

1. NARRATIVE

The scope of this project is to replace the existing Patrick Henry Library with a new expanded library and adjacent parking garage. The 1.43-acre site is located in the heart of the Town of Vienna at the intersection of Maple Avenue and Center Street. As part of the Fairfax County Library system, it serves the residents of the town and the surrounding communities. The existing 13,800 square foot facility was opened in 1971 and renovated with an addition in 1995. The current facility is experiencing a growing user base with no room for expansion, insufficient parking, and outdated building systems. The new facility will address these shortcomings and, in partnership with the Town of Vienna, provide additional parking for public use.

The existing library site is zoned C-2 General Commercial, and is bounded on the northwest by Maple Avenue, which is the primary façade, on the southwest by Center Street, on the northeast by East Maple LLC, and on the southeast by the Vienna Elementary School. One of the project goals is to create a strong connection between the library and the pedestrian activity along Maple Avenue. To achieve this, the library floor has been set at the lowest possible elevation flush at the high end of Maple Avenue with raised planters along the façade that diminish the impact of the increasing grade difference toward the intersection and provide opportunities for seating and for vegetation along the facade.

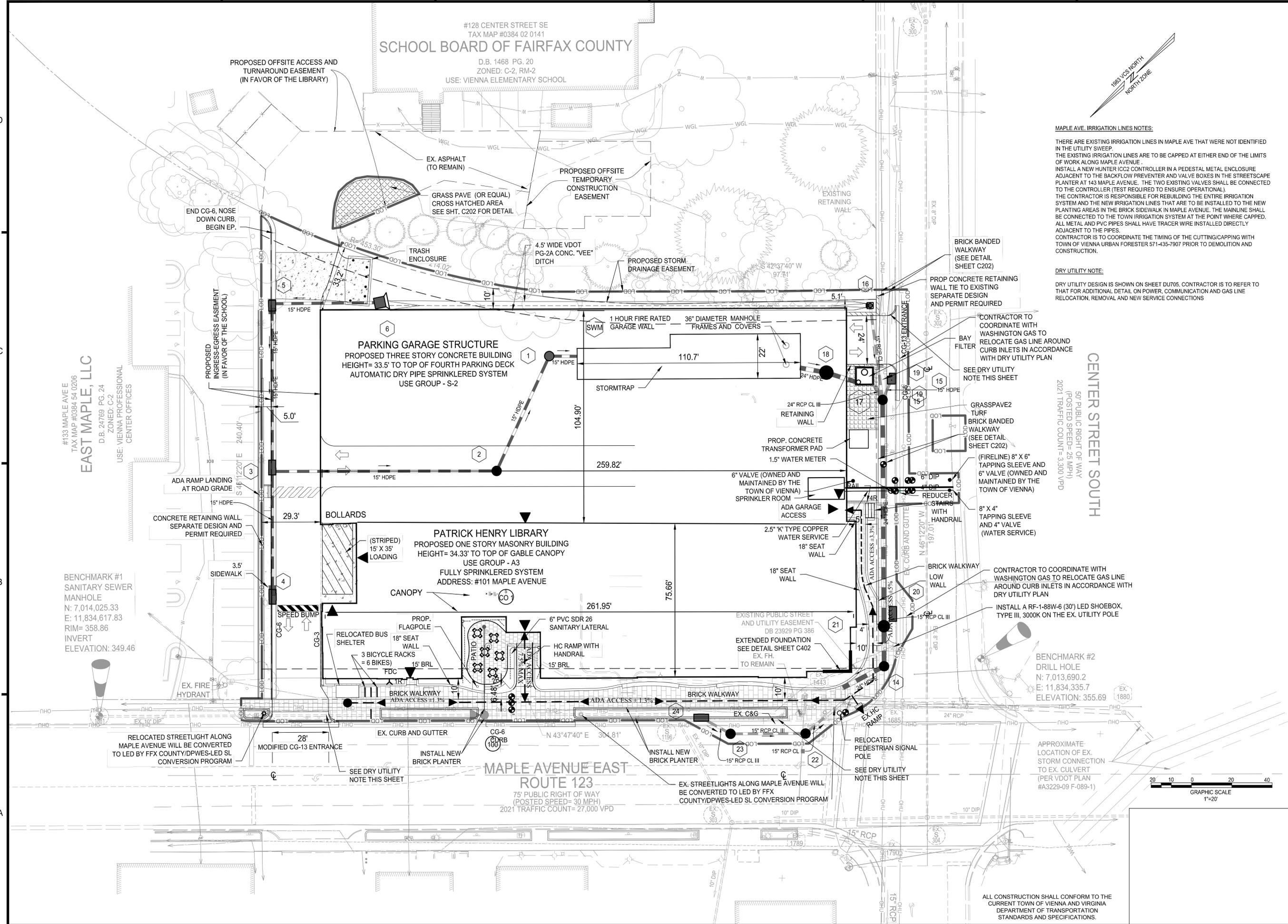
Because the programmatic requirements will fill the entire site, the new library is organized with the library building stretching the width of the front of the site along Maple Avenue, and the garage extending across the back of the site. A drive aisle will be provided along the northeast property line that will provide access from Maple Avenue to the garage and to the adjacent school property. The school currently uses the existing library parking lot for access to their rear service area and dumpster location. The new library will continue this practice, and a new easement will be executed to codify the school's right of use.

