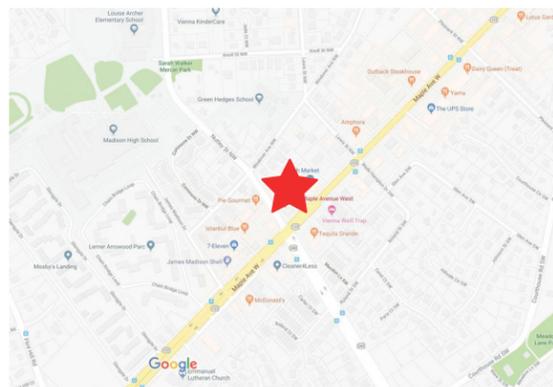




465 MAPLE AVE., W.
VIENNA, VA. 22180

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VICINITY MAP

LANDLORD
CBRE, INC.
1861 INTERNATIONAL DR., SUITE 300
McLEAN, VA 22102
PH: (703) 905-0268

TENANT
WAWA INC.
260 W. BALTIMORE PIKE
WAWA, PA 19063
CONTACT: ADRIAN CORTES
PH: (484) 840-2888
adrian.cortes@wawa.com





SITE PHOTO - A



SITE PHOTO - B



SITE PHOTO - C



SITE PHOTO - D



465 MAPLE AVE., W., VIENNA, VA





RENDERING - MAPLE AVE. PERSPECTIVE

465 MAPLE AVE., W., VIENNA, VA

DAVID A. LEVY
& ASSOCIATES > Retail Design & Development
345 SPRINGSIDE DRIVE
AKRON, OHIO 44333-2434



RENDERING - MAPLE AVE. PERSPECTIVE with LANDSCAPE

465 MAPLE AVE., W., VIENNA, VA

DAVID A. LEVY
& ASSOCIATES > Retail Design & Development
345 SPRINGSIDE DRIVE
AKRON, OHIO 44333-2434



RENDERING - MAPLE AVE & NUTLEY ST CORNER PERSPECTIVE

465 MAPLE AVE., W., VIENNA, VA

> Retail Design & Development
DAVID A. LEVY
& ASSOCIATES
345 SPRINGSIDE DRIVE
AKRON, OHIO 44333-2434



RENDERING - MAPLE AVE & NUTLEY ST CORNER PERSPECTIVE with LANDSCAPE

465 MAPLE AVE., W., VIENNA, VA

DAVID A. LEVY
& ASSOCIATES
> Retail Design & Development
345 SPRINGSIDE DRIVE
AKRON, OHIO 44333-2434



RENDERING - NUTLEY ST PERSPECTIVE

465 MAPLE AVE., W., VIENNA, VA

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& ASSOCIATES > Retail Design & Development
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AKRON, OHIO 44333-2434



RENDERING - NUTLEY ST PERSPECTIVE with LANDSCAPE

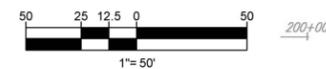
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MAPLE AVENUE W - VA RTE. 123

PROPOSED SITE PLAN



SITE PLAN NOTES

1. THIS PLAN DOES NOT PROPOSE ANY CHANGES TO THE EXISTING LIGHTING FIXTURES. LIGHTING PLAN PER THE PREVIOUSLY APPROVED PLAN.

LEGEND

- LIMITS OF DISTURBANCE
- LIMITS OF WORK
- PROP. SAWCUT
- PROP. STANDARD CONCRETE
- PROP. HEAVY DUTY CONCRETE
- FIRE LANE (CURB TO BE PAINTED YELLOW)

- RETAINING WALL
- LANDSCAPING AREA
- EXISTING BUILDING

PROPOSED PARKING
TOTAL PARKING SPACE: 42

- (40) STANDARD
- (1) ADA
- (1) VAN ADA

CODE REQUIREMENT
COMMERCIAL BUILDING :
1 SPACE PER 200 FLOOR AREA
6,290 - 139 (STAIRS) = 6,151 S.F.
6,151 S.F. / 200 = 31 SPACES

FLOOR AREA
1ST FLOOR: 6,290 S.F.
2ND FLOOR: 2,778 S.F.
TOTAL: 9,068 S.F.

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Retail Design & Development

NUTLEY ST.

NOTE:
THESE INTERIOR FLOOR PLANS ARE CONCEPTUAL IN NATURE AND ARE PROVIDED TO ILLUSTRATE A POSSIBLE LAYOUT AND THE FLOW OF PEDESTRIAN TRAFFIC IN AND OUT OF THE BUILDING. THE APPLICANTS RESERVE THE RIGHT TO MODIFY THE LAYOUT OF THE BUILDING AT THE TIME OF FINAL DESIGN

1ST FLOOR AREA: 6,290 S.F.
2ND FLOOR AREA: 2,778 S.F.
TOTAL AREA: 9,068 S.F.

