

# Article 5B. Development Standards – Public, Institutional, and Community Uses

## Proposed Amendments

### CORRECTIONS S, R

#### Section 18-561 Buffer Between Zones

1. **Required Planting Buffer.** The following table sets forth the required screening buffer width between properties:

PROPOSED USE	ABUTTING USE <sup>1</sup>				
	Single Unit Detached (RS-10, RS-12.5, RS-16)	Duplexes, Townhouses, Cottage Courts, or Multi-Unit Attached (RMU)	Commercial or Mixed Use	Industrial	Public, Institutional, or Community Use
Cemetery, Club or Service Organization, Community Garden, Cultural Facility or Museum, Public Community Center, or Religious Assembly	Five (5) ft. min.	Five (5) ft. min.	Five (5) ft. min.	Five (5) ft. min.	Five (5) ft. min.
Government Uses	Ten (10) ft. min.	Ten (10) ft. min.	Five (5) ft. min.	Five (5) ft. min.	Five (5) ft. min.
Outdoor Recreational Uses, Private or Outdoor Parks and Recreational Uses, Public	Fifteen (15) ft. min.	Fifteen (15) ft. min.	Ten (10) ft. min.	Ten (10) ft. min.	Five (5) ft. min.
School, Elementary, Middle, or High	Fifteen (15) ft. min.	Fifteen (15) ft. min.	Ten (10) ft. min.	Ten (10) ft. min.	Five (5) ft. min.
Utility Facility	Fifteen (15) ft. min.	Fifteen (15) ft. min.	Ten (10) ft. min.	Ten (10) ft. min.	Ten (10) ft. min.

<sup>1</sup> Based on chart presented in draft of this article dated March 17, 2023, with updates to include uses added since that date. (presented to PC May 10 2023) missing from draft as early as June 1 2023.

# Article 5B. Development Standards – Public, Institutional, and Community Uses

## Proposed Amendments

- A. When a screening buffer is required, a combination of understory trees, canopy trees, and shrubs shall be included on the proposed development’s site along the property line as follows:

Specifications	5 ft. Buffer	10 ft. Buffer	15 ft. Buffer <sup>2</sup>
Canopy Trees (per 100 ft along shared lot lines)	Not required	Three (3) min.	Four (4) min.
Understory Trees (per 100 ft along shared lot lines)	Four (4) min.	Three (3) min.	Four (4) min.
Shrubs (per 100 ft along shared lot lines)	Three (3) min.	Four (4) min.	Five (5) min.

### 2. Wall Required Adjacent to Single-Unit Residential.

- B. Required screening shall be a six (6) foot tall masonry wall constructed of brick or other ornamental masonry of equal ~~acceptable~~ acceptable aesthetic quality along the boundary adjacent to the less intensive use.

## EDIT No. 19

### Section 18-583 Bicycle Parking

4. Long-term bicycle racks shall comply with the following:
- C. Bicycle lockers shall be anchored in place and have an opening clearance of at least ~~five (5)~~ seven (7) feet.

## CORRECTION T

### Section 18-596 Sign Standards - Temporary Signs

1. Temporary signs are permitted for public, institutional, and community uses in all zoning districts.

STANDARDS FOR TEMPORARY WINDOW SIGNS			
Type of Sign	Sign Area	Number of Signs Permitted	Maximum Duration of Display
Window signs	25% max. of total area of single window	1 sign per window	60 days

<sup>2</sup> Based on Transitional yard classifications of Fairfax City with minor tweak  
<https://www.fairfaxva.gov/home/showpublisheddocument/19644/637957241357900000>

