

- M AND Z CONSTRUCTION AND CONSULTING LLC
4568 SUPERIOR SQ, FAIRFAX, VA 22030
EMAIL: MIRWAISZOHORI@GMAIL.COM
PHONE: 571-623-5107

-
- 422.8 422.4 421.8
- 23' + (I) 23' + (H) 23' + (G)
- 422.6 24.2' 20.8' 12'
- SCREEN PORCH
- CHM W/W
- 23' + (J) 22' + (K) 22' + (L)
- 422.5 64' 22' + 421.5
- PROP. 2-STORY DWELLING
FF=425.2
BF=415.0
#103
- 68' 22' + 421.2
- PROPOSED GRADE
- B/W (E) EXISTING GRADE
- 22' + 421.6 21' + 421.2 420.8 420.5
- 22.8' 8' 14.2' 21' +
- PROP. 2-CAR GARAGE
GF=422.0
- PORCH @424.7
- (A) (B) (C) (D)

Spot	ELEVATION		Deviation
	EXISTING	PROPOSED	
A	421.6	421.5	-0.1
B	421.2	421.5	0.3
C	420.8	421.5	0.7
D	420.5	421.5	1.0
E	421.2	422.5	1.3
F	421.5	422.8	1.3
G	421.8	423.5	1.7
H	422.4	423.5	1.1
I	422.8	423.5	0.7
J	422.6	423.0	0.4
K	422.5	422.5	0.0
L	422.4	422.0	-0.4

ALL FOOTING SHALL BE SET A MINIMUM OF 30" BELOW FINAL GRADE IN ORDER TO PROVIDE ADEQUATE FROST COVER PROTECTION.

THE AREA LOCATED ADJACENT TO DWELLING IS TO BE SLOPED AT 5 % AWAY FROM THE FOUNDATION WALL IN ORDER TO PROVIDE POSITIVE DRAINAGE AWAY FROM DWELLING.

THE AREA LOCATED ADJACENT TO DWELLING IS TO BE SLOPED AT 5 % AWAY FROM THE FOUNDATION WALL IN ORDER TO PROVIDE POSITIVE DRAINAGE AWAY FROM DWELLING.

NO DOWNSPOUTS TO BE DIRECTED STRAIGHT TO THE NEIGHBOR PROPERTY.

CONTRACTOR TO ENSURE POSITIVE DRAINAGE ACROSS ALL SURFACES TO PRECLUDE THE PONDING OF WATER EITHER IN YARDS OR ON PAVED SURFACES. THIS DOES NOT APPLY TO PONDING ASSOCIATED WITH STORMWATER MANAGEMENT FACILITIES.

A SMOOTH GRADE SHALL BE MAINTAINED ACROSS ALL PAVEMENT SURFACES TO PRECLUDE FORMING OF FALSE GUTTERS AND/OR THE PONDING OF WATER IN THE ROADWAY. FINISH PAVING SURFACES SHALL BE FLUSHED WITH ABUTTING SURFACES AT THE SAME ELEVATION (I.E. GUTTERS, SIDEWALK, APRONS, ETC).

ANY PROPOSED STRUCTURAL FILL MATERIALS MUST HAVE APPROVAL OF THE GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF COMPACTION. FILL MATERIALS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERS SPECIFICATIONS AND UNDER HIS/HER GUIDANCE.

SANITARY SEWER LATERAL CONNECTION FROM PUBLIC MAIN TO REMAIN THE SAME; BUT TO BE VERIFIED BY THE TOWN OF VIENNA WATER AND SEWER INSPECTOR. A NEW 1" WATER SERVICE SHALL BE WET-TAPPED INTO THE MAIN AND NEW 1" METER IS REQUIRED.

ALL UTILITY SERVICES CONNECTION MUST BE DONE PER VIENNA TOWN CODE (§18-172.1) UNDERGROUND UTILITY SERVICES, IN ACCORDANCE WITH ACCEPTED STANDARDS OF UTILITY PRACTICE FOR UNDERGROUND CONSTRUCTION.