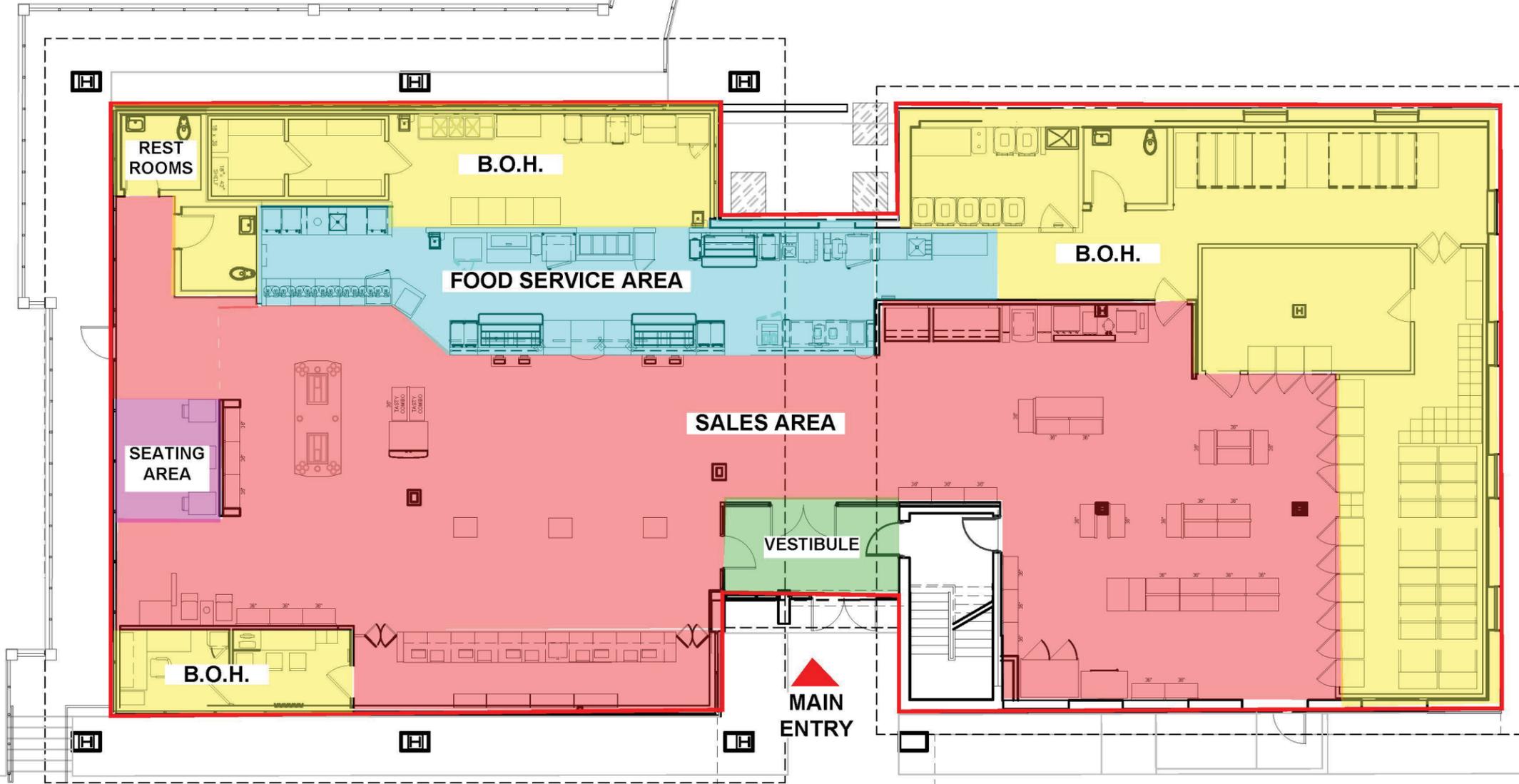
MAPLE AVE.