The geometry of the site results in a long rectangular plan shape for the new one-story library with the result that the four level parking garage is screened from view along Maple Avenue. In elevation, the length of the front façade is divided into alternating elements of curtain wall glazing and brick features. The composition breaks down the scale of the building and relates to the predominantly brick aesthetic of the Town of Vienna. Gable roof elements provide accents at the corner of Maple Avenue and Center Street, and at the main library entrance.

The Maple Avenue library entrance is at the approximate middle of the building. The entrance is through an outdoor courtyard with space for tables and seating for use by both library patrons and pedestrians along Maple Avenue. The courtyard is protected from the weather with a gabled roof canopy of exposed steel structure and timber roof decking.

Vehicular access to the garage from both Maple Avenue and Center Street. The four levels of parking will provide a minimum of 216 spaces with 125 allocated to library patrons and the remainder to public parking for the Town of Vienna. Accessible parking and electric vehicle charging stations will be provided. Two stair towers and an elevator will connect the upper parking levels to the library entrance level and to grade level access to both Maple Avenue and Center Street. Protected bicycle racks are located within the garage near the library entrance door.

The exposed vertical structure of the precast concrete garage is clad in brick matching the library building. Horizontal spandrels are exposed concrete with a horizontal fluted pattern. White color concrete bands moderate the vertical scale of the structure and decorative metal grilles will provide detail to the elevations. Topping the garage will be an open lattice structure supporting a large array of photovoltaic panels which will provide the electricity needed for the building to achieve its net zero energy goal.



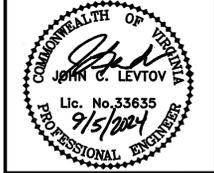
#128 CENTER STREET SE
TAX MAP #0384 02 0141
SCHOOL BOARD OF FAIRFAX COUNTY
D.B. 1468 PG. 20
ZONED: C-2, RM-2
USE: VIENNA ELEMENTARY SCHOOL

#133 MAPLE AVE E
TAX MAP #0384 54 0206
EAST MAPLE, LLC
D.B. 24769 PG. 24
ZONED: C-2
USE: VIENNA PROFESSIONAL CENTER OFFICES