# Article 5B. Development Standards – Public, Institutional, and Community Uses

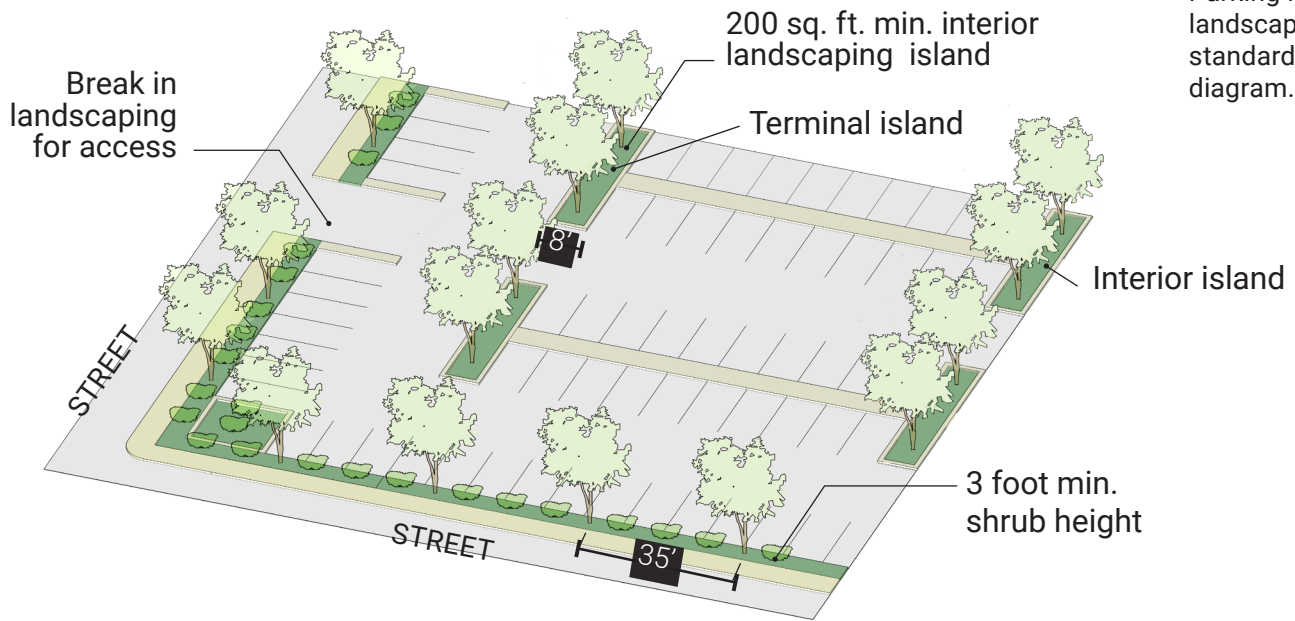
## Proposed Amendments

A-Frame signs	12 sq. ft. max. for any single sign	1 sign per tenant	Unlimited
Banners & yard signs	25 sq. ft. max. for any single sign	50 sq. ft. max. cumulative sign area	60 days
Non-commercial signs (construction, for sale, rent, or lease)	32 sq. ft. max. total sign area	1 sign per frontage max.	During duration of construction, sale, rent or lease

**OR, any revisions as recommended by Town Council.**

2. One (1) interior landscaping island shall be provided for every ten (10) parking spaces. If a lot has multiple interior landscaping islands, the interior landscaping islands must be evenly distributed throughout the parking lot.
3. Each interior landscaping island must consist of a minimum of two hundred (200) square feet, a minimum width of eight (8) feet, at least one (1) tree per 150 square feet of parking island area.
4. No parking space shall be more than seventy (70) feet away from the trunk of a shade or canopy tree.
5. Parking rows must have terminal islands located at both ends of each row.
6. Interior islands may be installed below the level of the parking lot surface to allow for the capture of stormwater runoff.

Figure 5B.8. Parking lot landscaping standards diagram.



### Section 18-561 Buffer Between Zones

1. **Required Planting Buffer.** The following table sets forth the required screening buffer width between properties:

- A. When a screening buffer is required, a combination of understory trees, canopy trees, and shrubs shall be included on the proposed development’s site along the property line as follows:

Specifications	5 ft. Buffer	10 ft. Buffer
Canopy Trees (per 100 ft along shared lot lines)	Not required	Three (3) min.
Understory Trees (per 100 ft along shared lot lines)	Four (4) min.	Three (3) min.
Shrubs	Three (3) min.	Four (4) min.