1. A PRE-CONSTRUCTION MEETING MUST BE HELD PRIOR TO THE START OF CONSTRUCTION. CALL 703-255-6384 TO SCHEDULE THE PRE-CONSTRUCTION MEETING.
2. ALL CONSTRUCTION GENERATED DEBRIS MUST BE HAULED AWAY BY THE CONTRACTOR OR OWNER.
3. PRIOR TO THE REMOVAL OF ANY TOWN TREES (TREES WITHIN THE RIGHT OF WAY), THE APPLICANT OR THEIR REPRESENTATIVE SHALL CONTACT THE TOWN OF VIENNA ARBORIST AT 703-255-6360 TO COORDINATE HAVING THE TOWN ARBORIST ONSITE DURING ALL TOWN TREE REMOVAL.
4. TREE PROTECTION FOR ANY TOWN TREE, AS SHOWN ON PLAN, MUST BE INSTALLED PRIOR TO ANY SITE WORK.
5. IT IS UNLAWFUL TO PERFORM ANY CONSTRUCTION ABOVE FOUNDATION CORNERS PRIOR TO APPROVAL OF SETBACKS. WORK COMPLETED IN VIOLATION OF THIS REQUIREMENT IS SUBJECT TO DEMOLITION.
6. ALL DUMPSTERS/PODS ARE TO BE PLACED ON PRIVATE PROPERTY.
7. FRONT ELEVATION CHECKS ARE REQUIRED.
8. WALL CHECK SURVEYS ARE REQUIRED AND MUST BE SUBMITTED PRIOR TO CONSTRUCTION ABOVE FOUNDATION CORNERS.
9. A CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO OCCUPANCY. ALL REQUIRED DOCUMENTATION AND INSPECTIONS MUST BE SUBMITTED/COMPLETED BEFORE THE TOWN OF VIENNA WILL ISSUE A CERTIFICATE OF OCCUPANCY.
10. EXISTING SANITARY SEWER LATERALS ARE TYPICALLY CAPPED AT OR NEAR THE PROPERTY LINE. THE REUSE OF THE PORTION OF THE EXISTING SANITARY SEWER LATERAL BETWEEN THE TOWN OWNED SEWER MAIN AND THE CAPPED END MAY BE ALLOWED PROVIDING THAT A LICENSED PLUMBER CERTIFIES THAT THE EXISTING PIECE OF PIPE IS GRADED PROPERLY AND IN LIKE NEW CONDITION. THE REUSE OF A PORTION OF THE EXISTING LATERAL DOES NOT IMPLY THAT THE TOWN IS WARRANTING THE CONDITION IN ANY WAY.

CALL "MISS UTILITY"

TELEPHONE 1-800-552-7001 FOR UTILITY LOCATION AT
LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.

I HEREBY CERTIFY THAT ALL WETLANDS PERMITS REQUIRED BY LAW WILL BE OBTAINED PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITIES.

OWNER NAME:

SIGNATURE:

DATE: _____

THE SOIL FROM EXCAVATING FOUNDATION WILL BE STOCKPILED IN THE AREA SHOWN ON THE SITE PLAN. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. ALL SOIL STOCKPILES, IF ANY, SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS AFTER GRADING. THE HEIGHT OF THE STOCKPILES MATERIAL SHALL NOT EXCEED 4 FT.

THE STOCKPILE MATERIAL SHALL BE PROTECTED FROM DRAINING INTO ADJOINING NON DISTURBED AREA BY SILT FENCE OR ANY OTHER SEDIMENT CONTROL DEVICES. THE EXCESS OR UNUSED STOCKPILE MATERIALS SHALL BE REMOVED FROM THE SITE AND WILL BE DUMPED AT APPROVED DUMPING SITE AFTER THE COMPLETION OF THE PROJECT.

Effective July 1, 2001.

Amendments to the Virginia Erosion Sediment Control Law, 10.1-563 and 10.1-566 of the code of Virginia

