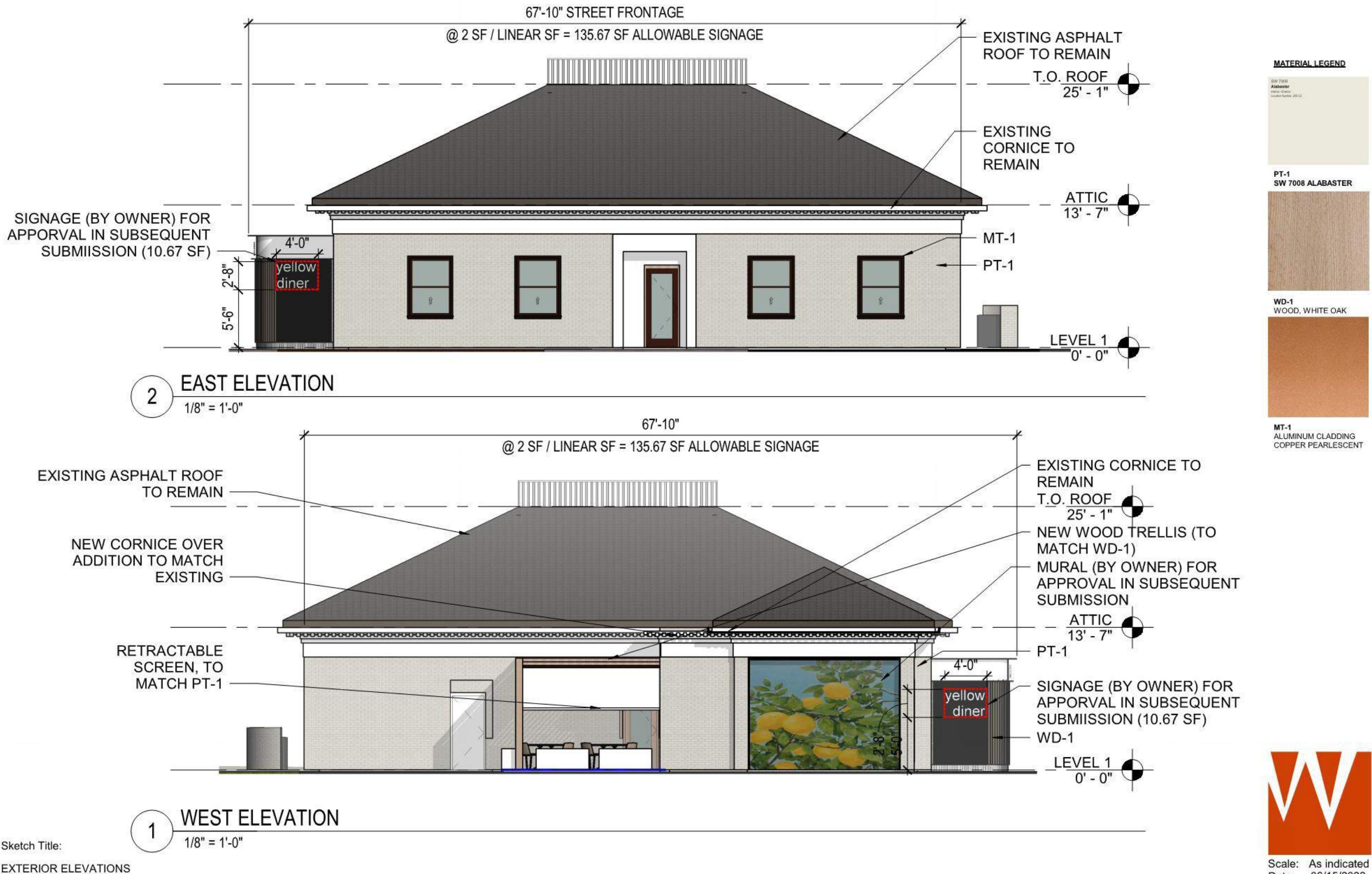
1/8" = 1'-0"

Sketch Title:

EXTERIOR ELEVATIONS



Scale: As indicated
Date: 06/15/2022



Yellow
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**EXTERIOR LIGHTING &
PLANTERS**

DATE

PROJECT

FIRM

TYPE

THE L50 INCLUDES PATENTED OPTICAL DESIGN THAT DELIVERS THE WIDEST RANGE OF BEAM ANGLE OPTIONS FOR PRECISE COVE, WALL GRAZING, WALL WASHING OR LINE OF LIGHT APPLICATIONS. EXCLUSIVE FLIP TO FLAT™ HINGE DESIGN PROVIDES FLEXIBILITY WHEN MANAGING SMALL COVE DETAILS. TROV OFFERS SMOOTH, FLICKER FREE DIMMING DOWN TO 0%.