MAPLE AVE. IRRIGATION LINES NOTES:
THERE ARE EXISTING IRRIGATION LINES IN MAPLE AVE THAT WERE NOT IDENTIFIED IN THE UTILITY SWEEP.
THE EXISTING IRRIGATION LINES ARE TO BE CAPPED AT EITHER END OF THE LIMITS OF WORK ALONG MAPLE AVENUE.
INSTALL A NEW HUNTER ICC2 CONTROLLER IN A PEDESTAL METAL ENCLOSURE ADJACENT TO THE BACKFLOW PREVENTER AND VALVE BOXES IN THE STREETSCAPE PLANTER AT 143 MAPLE AVENUE. THE TWO EXISTING VALVES SHALL BE CONNECTED TO THE CONTROLLER (TEST REQUIRED TO ENSURE OPERATIONAL).
THE CONTRACTOR IS RESPONSIBLE FOR REBUILDING THE ENTIRE IRRIGATION SYSTEM AND THE NEW IRRIGATION LINES THAT ARE TO BE INSTALLED TO THE NEW PLANTING AREAS IN THE BRICK SIDEWALK IN MAPLE AVENUE. THE MAINLINE SHALL BE CONNECTED TO THE TOWN IRRIGATION SYSTEM AT THE POINT WHERE CAPPED. ALL METAL AND PVC PIPES SHALL HAVE TRACER WIRE INSTALLED DIRECTLY ADJACENT TO THE PIPES.
CONTRACTOR IS TO COORDINATE THE TIMING OF THE CUTTING/CAPPING WITH TOWN OF VIENNA URBAN FORESTER 571-435-7907 PRIOR TO DEMOLITION AND CONSTRUCTION.

DRY UTILITY NOTE:
DRY UTILITY DESIGN IS SHOWN ON SHEET DU705. CONTRACTOR IS TO REFER TO THAT FOR ADDITIONAL DETAIL ON POWER, COMMUNICATION AND GAS LINE RELOCATION, REMOVAL AND NEW SERVICE CONNECTIONS

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Manassas, VA 20110 P 703.393.9887
engineering • surveying • land planning



PATRICK HENRY LIBRARY
50 PUBLIC RIGHT OF WAY
(POSTED SPEED= 25 MPH)
2021 TRAFFIC COUNT= 3,300 VPD

MARK	DATE	DESCRIPTION
	9/06/2024	TOWN OF VIENNA SUBMISSION
	7/16/2024	TOWN OF VIENNA COMMENTS
	4/05/2024	CD COMMENTS
	2/16/2024	CD COMMENTS