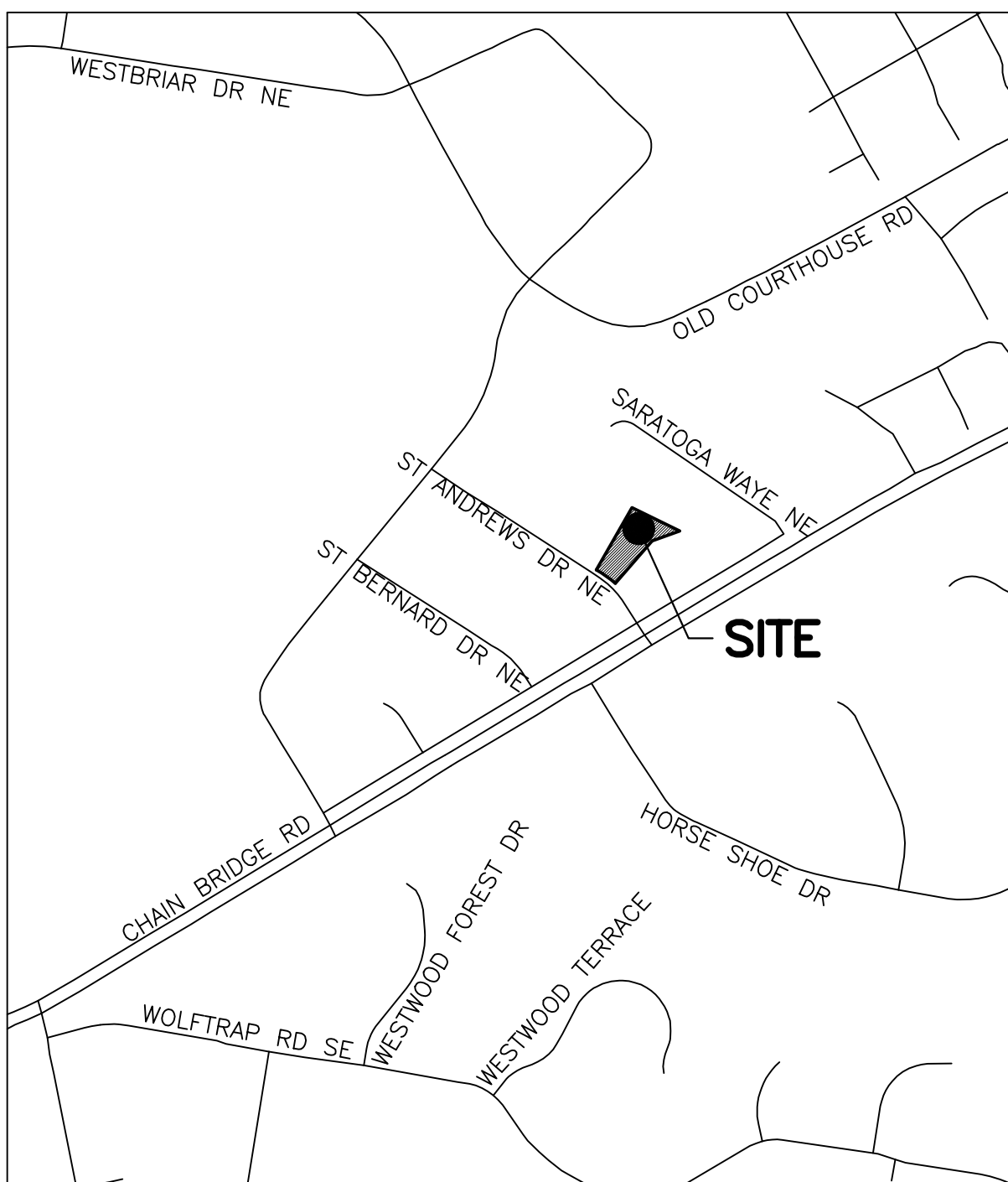
PROJECT NAME: 103 ST. ANDREWS DR NE PROJECT #:
DISTRICT: HUNTER MILL TOWN OF VIENNA
TAX MAP AND PARCEL #: 0391 12 0039
OWNER/DEVELOPER/ PERMITTEE: M AND Z CONSTRUCTION AND CONSULTING LLC
4568 SUPERIOR SQ
FAIRFAX, VA 22030
EMAIL: MIRWAISZOHORI@GMAIL.COM
PHONE: 571-623-5107