A/13

B/12

DIRECTION SIGN

B/13



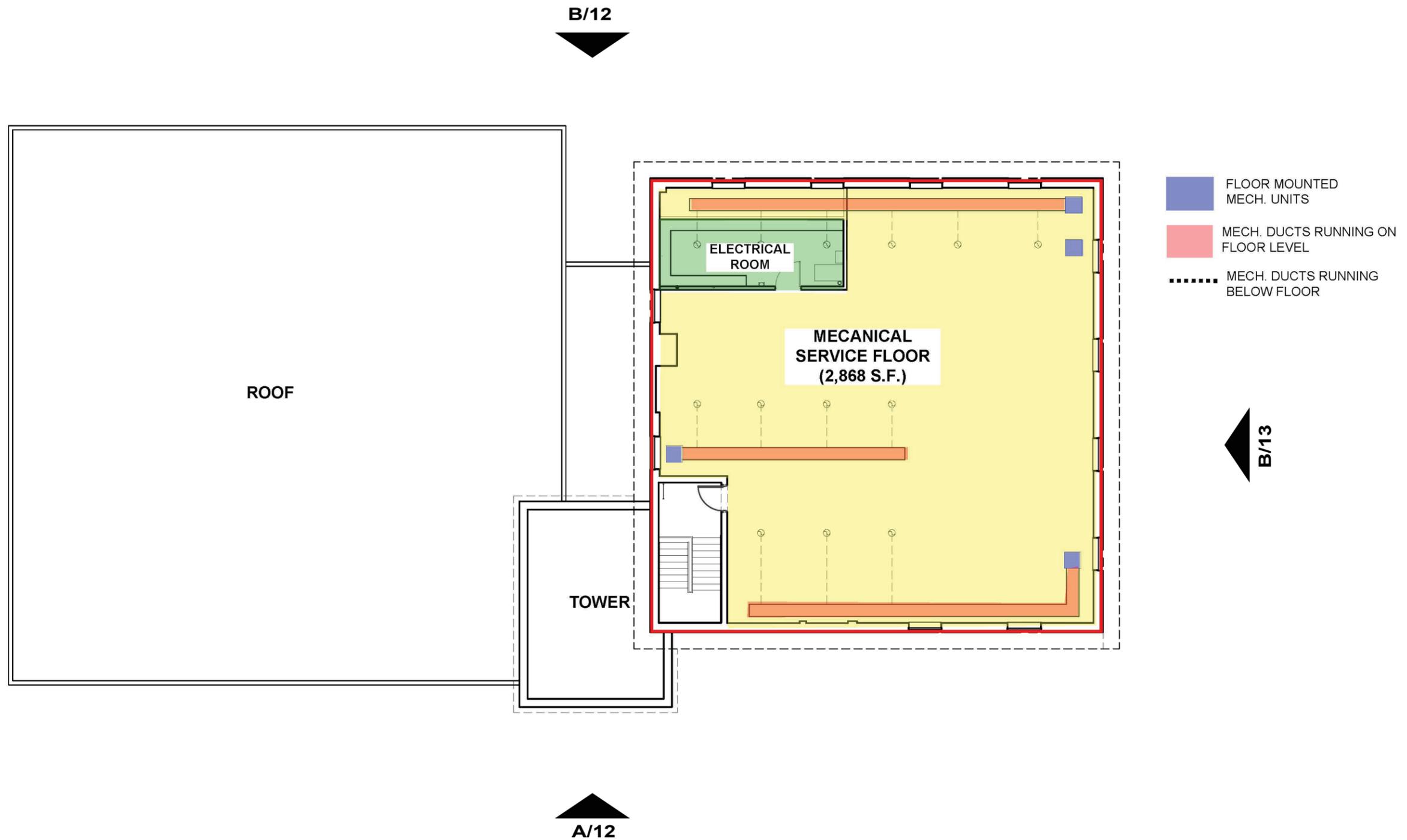
EXISTING MONUMENTAL SIGN TO BE REFACED



PROPOSED PLAN - FIRST FLOOR



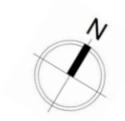
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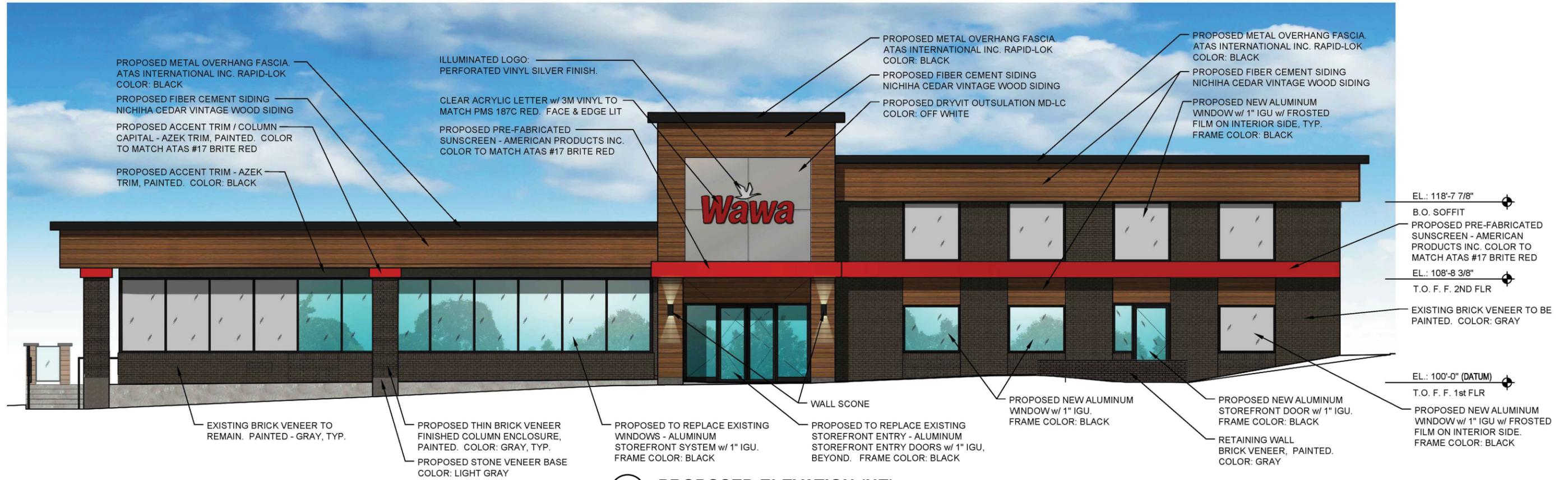
- FLOOR MOUNTED MECH. UNITS
- MECH. DUCTS RUNNING ON FLOOR LEVEL
- MECH. DUCTS RUNNING BELOW FLOOR