PROJECT No.: 22003.001.00
DRAWING No.: 112368
DATE: 07/08/2022
SCALE: AS NOTED
DESIGN: BG
DRAWN: BG
CHECKED: EB

SHEET TITLE:
SITE PLAN

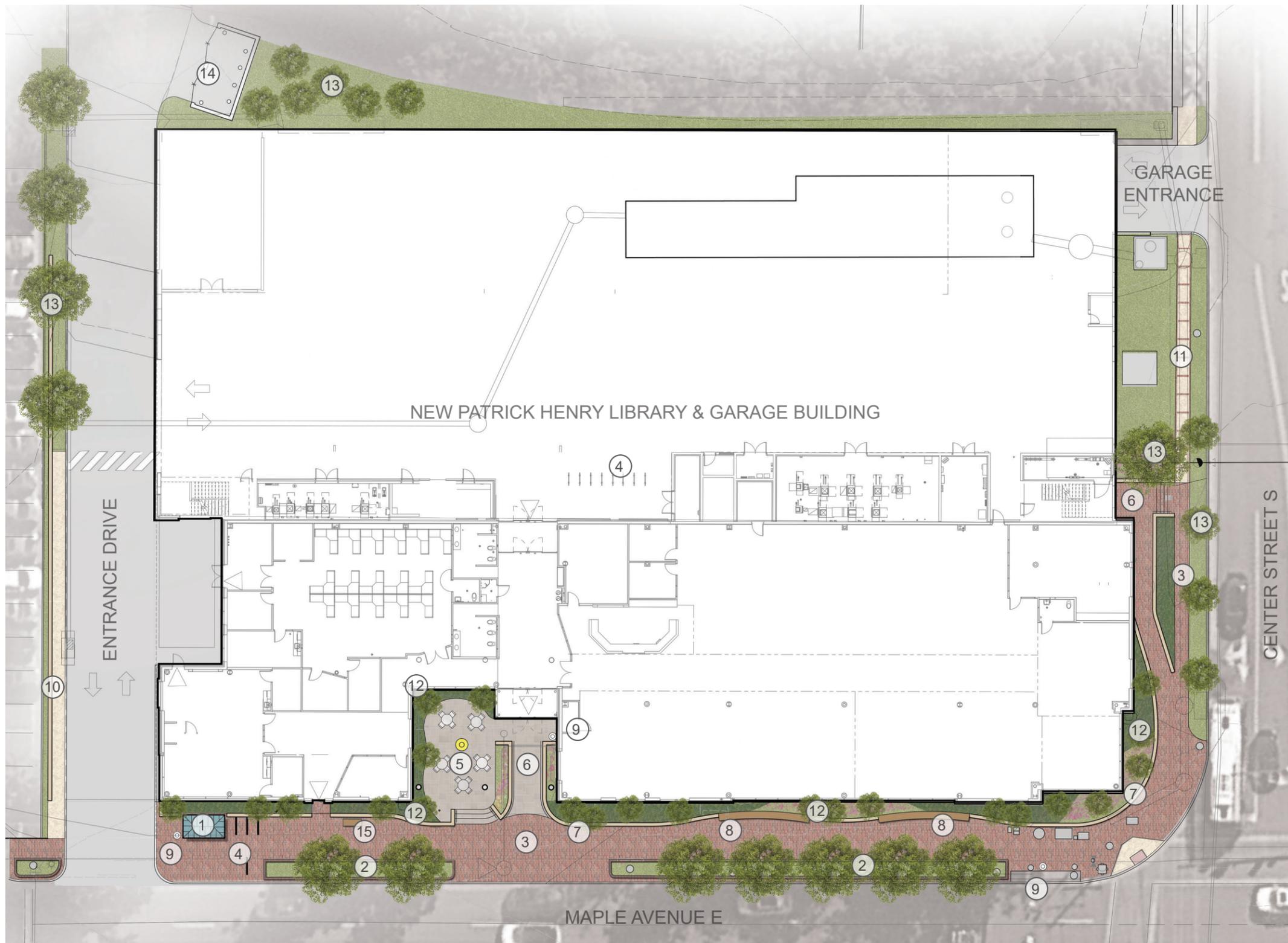
SHEET No.
C400

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT TOWN OF VIENNA AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.



BENCHMARK #2
DRILL HOLE
N: 7,013,690.2
E: 11,834,335.7
ELEVATION: 355.69

BENCHMARK #1
SANITARY SEWER
MANHOLE
N: 7,014,025.33
E: 11,834,617.83
RIM= 358.86
INVERT
ELEVATION: 349.46



KEY

- ① Relocated Bus Shelter
- ② Street Trees to be Replaced per Maple Avenue standard
- ③ Town Standard Brick Sidewalk Replace and Extend Where Required; Salvage & Reinstall Dedication Bricks
- ④ Bike Racks*
- ⑤ Patio with Tables & Chairs*
- ⑥ Accessible Entrance w/ Handrails*
- ⑦ Low Planter Wall*
- ⑧ Seats on Top of Wall*
- ⑨ Trash Receptacle
- ⑩ Concrete Sidewalk
- ⑪ Concrete Sidewalk w/ Brick Banding
- ⑫ Planting Area Shrubs & Perennials
- ⑬ New Trees
- ⑭ Trash Enclosure*
- ⑮ Relocated Commemorative Bench

Items with asterisk (*) and all exterior modifications including light fixtures and lighting levels to be approved by future review by BAR

PLAN

Patrick Henry Library and Garage Replacement

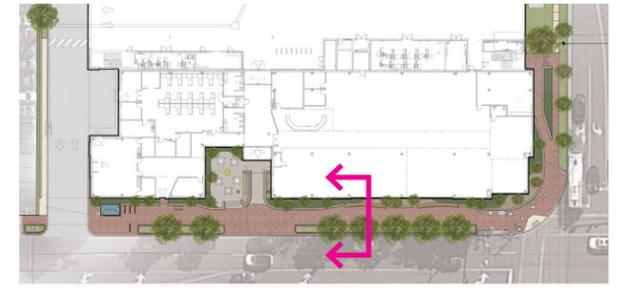
Landscape Illustrative Plan

September 20, 2023



KEY

- ① Relocated Bus Shelter
- ② Replaced Street Trees
- ③ Town Standard Brick Sidewalk
Replace and Extend Where Required;
Salvage & Reinstall Dedication Bricks
- ④ Bike Racks
- ⑤ Plaza with Tables & Chairs
- ⑥ Accessible Front Entrance
- ⑦ Low Planter Wall
- ⑧ Seats on Top of Wall
- ⑨ Concrete Sidewalk
- ⑩ Planting Area
Shrubs & Perennials
- ⑪ New Trees



