

Yellow DINER

501 MAPLE AVENUE W
VIENNA, VIRGINIA
22180

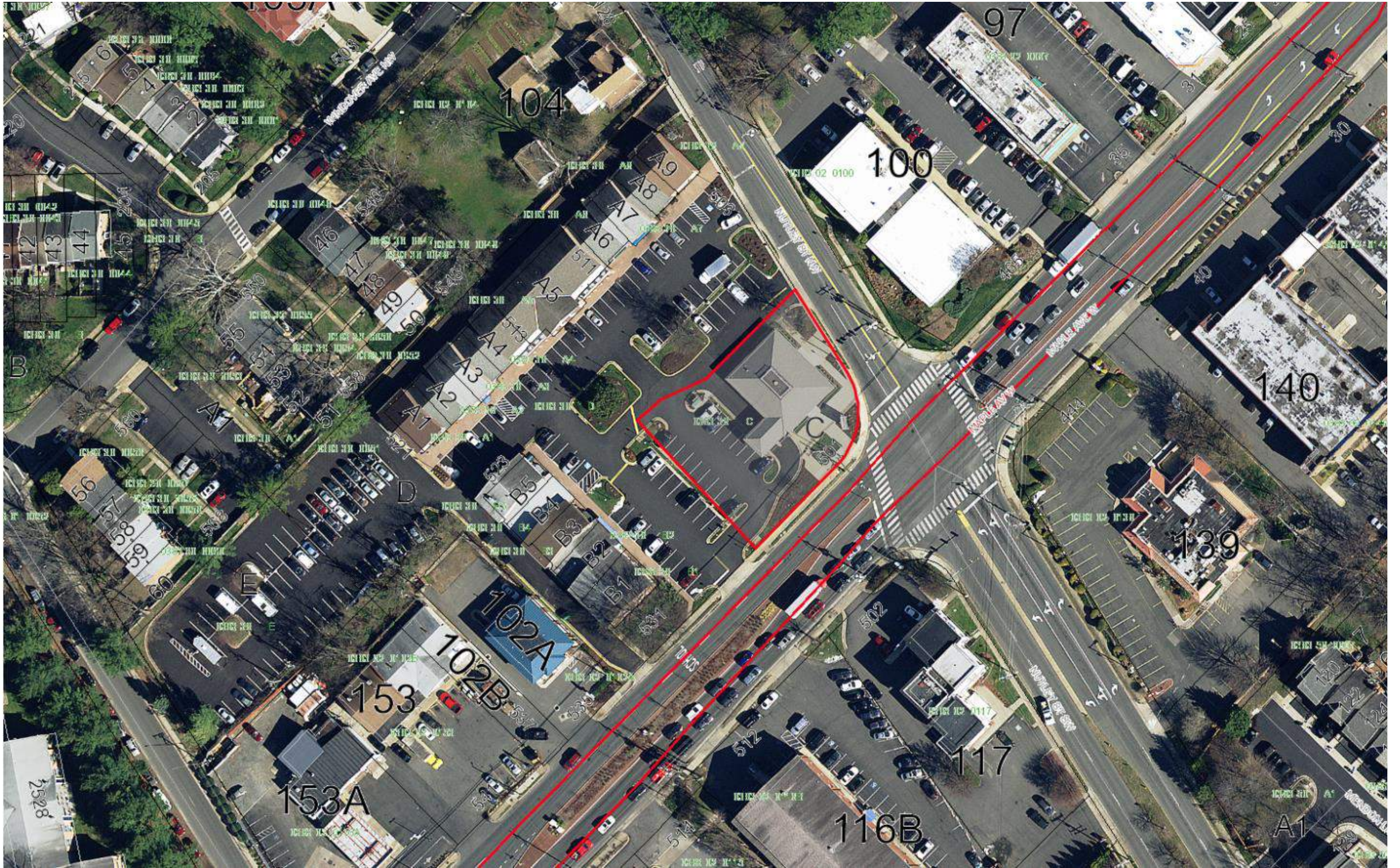
BAR SUBMISSION
July 21, 2022

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EXISTING CONDITIONS & SITE PHOTOS