CERTIFICATE/LICENSE HOLDER NAME: MIR WAIS ZOHORI

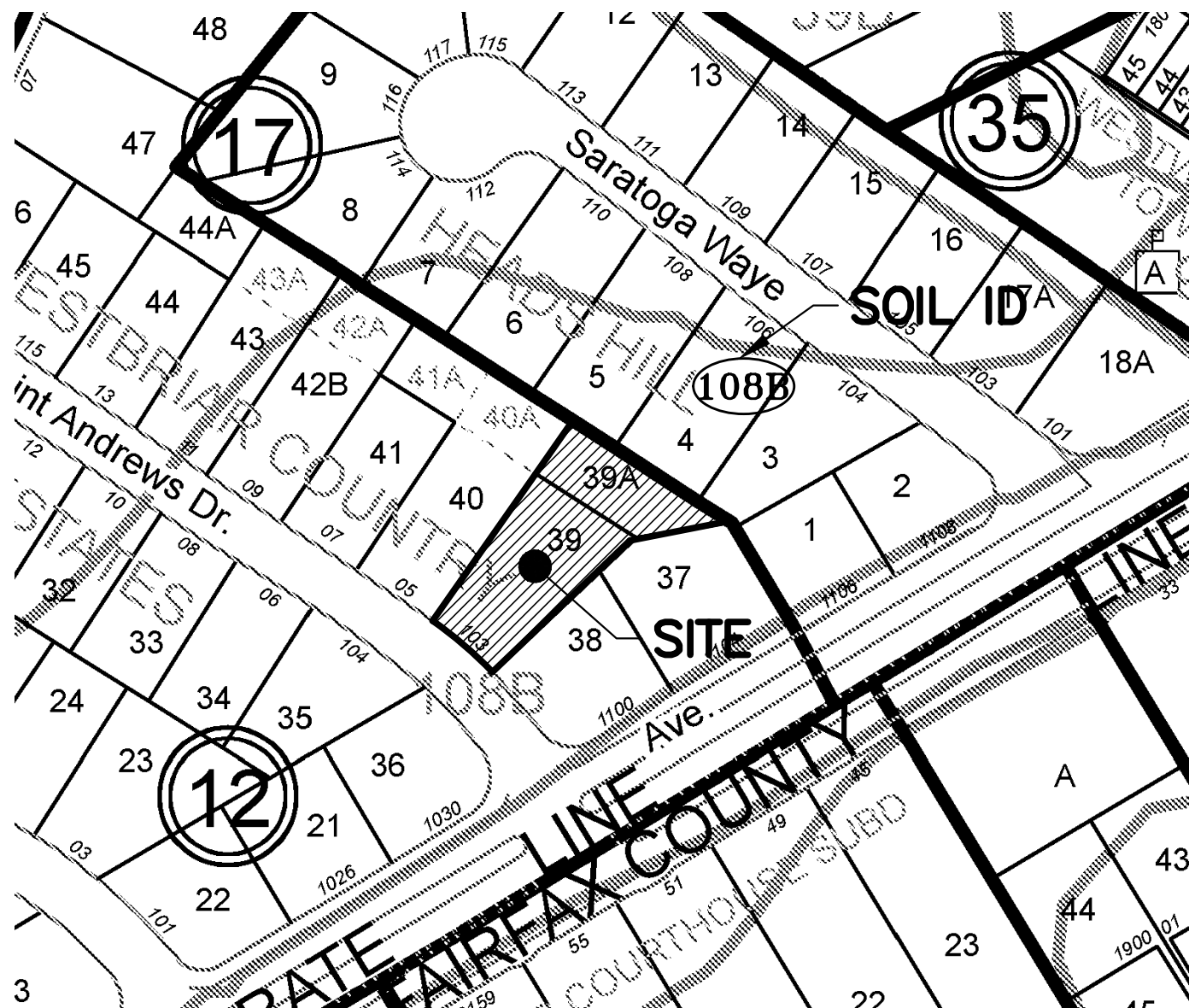
TYPE OF CERTIFICATE: RLD, #17846

SIGNATURE

DATE _____



VICINITY MAP
(SCALE: 1":500')



SOIL MAP
(SCALE: 1":150')

SOIL ID NUMBERS	SERIES NAME	FOUNDATION SUPPORT	SOIL DRAINAGE	SUITABILITY FOR SEPTIC DRAINFIELDS	SUITABILITY FOR INFILTRATION TRENCHES	EROSION POTENTIAL	SOIL HYDRO GROUP	SOIL PROBLEM CLASS
108	WHEATON-SUMERDUCK COMPLEX	MARGINAL	POOR	POOR	POOR	MEDIUM	D	IVB

1. COVER SHEET
2. EXISTING CONDITION PLAN
3. SITE GRADING PLAN
4. E&S CONTROL NARRATIVE AND DETAILS
5. E&S CONTROL NOTES & DETAILS
6. TREE CONSERVATION PLANS
7. LANDSCAPE PLAN
8. TCP NOTES AND DETAILS
9. VRRM COMPUTATIONS
10. HYDROGRAPHS
11. HYDROGRAPHS
12. SWM COMPUTATIONS AND OUTFALL ANALYSIS
13. BMP DETAIL & NOTES
14. SOIL REPORT