KEY PLAN (not to scale)

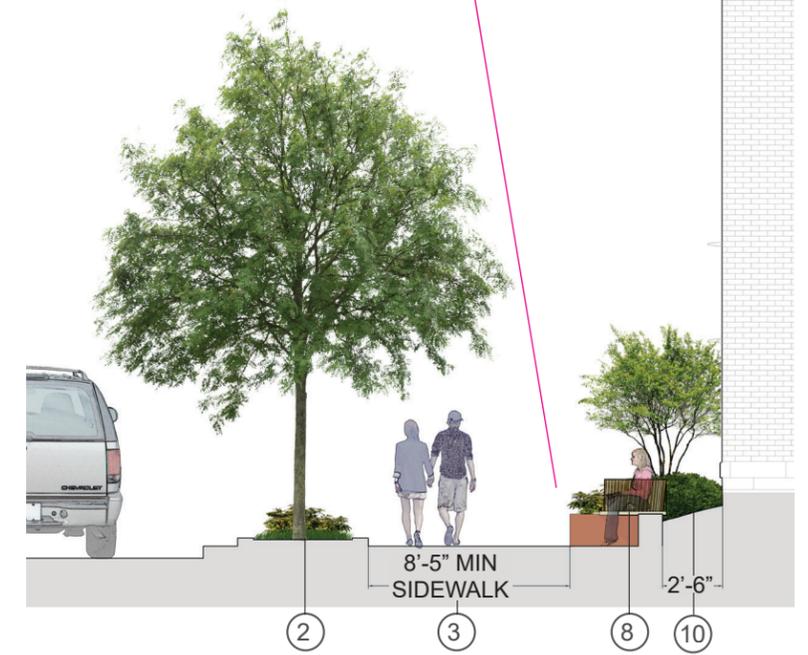
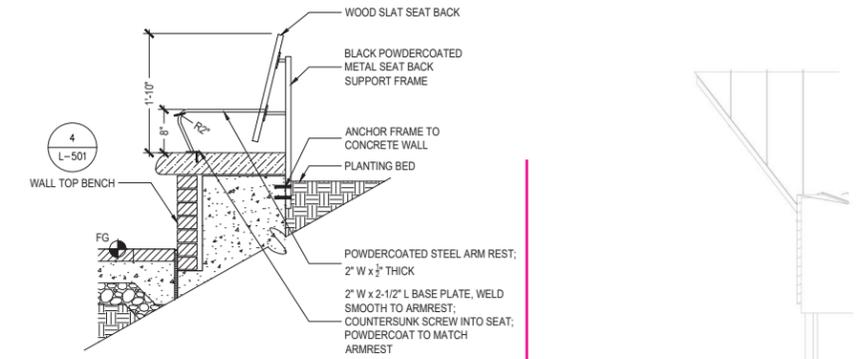


Street Trees Not Shown For Clarity



Street Trees Shown

ELEVATION



SECTION

Patrick Henry Library and Garage Replacement

Landscape Elevation & Section

September 20, 2023





View from the intersection of Maple Avenue and Center Street



View toward the Maple Avenue entrance



View from the north on Maple Avenue



View from Center Street



Aerial view



Maple Avenue Elevation



Center Street Elevation

EXISTING CONDITIONS PHOTOS

Existing Library from the intersection of Maple Avenue and Center Street



Existing Library - Maple Avenue façade



Existing Library – Center Street façade



Existing library and parking lot from the north



Adjacent property on the northeast: Vienna Professional Center



Adjacent property on the southeast: Vienna Elementary School



Adjacent property opposite on Maple Avenue: Somerset Trust Company



Adjacent property opposite on Maple Avenue: IP&T Group LLP



Adjacent property opposite on Maple Avenue: Vienna Inn



Adjacent property opposite on Maple Avenue: Beekman Place Antiques, The Peartree Cottage Gift Shop, Herat Oriental Rugs



Adjacent property opposite corner: low-rise commercial



Adjacent property opposite on Center Street: Sunoco Gas Station



Adjacent property opposite on Center Street: School of Rock