FEATURES :

- DIM TO 0%, ELV REVERSE PHASE
- 24 BEAM ANGLES
- MULTI-VOLT
- FLIP TO FLAT™
- 6 CCT OPTIONS
- 80+ AND 90+ CRI OPTIONS
- IP54 INTERIOR AND IP66 EXTERIOR OPTIONS



MODEL/ SIZE	INTERIOR/ EXTERIOR	LENGTH	POWER	CCT	CRI	VOLTAGE	OPTICS
L50	I E	12" 48"	02 04 06 08 10 12	WHITE CCT MONO COLOR 22 27 BL 30 AM 35 RD*** 40 50	80 90* Blank For Color	MULT (120-277V)	GRAZING 9 x 9 9 x 17 9 x 29 9 x 59 15 x 15 15 x 23 15 x 35 15 x 65 COVE 40 x 90 120** Asym LINE OF LIGHT LOL WASHING 25 x 25 25 x 33 25 x 45 25 x 75 39 x 9 55 x 25 40 x 40 40 x 48 40 x 60 40 x 90 45 x 15 70 x 40 70 x 70

EXAMPLE: L50-I-48-10-27-90-MULT-15x65 *90 CRI not available in 2200K or 5000K **120 is only available with Exterior option. See L35 spec sheet for interior cove options. ***Red is not available in 12W or 10W. ****Green is not available in 12W.

PERFORMANCE	WATTS	OPTIC	LUMEN OUTPUT	EFFICACY
2W	9'x 29'	110 Im/LF (361 lm/m)	55 lm/W	
4W	9'x 29'	302 Im/LF (1037 lm/m)	76 lm/W	
6W	9'x 29'	482 Im/LF (1614 lm/m)	80 lm/W	
8W	9'x 29'	675 Im/LF (2224 lm/m)	84 lm/W	
10W	9'x 29'	785 Im/LF (2644 lm/m)	79 lm/W	
12W	9'x 29'	923 Im/LF (3109 lm/m)	77 lm/W	

ALL LUMEN DATA IS FROM 4000K 80CRI FIXTURES. PLEASE SEE PHOTOMETRY SPEC SHEET FOR ADDITIONAL LUMEN DATA.

COLOR RENDERING INDEX

80+, 90+

COLOR CONSISTENCY

2-STEP MACADAM ELLIPSE

LUMEN DEPRECIATION / RATED LIFE

WATTS | L70 @ 25C | L70 @ 50C | L90 @ 25C | L90 @ 50C

2W-12W | >150,000 | >70,000 | >50,000 | >25,000

*CALCULATIONS FOR LED FIXTURES ARE BASED ON MEASUREMENTS THAT COMPLY WITH IES LM-80 TESTING PROCEDURES AND IES TM-21 CALCULATOR

* CALCULATIONS FOR LED FIXTURES ARE BASED ON MEASUREMENTS THAT COMPLY WITH IES LM-80 TESTING PROCEDURES AND IES TM-21 CALCULATOR

ELECTRICAL	POWER CONSUMPTION	2W*/LF (6.6W/M); 4W/LF (13.2W/M); 6W/LF (19.8W/M); 8W/LF (26.4W/M); 10W/LF (33W/M); 12W/LF (39.6W/M) * 3W/LF (9.9W/M) at 220V -277V																
MAX FIXTURE RUN LENGTH		2W/LF	4W/LF	6W/LF	8W/LF	10W/LF	12W/LF	Volts	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'
		214	214	186	186	152	152	120	214	186	152	152	114	114	91	91	76	76
		374	392	340	340	277	277	220	374	392	340	340	209	209	95	167	95	139
		277	374	494	374	428	349	349	263	263	263	263	95	190	95	175		

POWER FACTOR
OPERATING VOLTAGE
DRIVER
STARTUP TEMPERATURE
OPERATING TEMPERATURE
STORAGE TEMPERATURE

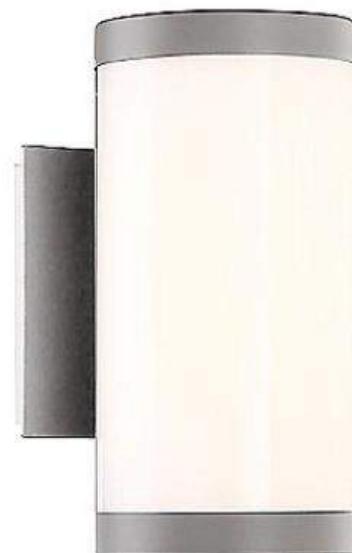
4W, 6W, 8W, 10W, 12W >0.9, 2W<0.9
MULTIVOLT: 110-277VAC, 50/60 Hz
INTEGRAL TO FIXTURE; DE-RATED POWER AND SYNCHRONOUS START-UP AT FULL BRIGHTNESS
-40°F TO 122°F (-40°C TO 50°C)
-40°F TO 122°F (-40°C TO 50°C)
-40°F TO 176°F (-40°C TO 80°C)

Product Options

Finish: Bronze, Titanium

Size: 9 Inches, 16 Inches, 24 Inches

Color Temperature: 3000, 4000



Details

- Aluminum construction with a natural white UV-rated acrylic diffuser.
- AC LED technology - no driver or transformer required. Easily fits on a pancake junction box. 277V, 240V, or custom CCT options available by special order.
- Material: Aluminum
- Shade Material: UV-rated Acrylic
- Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100-10
- Title 24 compliant
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In China

Notes:

Dimensions

9 Inches Option Fixture: Width 5", Height 9", Depth 5.19"

9 Inches Option Wall Plate: Width 5", Height 5", Depth 0.63"

16 Inches Option Fixture: Width 5", Height 16", Depth 5.19"

16 Inches Option Wall Plate: Width 5", Height 5", Depth 0.63"

24 Inches Option Fixture: Width 5", Height 24", Depth 5.19"

24 Inches Option Wall Plate: Width 5", Height 5", Depth 0.63"

Lighting

- 9 Inches Option: 11 Watt (776 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours
- 9 Inches Option: 11 Watt (807 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 4000K Lifespan: 50000 hours
- 16 Inches Option: 20 Watt (1683 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours
- 16 Inches Option: 20 Watt (1788 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 4000K Lifespan: 50000 hours
- 24 Inches Option: 37 Watt (3132 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours
- 24 Inches Option: 37 Watt (3241 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 4000K Lifespan: 50000 hours

Additional Details

Product URL:

<https://www.ylighting.com/cylo-led-wall-sconce-by-dweled-WACP201543.html>

Rating: ETL Listed Wet

Product ID: WACP201543

Prepared by:

Prepared for:

Project:

Room:

Placement:

Approval:

55000 Spot Light

By Hinkley



Call Us 866.428.9289

Details

- ETL Listed Wet
- Made In China

Additional Details

Product URL: <https://www.ylighting.com/55000-spot-light-by-hinkley-HKYY12676.html>

Rating: ETL Listed Wet



Notes:

Product ID: HKYY12676

Prepared by:

Prepared for:

Project:

Room:

Placement:

Approval:

Created December 6th, 2021



Fora Indoor/Outdoor Pendant

By Bover



Call Us 866.428.9289

Product Options

Finish: Brown Graphite with Brown Shade , Natural White with Light Beige Shade

Size: Small , Large

Details

- Round ceiling canopy
- Electric cord encased with protective neoprene
- Field-cuttable suspension cables
- Adjustable height by tensor wire
- Additional finish combinations available. Please call our team of product specialists for more information.
- Designed by Alex Fernández Camps, Gonzalo Milà in 2010
- Material: Clear PMMA diffuser
- Shade Material: Synthetic rattan
- ETL Listed Wet
- Made In Spain



Notes:

Dimensions

Small Option Cable: Length 59.06"

Small Option Canopy: Diameter 4.72"

Small Option Maximum Hanging: Length Adjustable To 70.87"

Small Option Shade: Height 11.81", Diameter 19.69"

Large Option Cable: Length 59.06"

Large Option Canopy: Diameter 5.51"

Large Option Maximum Hanging: Length Adjustable To 70.87"

Large Option Shade: Height 21.85", Diameter 35.43"

Lighting

- Small Option: Two 18 Watt (1200 Lumens) 120 Volt E26 Medium Base Fluorescent Lamp(s) (Not Included)
- Large Option: Two 23 Watt (1380 Lumens) 120 Volt E26 Medium Base Fluorescent Lamp(s) (Not Included)

Additional Details

Product URL:

<https://www.ylighting.com/fora-outdoor-pendant-light-by-bover-uu506855.html>

Rating: ETL Listed Wet

Product ID: uu506855

Prepared by:

Prepared for:

Project:

Room:

Placement:

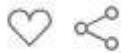
Approval:

Created December 6th, 2021





Your Price: **\$1,173.95**



Tolga Modern Planter Boxes

JAY SCOTTS

★★★★★ 7 Reviews

Not sure about the color? Order a [Free Fiberglass Color Sample](#) or a [Free Texture Color Sample](#)
Current lead time on in-stock planters is 1-2 weeks

Size: *

36" L x 16" W x 24" H

48" L x 16" W x 24" H

60" L x 16" W x 24" H

Color: *

Antique White

Finish: *

Low Gloss

High Gloss

Drainage Holes: *

No Drainage Holes

Yes Drainage Holes

Quantity:

▼ 1 ▲

ADD TO CART



Free shipping



3 year warranty



Designed, finished,
shipped in USA



Yellow
DINER

RENDERINGS



*LANDSCAPING AND HARDSCAPING SHOWIN FOR REFERENCE ONLY, REFER TO LANDSCAPING PLAN FOR MORE INFORMATION

FRONT ENTRY



*LANDSCAPING AND HARDSCAPING SHOWN FOR REFERENCE ONLY, REFER TO LANDSCAPING PLAN FOR MORE INFORMATION

FRONT ENTRY



*LANDSCAPING AND HARDSCAPING SHOWIN FOR REFERENCE ONLY, REFER TO LANDSCAPING PLAN FOR MORE INFORMATION

FRONT ENTRY



*LANDSCAPING AND HARDSCAPING SHOWIN FOR REFERENCE ONLY, REFER TO LANDSCAPING PLAN FOR MORE INFORMATION

FRONT ENTRY



*LANDSCAPING AND HARDCAPING SHOWIN FOR REFERENCE ONLY, REFER TO LANDSCAPING PLAN FOR MORE INFORMATION

VIEW TO WEST ELEVATION FROM PARKING LOT