TOV APPROVAL STAMP

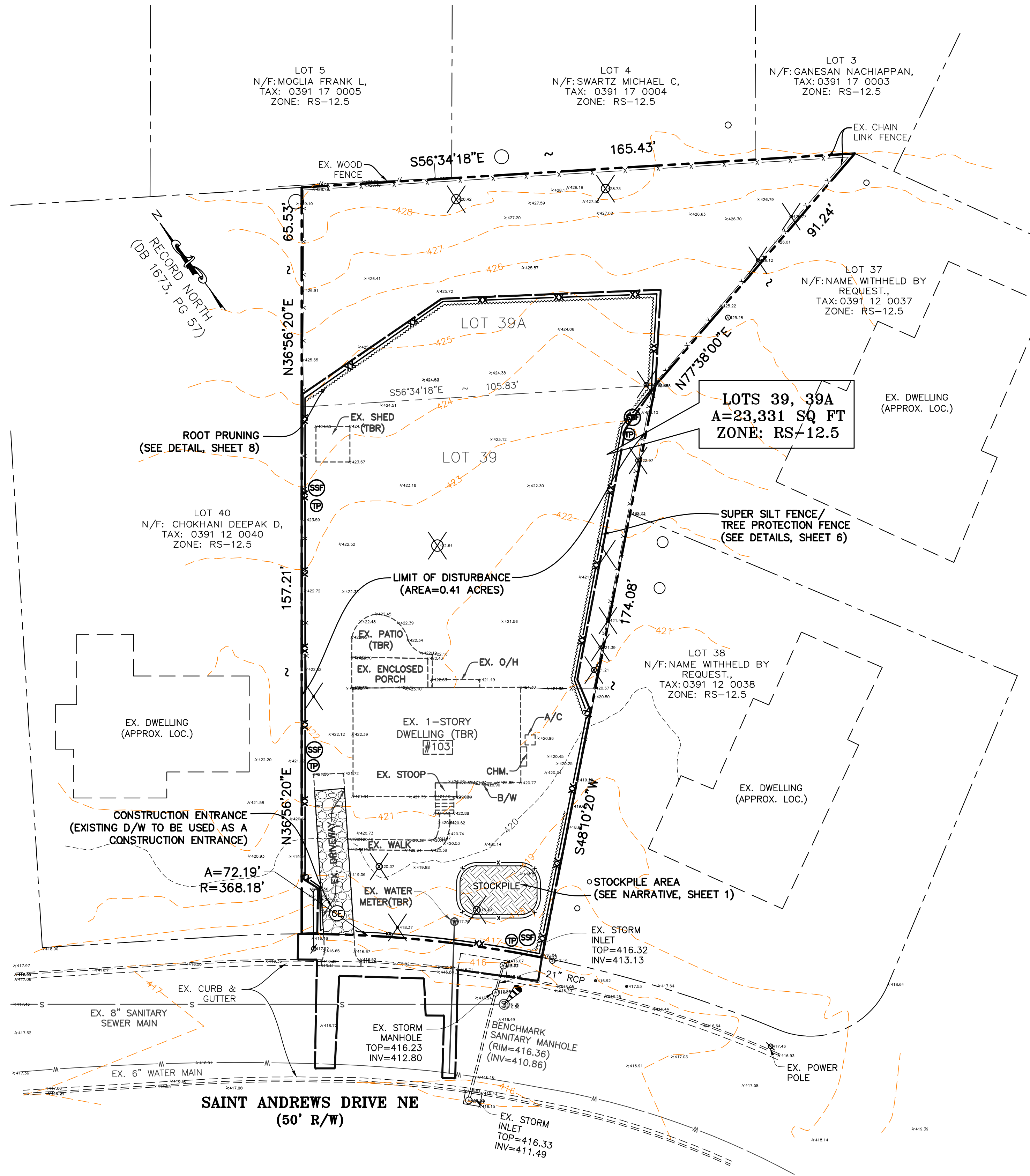
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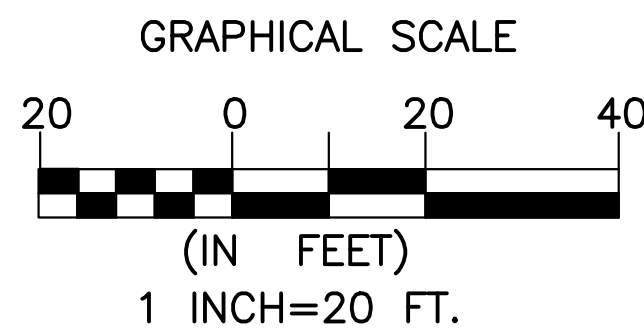
SCALE: AS NOTED

SHEET: 1 OF 14



VIRGINIA UNIFORM CODING SYSTEM for Erosion and Sediment Control Practices			
NO.	TITLE	KEY	SYMBOL
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	
3.02	WASH RACK	WR	
3.05	SILT FENCE	SF	- X - X -
3.05	SUPER SILT FENCE	SSF	- XX -
3.31	TEMPORARY SEEDING	TS	
3.32	PERMANENT SEEDING	PS	
3.38	TREE PROTECTION FENCE	TP	
	LIMITS OF CLEARING AND GRADING		