- B. All plantings and trees must be permanently maintained in good growing condition and replaced with new plant materials, when necessary, to ensure continued compliance with applicable landscaping and/or buffer yard requirements.

**2. Wall Required Adjacent to Single-Unit Residential.**

- A. All land zoned AC, AE, AW, CS, GS, M, NM or T on which any public, institutional, or community use is conducted shall be screened from all adjacent single-unit detached and multi-unit attached residential zones.
- B. Required screening shall be a six (6) foot tall masonry wall constructed of brick or other ornamental masonry of equal acceptable aesthetic quality along the boundary adjacent to the less intensive use.
- C. The six (6) foot height of the wall shall be measured from the grade level on the residential side of the wall.
- D. If an alley or public utility easement is abutting in between land that would require a wall and residential property, the wall shall still be required.

3. **Modification of Wall Requirement.** The Town Council may waive or modify the requirement for any masonry wall or walls required by this section if in the judgment of the Council such wall or walls would not protect the residential property against loss of privacy, trespass by persons or vehicles, or intrusion of noise or trash, or other impacts attributable to activities conducted on the subject multi-unit attached residential lot. See Article 8 §18-830 for application information.

4. **Required Maintenance of Buffer and Screening.** Required screening shall be maintained as shown on the approved site plan. Removal or replacement of screening, fences, and walls with a different material or design shall require an amendment of the site plan. See Article 8 §18-836 for application procedures.

**Section 18-562 Fences and Walls**

**1. Applicability.**

- A. The provisions of this section shall apply to all construction, substantial reconstruction, or replacement of fences or walls not required for support of a principal or accessory structure, and to any other linear barrier intended to delineate different portions of a lot.
- B. Temporary fences for construction sites and tree protection are exempted from these standards but shall comply with the requirements of the Uniform Statewide Building Code.

### **Section 18-582 Loading Area Requirements**

Loading areas shall meet the following standards:

1. **Minimum loading spaces required.**
  - A. One (1) loading space per 100,000 square feet of gross floor area
  - B. No more than 5 loading spaces are required per structure.
  - C. Where a given use or building contains a combination of uses, loading facilities must be provided on the basis of the sum of the required spaces for each use.
  - D. If there is uncertainty with respect to the amount of loading space required by the provisions of this Ordinance as a result of an indefiniteness as to the proposed use of a building or land, the maximum requirement for the general type of use that is involved governs.
  - E. Where the required number of loading spaces is not set forth for a particular use, and where there is no similar type of use listed, the Zoning Administrator will determine the basis of the number of spaces to be provided.
2. **Required dimensions of loading space.**
  - A. Minimum 25 feet in depth;
  - B. Minimum 15 feet in width; and
  - C. Minimum 15 feet in height, if located within a building.
3. **Location.**
  - A. All required off-street loading spaces must be located on the same lot as the use served.
  - B. Loading spaces may not be located in a required front setback.
  - C. Loading areas must not interfere with the free circulation of vehicles in any off-street parking area.
4. When an existing structure or use is expanded, accessory off-street loading spaces must be provided in accordance with the minimum requirements for the entire structure or use, as expanded or enlarged.
5. Required off-street loading areas may not be used to satisfy the space requirement for any off-street parking facilities.

### **Section 18-583 Bicycle Parking**

1. **Minimum bicycle parking spaces required.**
  - A. Short-term: One (1) space per 2,500 square feet but no less than 8 spaces
  - B. Long-term: One (1) space per 2,500 square feet
2. **Location.** Both short-term and long-term bicycle parking shall be located in visible, well-illuminated areas that do not impede or conflict with automobile, pedestrian, or bicycle traffic.
3. **Short-term bicycle racks** shall comply with the following:
  - A. Short-term racks shall include inverted “U” bicycle racks and circular bicycle racks or acceptable variations as determined by the Zoning Administrator with recommendation from the Director of Public Works.