PROPOSED PLAN - SECOND FLOOR / ROOF



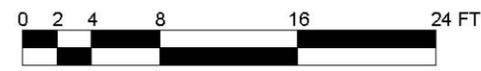
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A PROPOSED ELEVATION (NE)



B PROPOSED ELEVATION (SW) - NUTLEY ST.



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A PROPOSED ELEVATION (SE) - MAPLE AVE.

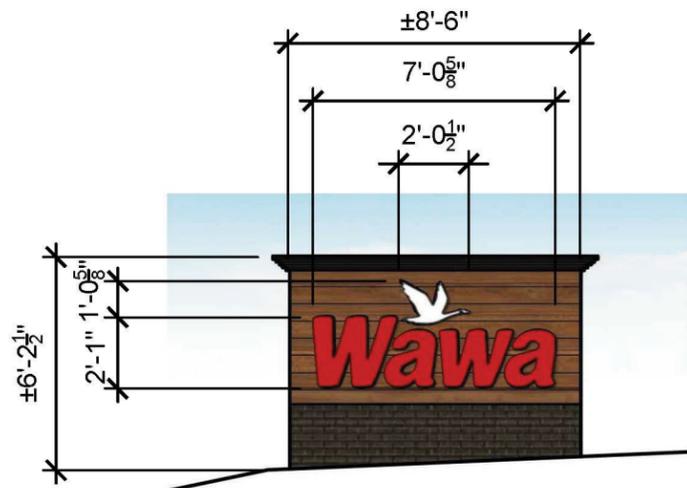


B PROPOSED ELEVATION (NW)





SIGNAGE IMAGE - REFERENCE ONLY



SIGN AGGREGATE AREA: 16.8 S.F.

SIGNAGE AREA CALCULATION - FREE-STANDING SIGN

NOTE:
EXISTING FREE-STANDING SIGN TO BE RE-FACED



SIGN AGGREGATE AREA: 31.2 S.F.

SIGNAGE AREA CALCULATION - MAIN ENTRY



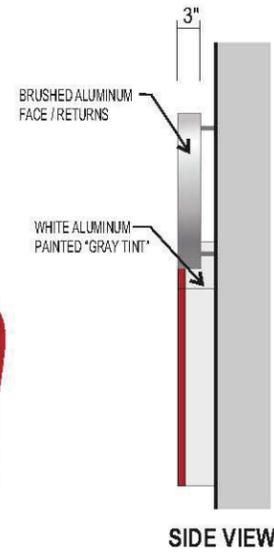
SIGN AGGREGATE AREA: 40.3 S.F.