LEGENDS	
W	WATER MAIN
350	EX. 1' CONTOUR LINE
+ 397.69	EX. SPOT ELEVATION
S	SANITARY SEWER
	EX. FENCE
	EX. TREE
TBR	TO BE REMOVED
	EXISTING POWER POLE
	EXISTING TREELINE
	TREE TO BE REMOVED
	EXISTING TREE TRUNK
	EXISTING TREE TRUNK (TO BE REMOVED)



EXISTING CONDITION PLAN
WESTBRIAR COUNTRY CLUB ESTATES
LT 39 SEC 1
103 SAINT ANDREWS DRIVE NE
MAGISTERIAL DISTRICT: HUNTER MILL TOWN OF VIENNA, VIRGINIA

GLOBAL ENGINEERING

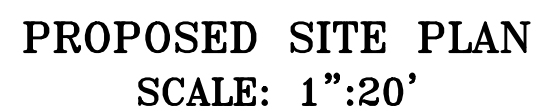
9990 Fairfax Blvd Ste 560
Falls Church, VA 22040
Ph: 571-567-0480
info@globalengineers.us

COMMONWEALTH OF VIRGINIA

GYANENDRA S. THAPA
Lic. No. 058064
03/26/2024
PROFESSIONAL ENGINEER

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TOV APPROVAL STAMP



NOTE :
CROSS SLOPE FOR SIDEWALKS
SHALL NOT EXCEED 2%.

Impervious Area and Coverage Computation

DESCRIPTION	PRE-DEV	POST-DEV	Lot Coverage
Building	1,520	2,968	2,968
Driveway	430	873	873
Porch, Screen Porch	229	451	451
Walk, Steps, Acreway	141	183	
Patio	150	540	540
Shed	107	-	-

Total Impervious area (SQ FT)	2,577	5,015	4,832
Total Pervious area	20,754	18,316	
Total Site area	23,331	23,331	

INCREASE IN IMPERVIOUSNESS = 2438 SQ FT

Total % of Lot Coverage= 20.71%

Deck Area = 0

Deck Coverage = 0.00%

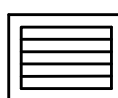

SITE ANALYSIS

DESCRIPTION	REQUIRED	PROVIDED/EXISTING
ZONE	RS-12.5	RS-12.5
LOT AREA	23331 SQ FT	23331 SQ FT
MAX. LOT COVERAGE	25%	20.71%
DECK COVERAGE	5% OF LOT AREA OR 1167 SQ FT	0.0% 0 SQ FT
BUILDING HEIGHT	35 FT	34.60 FT
TREE COVER	20%	29.5%












Lot Shape Factor

	Existing	Proposed
Lot Area	14460 SQ FT	23331 SQ FT
Permieter	509.31 FT	725.68 FT
Shape Factor	17.94	22.57

VIRGINIA UNIFORM CODING SYSTEM
for Erosion and Sediment Control Practices

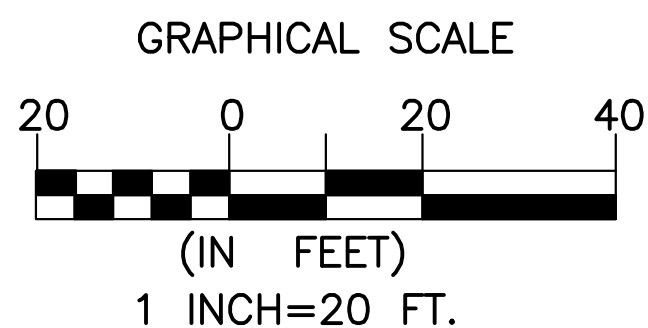
NO.	TITLE	KEY	SYMBOL
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	
3.02	WASH RACK	WR	
3.05	SILT FENCE	SF	— X — X —
3.05	SUPER SILT FENCE	SSF	— XX —
3.31	TEMPORARY SEEDING	TS	
3.32	PERMANENT SEEDING	PS	
3.38	TREE PROTECTION FENCE	TP	— — — — —
	LIMITS OF CLEARING AND GRADING		

LEGENDS

	WATER MAIN
	EX. 2' CONTOUR LINE
	PROP. 2' CONTOUR LINE
	EX. SPOT ELEVATION
	PROP. SPOT ELEVATION
	SANITARY SEWER
	FLOW ARROW
	FENCE
	TREELINE
	DOWNSPOUT
	ROOT PRUNING