EXISTING AERIAL VIEW



SOUTH ELEVATION



WEST ELEVATION



NORTHWEST ELEVATION



NORTH ELEVATION



NORTHEAST ELEVATION



CIVIL & LANDSCAPE PLANS



TOWN OF VIENNA GENERAL NOTES

1. A PRE-CONSTRUCTION MEETING MUST BE HELD PRIOR TO THE START OF CONSTRUCTION. CALL 703-255-6384 TO SCHEDULE PRE-CONSTRUCTION MEETING.
2. ALL CONSTRUCTION GENERATED DEBRIS MUST BE HAULED AWAY BY THE CONTRACTOR OR OWNER.
3. PRIOR TO THE REMOVAL OF ANY TOWN TREES (TREES WITHIN THE RIGHT OF WAY), THE APPLICANT OR THEIR REPRESENTATIVE SHALL CONTACT THE TOWN OF VIENNA ARBORIST AT 703-255-6360 TO COORDINATE HAVING THE TOWN ARBORIST ONSITE DURING ALL TOWN TREE REMOVAL.
4. TREE PROTECTION FOR ANY TOWN TREE, AS SHOWN ON PLAN, MUST BE INSTALLED PRIOR TO ANY SITE WORK.
5. IT IS UNLAWFUL TO PERFORM ANY CONSTRUCTION ABOVE FOUNDATION CORNERS PRIOR TO APPROVAL OF SETBACKS. WORK COMPLETED IN VIOLATION OF THIS REQUIREMENT IS SUBJECT TO DEMOLITION.
6. ALL DUMPSTERS ARE TO BE PLACED ON PRIVATE PROPERTY.
7. FRONT ELEVATION CHECKS ARE REQUIRED.
8. WALL CHECK SURVEYS ARE REQUIRED AND MUST BE SUBMITTED PRIOR TO CONSTRUCTION ABOVE FOUNDATION CORNERS.
9. A CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO OCCUPANCY. ALL REQUIRED DOCUMENTATION AND INSPECTIONS MUST BE SUBMITTED/COMPLETED BEFORE THE TOWN OF VIENNA WILL ISSUE A CERTIFICATE OF OCCUPANCY.
10. EXISTING SANITARY SEWER LATERALS ARE TYPICALLY CAPPED AT OR NEAR THE PROPERTY LINE. THE REUSE OF THE PORTION OF THE EXISTING SANITARY LATERAL BETWEEN THE TOWN OWNED SANITARY SEWER MAIN AND THE CAPPED END MAY BE ALLOWED PROVIDING THAT A LICENSED PLUMBER CERTIFIES THAT THE EXISTING PIECE OF PIPE IS GRADED PROPERLY AND IN LIKE NEW CONDITION. THE REUSE OF A PORTION OF THE EXISTING LATERAL DOES NOT IMPLY THAT THE TOWN IS WARRANTING THE CONDITION IN ANY WAY.

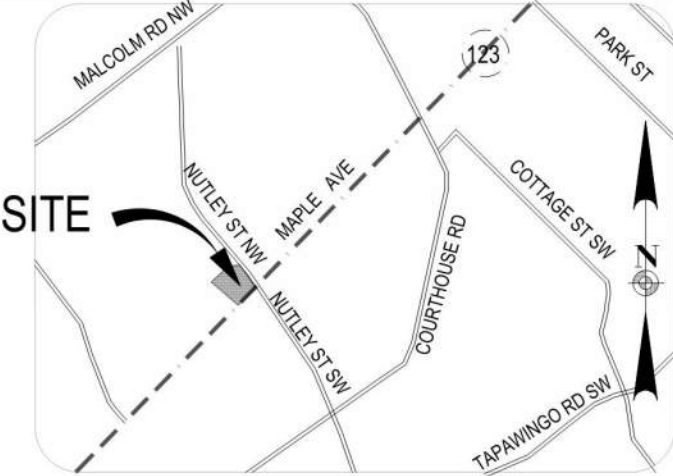
GENERAL NOTES:

1. THE PROPERTY DELINEATED HEREON IS LOCATED IN THE TOWN OF VIENNA, IS SHOWN ON FAIRFAX COUNTY TAX ASSESSMENT MAP 38-3 BLOCK 38 PARCEL C AND IS ZONED C-1.
2. DEVELOPER: JDA CUSTOM HOMES
PO BOX 1208
VIENNA VIRGINIA 22183
(703)838-1119
3. OWNER: 501 MAPLE WEST LLC
PO BOX 1208
VIENNA VIRGINIA 22183
4. THE PURPOSE OF THIS LOT GRADING PLAN IS TO OBTAIN A PERMIT FOR GRADING LESS THAN 2500 SF AT 501 MAPLE STREET, W VIENNA WITH PUBLIC SEWER AND PUBLIC WATER.
5. THE BOUNDARY INFORMATION SHOWN HEREON IS FROM A FIELD SURVEY BY KENDALL CONSULTING, INC DATED NOVEMBER 2021 AND PLATS FOR VILLAGE GREEN
6. TOPOGRAPHY SHOWN HEREON IS BASED ON CURRENT TOPOGRAPHIC SURVEY PREPARED BY KENDALL CONSULTING INC. TOPOGRAPHY IS CORRELATED TO NVG0 88 DATUM. THE CONTOUR INTERVAL IS 2 FEET.
7. ALL SILT CONTROLS SHALL BE PLACED AT THE LIMITS OR GRADING AND NOT IN WOODED AREAS OR THOSE AREAS TO REMAIN UNDISTURBED.
8. AIR QUALITY WILL NOT BE AFFECTED BY THIS CONSTRUCTION.
9. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT TOWN OF VIENNA STANDARDS AND SPECIFICATIONS OR AS NOTED ON THE PLANS.
10. CONTROLLED FILLS MUST BE COMPACTED TO 95% AS DETERMINED BY METHOD "A" PER STANDARD PROCTOR AASHTO-199 OR ASTM-B698. DENSITY MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER AND RESULTS SUBMITTED TO FAIRFAX COUNTY PRIOR TO FOOTING CONSTRUCTION.
11. THE HORIZONTAL AND VERTICAL LOCATION OF UNDERGROUND ELECTRICAL, GAS, CABLE, TV AND TELEPHONE UTILITIES IS UNKNOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF SAID UTILITIES PRIOR TO BEGINNING EXCAVATION IN THE VICINITY THEREOF. CALL MISS UTILITY 1-800-257-7777 48 HOURS IN ADVANCE OF ANY WORK IN THIS AREA.
12. THIS PLAN HAS BEEN PREPARED WITHOUT BENEFIT OF TITLE REPORT.
13. ALL UTILITIES, IF REQUIRED TO BE RELOCATED, ARE TO BE RELOCATED AT THE DEVELOPER'S EXPENSES, INCLUDING ALL POLES.
14. THE DEVELOPER IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING ROAD AND UTILITIES WHICH OCCURS AS A RESULT OF CONSTRUCTION PROJECT WITHIN OR CONTIGUOUS TO EXISTING RIGHT-OF-WAY.
15. ALL EROSION SILTATION CONTROL MEASURES SHALL CONFORM TO THE LATEST EDITION OF THE "VIRGINIA EROSION SEDIMENT CONTROL HANDBOOK".
16. PER FAIRFAX COUNTY CHESAPEAKE BAY PRESERVATION MAPS, THERE ARE NO KNOWN RPA'S ON THE PROPERTY DELINEATED ON THIS PLAN.
17. SEPARATE PERMIT REQUIRED FOR ALL RETAINING WALLS 2 FEET HIGH AND OVER AND OTHER STRUCTURES.
18. ALL GRADES AROUND THE PROPOSED BUILDING SHALL HAVE A SLOPE OF 5% FOR THE FIRST 10 FEET OF DISTANCE FROM THE BUILDING.
19. ALL TREES WITHIN THE LIMITS OF CLEARING AND GRADING SHALL BE REMOVED UNLESS OTHERWISE NOTED. NO TREES ARE PROPOSED FOR REMOVAL.
20. ALL TREES LOCATED OUTSIDE THE LIMITS OF CLEARING AND GRADING SHALL BE PRESERVED UNLESS OTHERWISE NOTED.
21. ALL NEW UTILITIES MUST BE UNDERGROUND IN ACCORDANCE WITH SECTION 18-172.1 OF THE TOWN CODE.
22. AREA SHALL BE A DESIGNATED LOADING SPACE FROM 12AM-10AM. SIGNAGE WILL BE POSTED. PARKING SPACES WILL NOT COUNT TOWARDS REQUIRED PARKING SPACES.
23. NO TREES ARE REMOVED WITH THIS PLAN
24. NO PROPOSED TREES (OR LANDSCAPE PLAN) WITH THIS PLAN