SIGNAGE AREA CALCULATION - SW ELEVATION

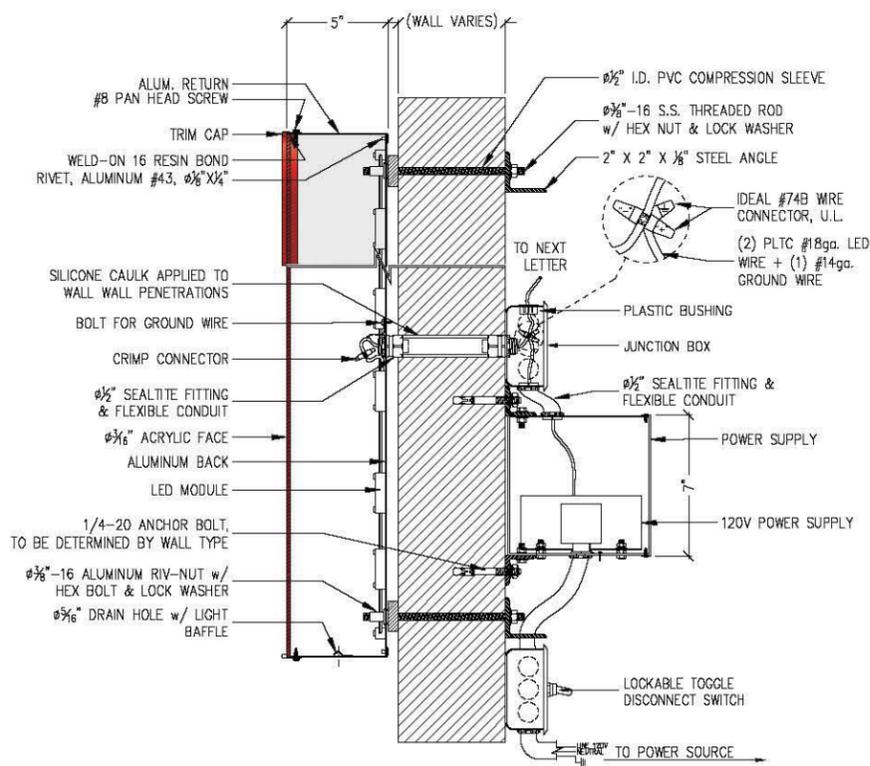
VIENNA, VIRGINIA CODE OF ORDINANCE
CHAPTER 18 ARTICLE 19
SEC. 18-184 B.
365 LINEAR FOOT X 2 S.F. = 730 S.F.

PROPOSED SIGN AREA
16.8 + 31.2 + 40.3 = 88.3 S.F. < 730 S.F.