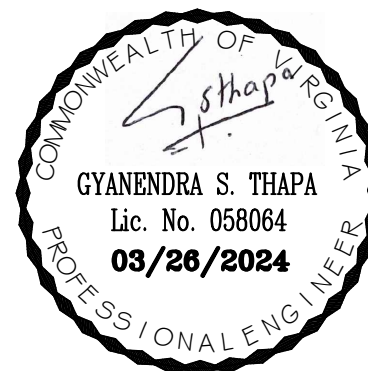
NOTE :

DUAL SUMP PUMP WITH BACKUP POWER TO BE PROVIDED



NOTE :

THE LOTS SHALL BE CONSOLIDATED TO TAKE CREDIT FOR THE COMBINED SITE AREA FOR LOT COVERAGE COMPUTATION PURPOSES PRIOR TO THE ISSUANCE OF OCCUPANCY PERMIT.



SITE GRADING PLAN
WESTBRIAR COUNTRY CLUB ESTATES
LT 39 SEC 1
103 SAINT ANDREWS DRIVE NE

MAGISTERIAL DISTRICT: HUNTER MILL TOWN OF VIENNA, VIRGINIA

[illegible]

DESIGN BY:

DRAWN BY:

CHECKED BY:

SCALE: 1":20'

SHEET: 3 OF 14

TOV APPROVAL STAMP



TREE INVENTORY COLLECTED BY DON ZIMAR
ISA CERTIFIED ARBORIST #MA-0039

NOTE:

1. NEIGHBORING OWNER'S PERMISSION IS REQUIRED TO REMOVE OFFSITE OR CO-OWNED TREES.
2. OFFSITE TREES ARE NOT TAGGED TO AVOID CONFLICT.

TREE PRESERVATION NOTES:

1. THE USE OF HEAVY EQUIPMENT IS STRICTLY PROHIBITED WITHIN TREE PRESERVATION AREAS, INCLUDING FOR THE PURPOSE OF REMOVING UNWANTED TREES, STRUCTURES, PADS, GRADING, SODDING, ETC. ANY STRUCTURE WITHIN THE TREE PRESERVATION AREA SHALL BE REMOVED BY HAND.
2. ALL AREAS DELINEATED AS TREE PRESERVATION AREAS SHALL BE LEFT IN THEIR ORIGINAL CONDITION THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. FAILURE TO DO SO WILL RESULT IN DENIAL OF THE OCCUPANCY PERMIT AND REMEDIATION OF THE TREE PRESERVATION AREA WILL BE REQUIRED. REMEDIATION MUST BE DONE AT THE DIRECTION OF A CERTIFIED ARBORIST AND A WRITTEN REPORT COMPLETED BY A CERTIFIED ARBORIST SHALL BE SUBMITTED AND APPROVED BY VIENNA'S URBAN ARBORIST PRIOR TO ANY REMEDIATION ACTIVITIES
3. AREAS DESIGNATED AS TREE PRESERVATION OR TREE SAVE AREA SHALL BE LEFT IN THE SAME CONDITION AS IT WAS PRE-CONSTRUCTION. IF A CHANGE TO THIS AREA IS TO BE MADE, APPROVAL FROM THE TOV URBAN ARBORIST IS REQUIRED. APPROVAL IS NOT REQUIRED IF MULCH IS INSTALLED TO THE TREE SAVE AREAS
4. ANY PROPOSED GRADE CHANGES WITHIN THE TREE SAVE AREA(S) SHALL BE REVIEWED WITH THE TOV URBAN ARBORIST DURING THE PRE-CONSTRUCTION MEETING

EXISTING TREE COVER CALCULATION

EXISTING TREE CANOPY =	14476 SQ FT
% OF TREE COVER =	62.0%

PROPOSED TREE COVER CALCULATION

SITE AREA=	23331 SQ FT
% OF TREE COVER REQUIRED=	20%
TOTAL AREA OF TREE COVER REQUIRED=	4666 SQ FT
TREE CANOPY AREA FROM PRESERVATION=	0 SQ FT
25% CREDIT OF EXISTING TREES=	0 SQ FT
PROPOSED TREE CANOPY AREA=	4800 SQ FT
TOTAL TREE COVER PROVIDED=	4800 SQ FT
TOTAL TREE COVER PROVIDED (%)=	20.6%
TOTAL TREE COVER 4800 SQ FT >REQUIRED 4666 SQ FT, [OK]	