- B. Bicycle racks that are located parallel to each other shall be at least three (3) feet apart and shall allow bicycles to be locked on both sides without conflict.
  - C. Bicycle racks that are located in a linear configuration shall be at least five (5) feet apart.
  - D. Bicycle racks shall be securely anchored and shall be easily usable with u-locks and cables.
  - E. Bicycle racks shall be spaced at least two (2) feet from walls, curbs, pavement edges, or other structures.
4. **Long-term bicycle racks** shall comply with the following:
- A. Long-term bicycle racks, which are intended for overnight parking, and longer, shall be covered and weather resistant.
  - B. Long-term bicycle racks may include, but are not limited to, covered bicycle racks that meet the standards of short-term bicycle racks; or bicycle lockers or bicycle racks that meet the standards of short-term bicycle racks and are located within a parking structure or other enclosed structure.
  - C. Bicycle lockers shall be anchored in place and have an opening clearance of at least five (5) feet.
  - D. Long-term bicycle racks must be located no more than one-hundred (100) feet from the building entrance that the bicycle rack is intended to serve.

## **DIVISION 6. REFUSE AREAS, MECHANICAL EQUIPMENT, AND UTILITIES**

### **Section 18-584 Refuse Disposal**

1. If dumpsters are used for refuse disposal, then each dumpster shall be located on a concrete pad with minimum dimensions of twenty (20) feet by twelve (12) feet and shall be enclosed by adequate walls or opaque fencing of a minimum of one (1) foot taller than the container, and no taller than eight (8) feet.
2. No enclosure may be located in any required front yard, street side yard, required parking area, required landscaping area, or any other area required by law to be maintained.
3. The enclosure may consist of a solid wood fence, masonry (non-CMU) walls, or combination thereof.
4. Said areas shall protect refuse from dispersal by wind or other cause, must be kept free of litter and refuse overflow, and shall be well drained.
5. Refuse disposal areas shall be located such that access is unobstructed and the areas are fully accessible to collection equipment, to public health inspection, and to fire inspection personnel without impeding traffic or encroaching upon required parking spaces.
6. Reference **Chapter 13A** for additional requirements for refuse storage and collection.

**C. Other Building-mounted Sign Regulations**

- i. No building-mounted signs are permitted in the Parks & Conservation (PC) zone.
- ii. Scoreboards and other features of sports fields displaying images and information related to the use of the field are not subject to the height or size restrictions of the Parks & Recreation (PR) zoning district. Any portion of the sign dedicated to sponsorship or other advertising must be incidental to the scoreboard use of the structure.

**Section 18-596 Sign Standards - Temporary Signs**

- 1. Temporary signs are permitted for public, institutional, and community uses in all zoning districts.

**STANDARDS FOR TEMPORARY WINDOW SIGNS**

Type of Sign	Sign Area	Number of Signs Permitted	Maximum Duration of Display
Window signs	25% max. of total area of single window	1 sign per window	60 days
A-Frame signs	12 sq. ft. max. for any single sign	1 sign per tenant	Unlimited
Banners & yard signs	25 sq. ft. max. for any single sign	50 sq. ft. max. cumulative sign area	60 days
Non-commercial signs (construction, for sale, rent, or lease)	32 sq. ft. max. total sign area	1 sign per frontage max.	During duration of construction, sale, rent or lease

**2. Other Regulations for Temporary Signage**

- A. Temporary signs must be constructed of durable weather resistant materials.
- B. Moving or unsecured signs are prohibited.
- C. Banners and non-rigid signage must be affixed to a building or frame so that they shall not move with the wind or function as a flag.
- D. Non-commercial signs (construction, for sale, rent, or lease) shall not exceed five (5) feet in height.
- E. Temporary yard signs shall not exceed four (4) feet in height.
- F. Damaged, faded, or torn temporary signs must be removed.
- G. Signs must not block pedestrian access ways.
- H. All temporary signs must be located on private property, and may only be posted with the permission of the property owner.
- I. Unauthorized signs are to be removed by the property owner or tenant.