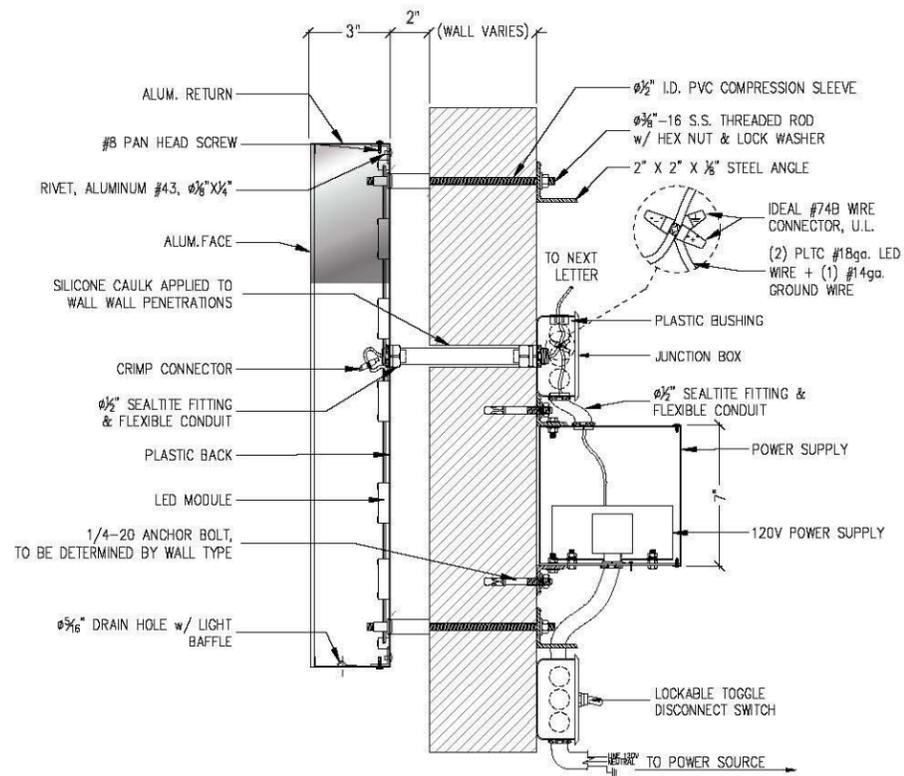




ILLUMINATED CHANNEL LETTERS w/BRUSHED ALUM/ HALO LIT GOOSE LOGO

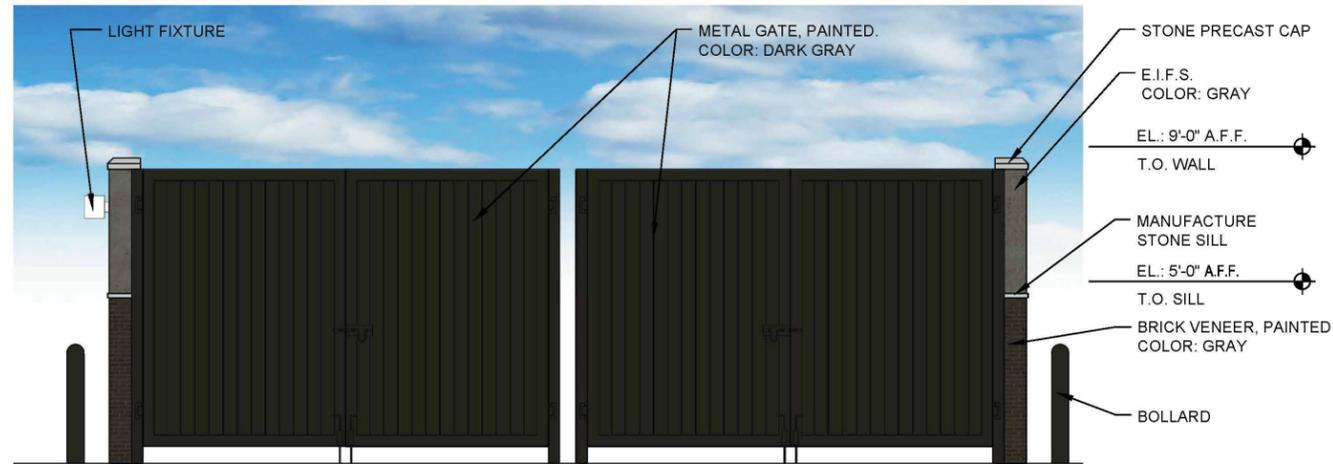


SECTION - CHANNEL LETTER

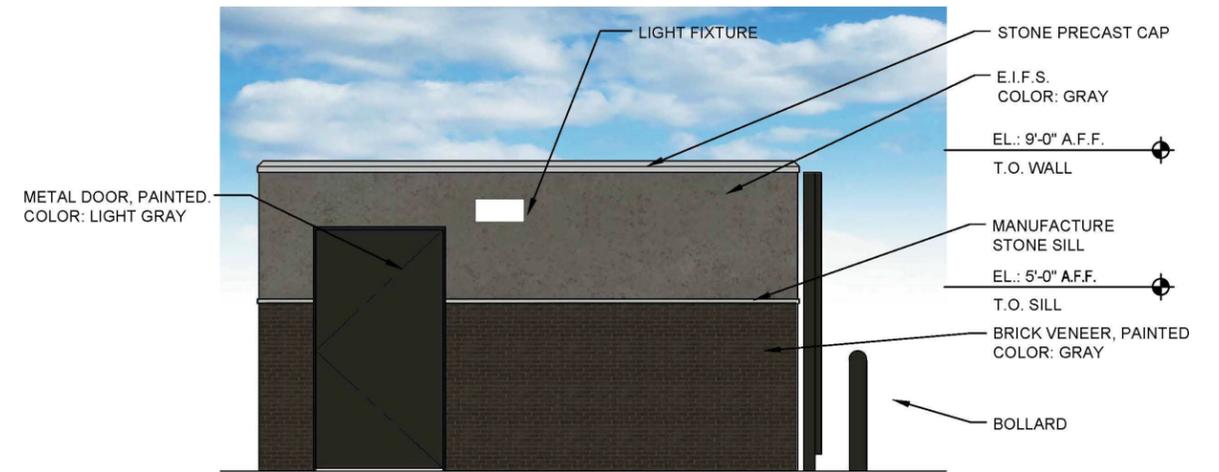


SECTION - HALO-LIT LOGO

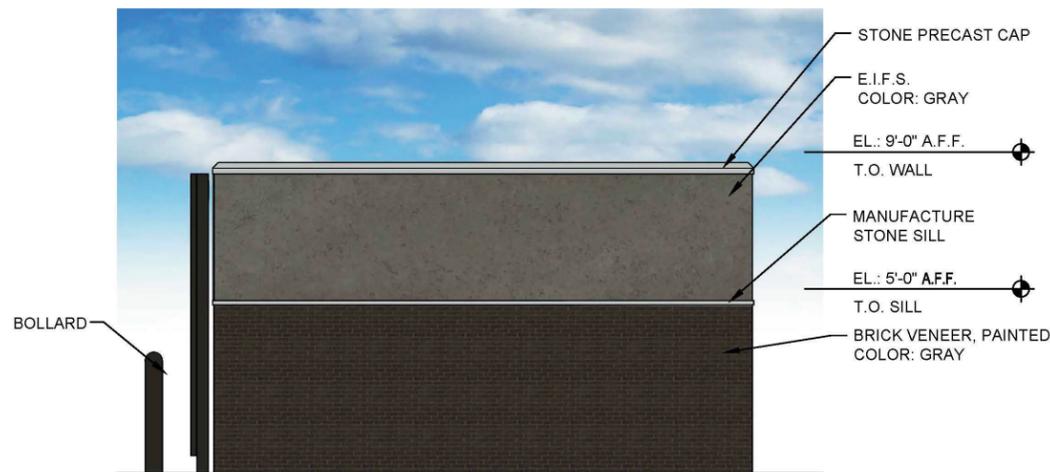




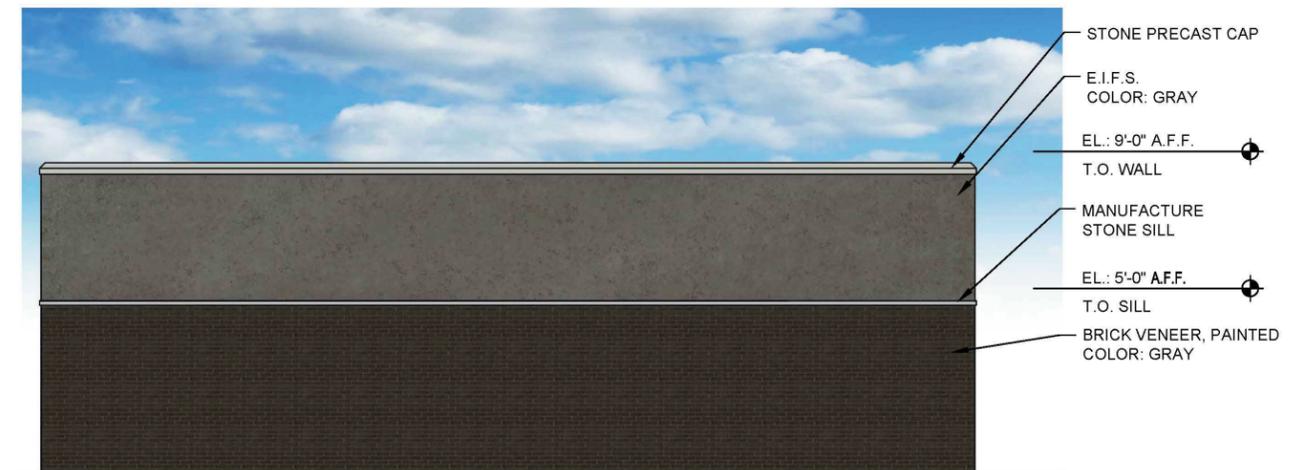
A TRASH ENCLOSURE ELEVATION (FRONT)



B TRASH ENCLOSURE ELEVATION (SIDE)



C TRASH ENCLOSURE ELEVATION (SIDE)



D TRASH ENCLOSURE ELEVATION (BACK)



WAWA - MAPLE AND NUTLEY MATERIALS