LEGEND

-
- EX. TREELINE
- EX. TREE
- EX. TREE TO BE REMOVED
- EX. TREE
- EX. TREE TO BE REMOVED
- SUPER SILT FENCE/
TREE PROTECTION FENCE
- TREE PROTECTION FENCE, SPEC 3.38
- ROOT PRUNING
- CRITICAL ROOT ZONE
(1" CAL=1.5' RADIUS)

TOV APPROVAL STAMP

[illegible]

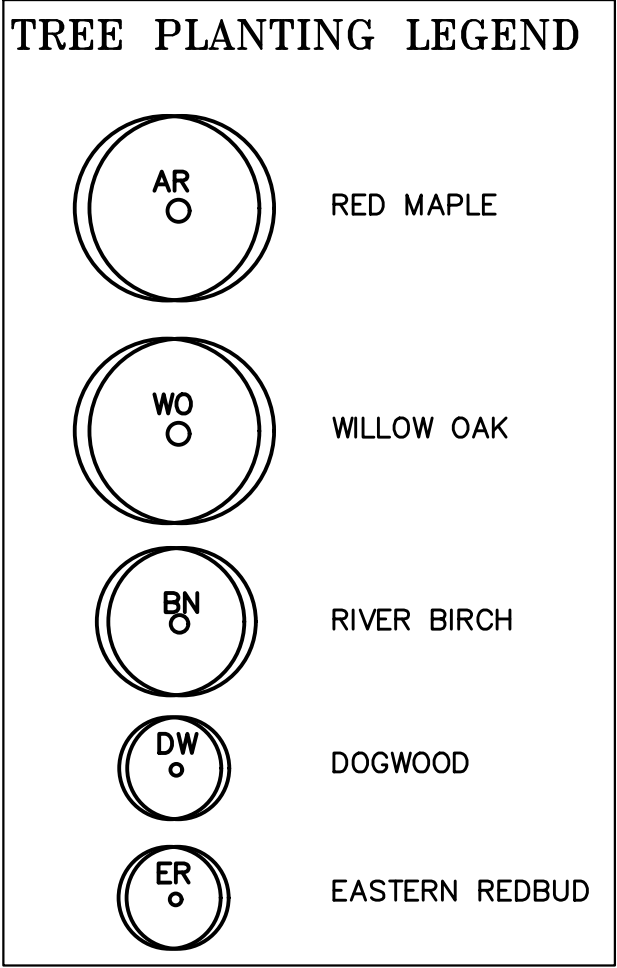
DESIGN BY:

DRAWN BY:

CHECKED BY:

SCALE: 1":20

SHEET: 6 OF 14



PROPOSED TREE COVER CALCULATION	
SITE AREA=	23331 SQ FT
% OF TREE COVER REQUIRED=	20%
TOTAL AREA OF TREE COVER REQUIRED=	4666 SQ FT
TREE CANOPY AREA FROM PRESERVATION=	0 SQ FT
25% CREDIT OF EXISTING TREES=	0 SQ FT
PROPOSED TREE CANOPY AREA=	4800 SQ FT
TOTAL TREE COVER PROVIDED=	4800 SQ FT
TOTAL TREE COVER PROVIDED (%)=	20.6%
TOTAL TREE COVER 4800 SQ FT >REQUIRED 4666 SQ FT, [OK]	






TREE PLANTING INVENTORY							
KEY	BOTANICAL NAME	COMMON NAME	QTY	STOCK SIZE (Ht/CALIPER)	STOCK TYPE	CROWN COVERAGE	TREE CANOPY SUB-TOTAL
ER	<i>Cercis canadensis</i>	Eastern Redbud	4	2" CALIPER	BB	100	400
DF	<i>Cornus florida</i>	Flowering Dogwood	5	2" CALIPER	BB	100	500
AR	<i>Acer rubrum</i>	Red Maple	5	2" CALIPER	BB	300	1500
WO	<i>Quercus phellos</i>	Willow Oak	5	2" CALIPER	BB	300	1500
BN	<i>Betula nigra</i>	River Birch	5	2" CALIPER	BB	200	1000
						SUB-TOTAL=	4800

This plan was prepared by Donald E. Zimar, Maryland Registered Forester #377,
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ASQA RCR #446, Maryland Licensed Tree Expert #587.

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Don Zimar
9/5/2024

LEGEND

	TREE CANOPY TO BE SAVED
	EX. TREE TO REMAIN
	SUPER SILT FENCE/ TREE PROTECTION FENCE
	TREE PROTECTION FENCE, SPEC 3.38
	ROOT PRUNING

TOV APPROVAL STAMP