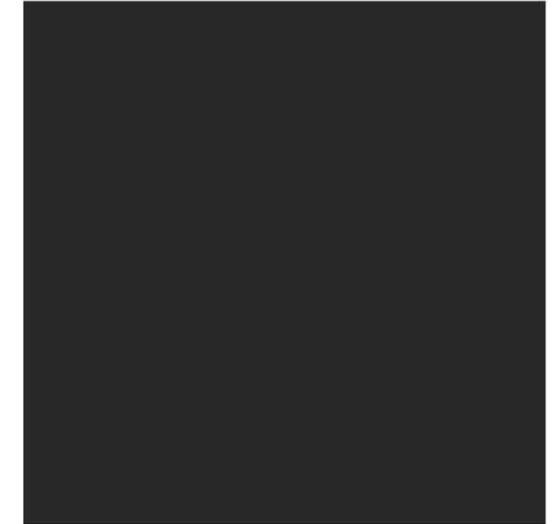
WOOD
Manufacturer: Nichiha
Series: Vintage Wood
Color: Cedar



BRICK PAINT
Manufacturer: Benjamin Moore
Color: 2121-10 Gray / Eggshell



EIFS
Manufacturer: Dryvit
Series: Limestone
Color: Custom Color To Match Benjamin Moore 2121-10 Gray



STORE FRONT SYSTEM
Manufacturer: Kawneer
Series: Anodized Finishes
Color: #29 Black



ACM
Manufacturer: ATAS
Color: To Match Wawa Brand Red - PMS 187



METAL COPING PAINT COLOR
Manufacturer: Benjamin Moore
Color: 2132-10 Black / Eggshell



SIGNAGE
Metal: Stainless Steel
Red: To Match Wawa Brand Red - PMS 187

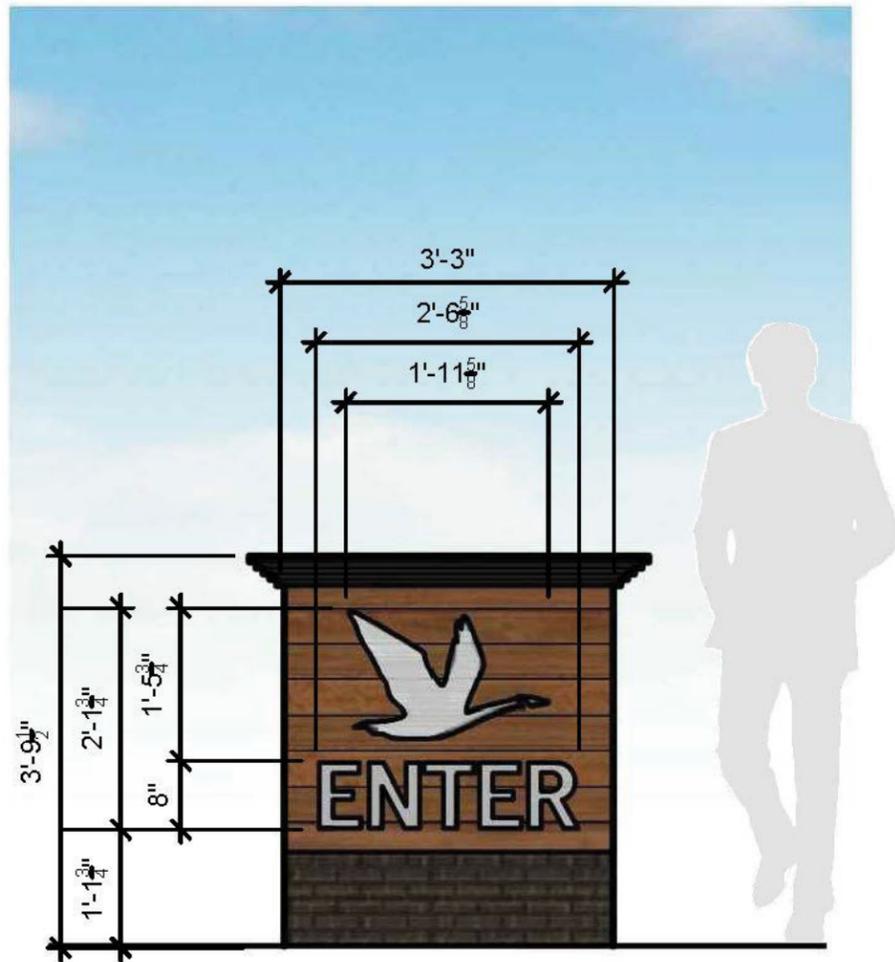


GLAZING
Color: Clear; Low Iron



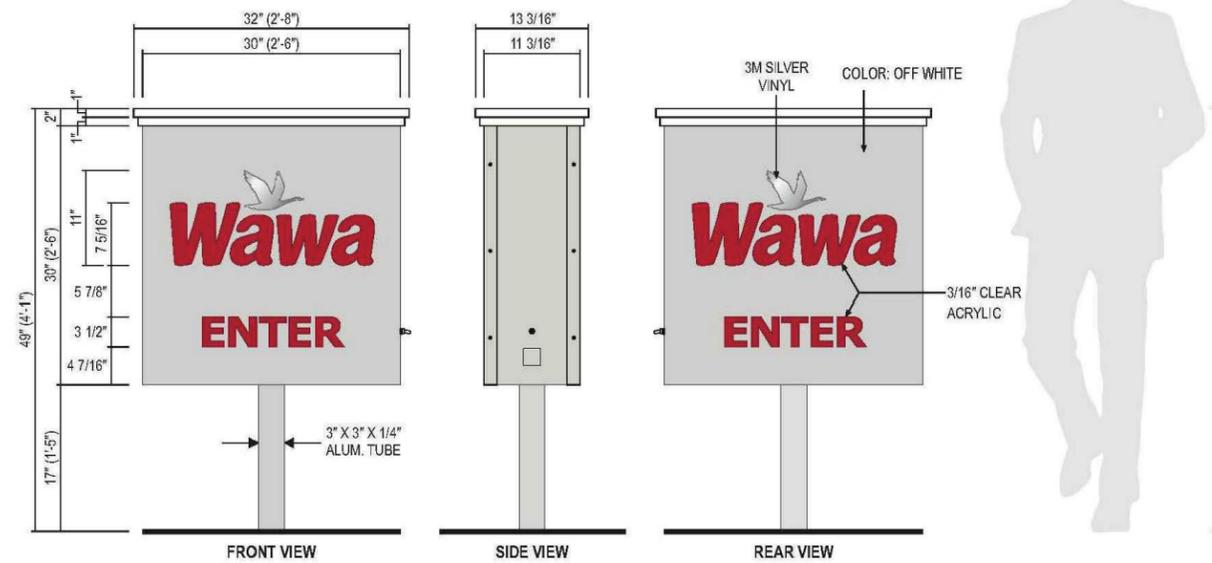
PROPOSED DIRECTION SIGN

OPTION 1



SIGN AGGREGATE AREA: 4.7 S.F.

OPTION 2



SIGN AGGREGATE AREA: 1.7 S.F.