PARKING		
EXISTING SPACES	18	
PROPOSED SPACES	19	
INCLUDING 1 HANDICAP		
SHARED GENERAL SPACES	10	

SITE ANALYSIS		
DESCRIPTION	REQUIRED	PROVIDED/EXISTING
ZONING	C-1	C-1
LOT AREA	N/A	17691
MAX LOT COVERAGE	N/A	N/A
SETBACK		
FRONT	15	35.4
SIDE	5	55.3
SIDE (STREET)	5+1 PER STORY ABOVE 1ST	10.5
REAR	25	19.0

SEATING		
NUMBER OF SEATS	100	
SPACES ON PREMISES	19	
SHARED GENERAL SPACES	10	
1 SPACE PER 4 SEATS		
TOTAL SEATS ALLOWED	116	



VICINITY MAP:
1"=500'

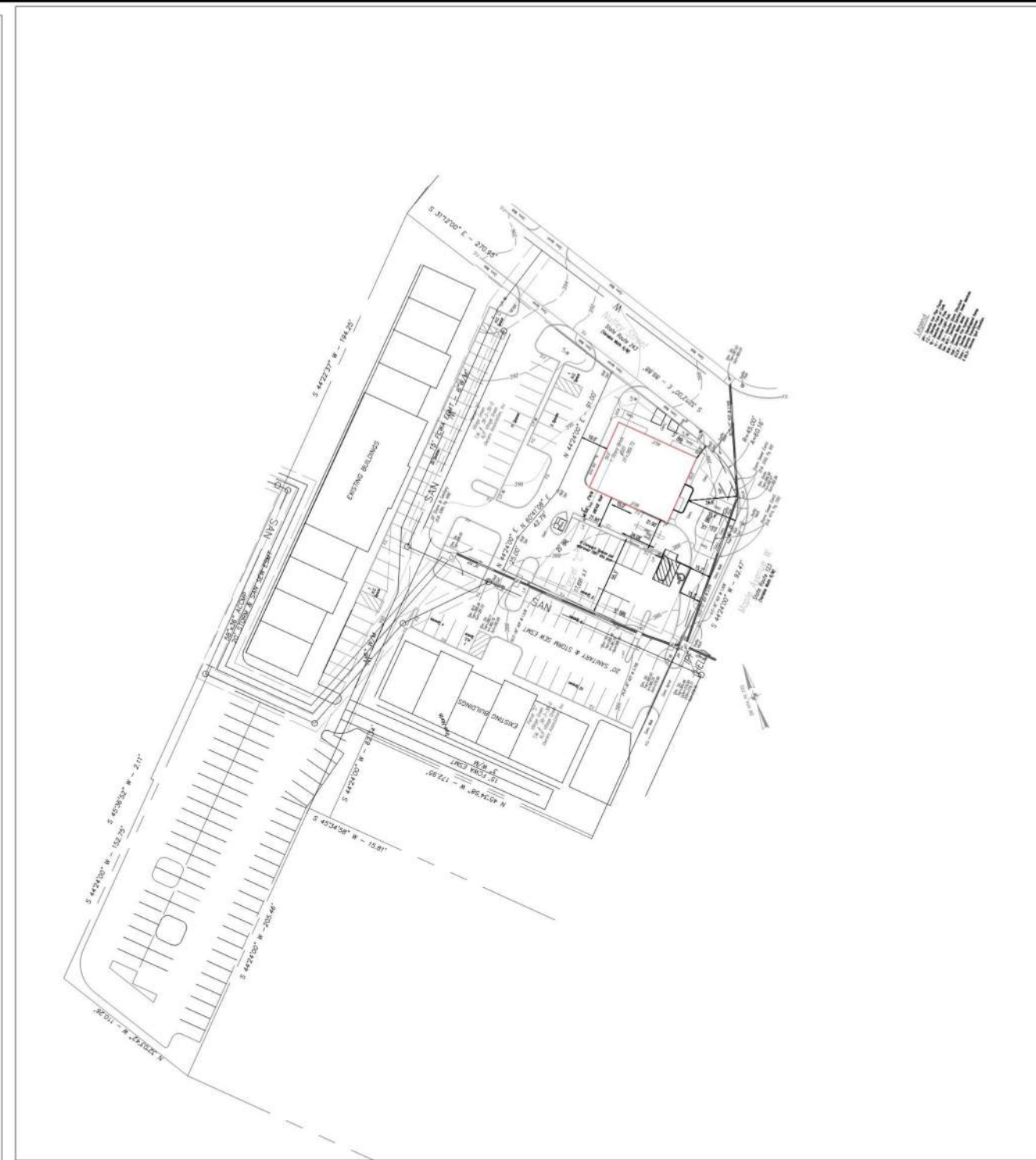
DEVELOPER:
JDA CUSTOM HOMES
PO BOX 1208
VIENNA VIRGINIA 22183
(703)838-1119

ENGINEER:
Jordan Land Design LLC
CONTACT: DAVID M. JORDAN
PO BOX 1208
VIENNA VIRGINIA 22183
PHONE: (703) 233-5830



501 MAPLE AVE, W
HUNTER MILL DISTRICT- TOWN OF VIENNA-FAIRFAX COUNTY, VIRGINIA

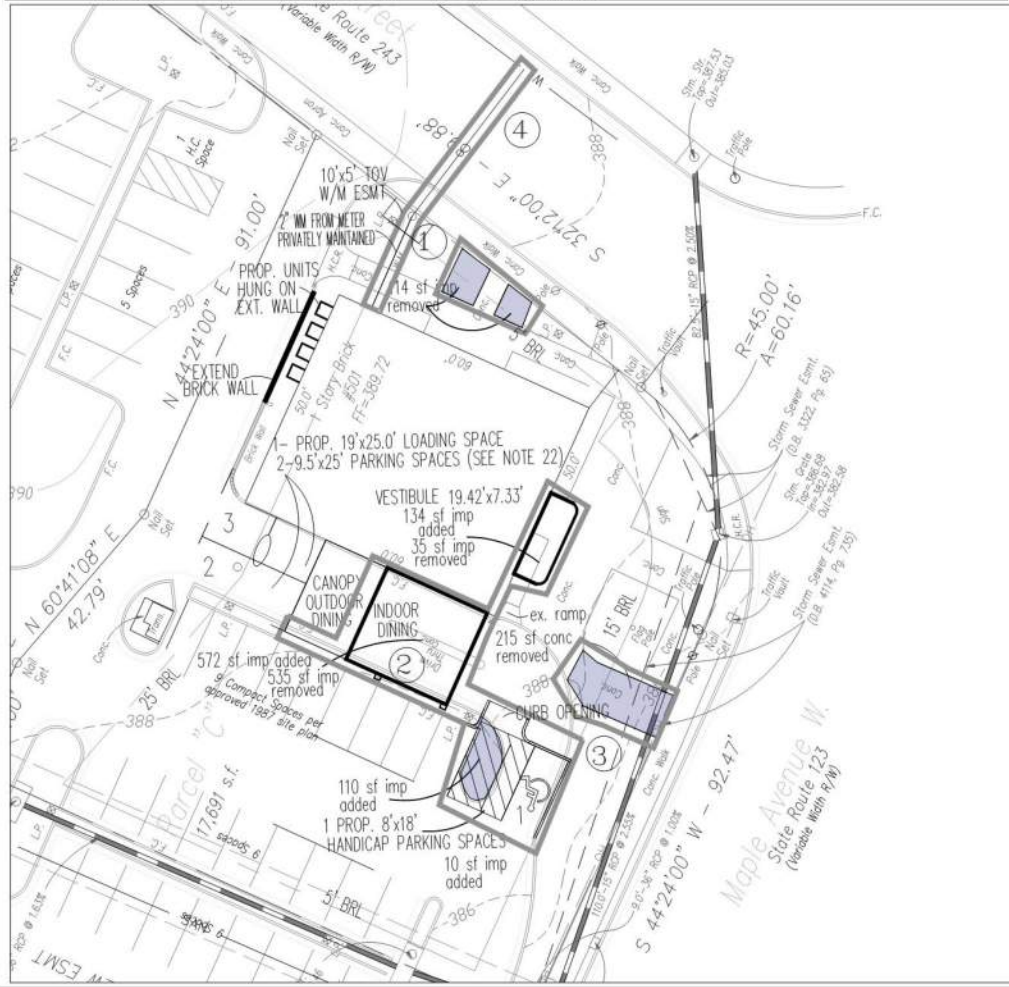
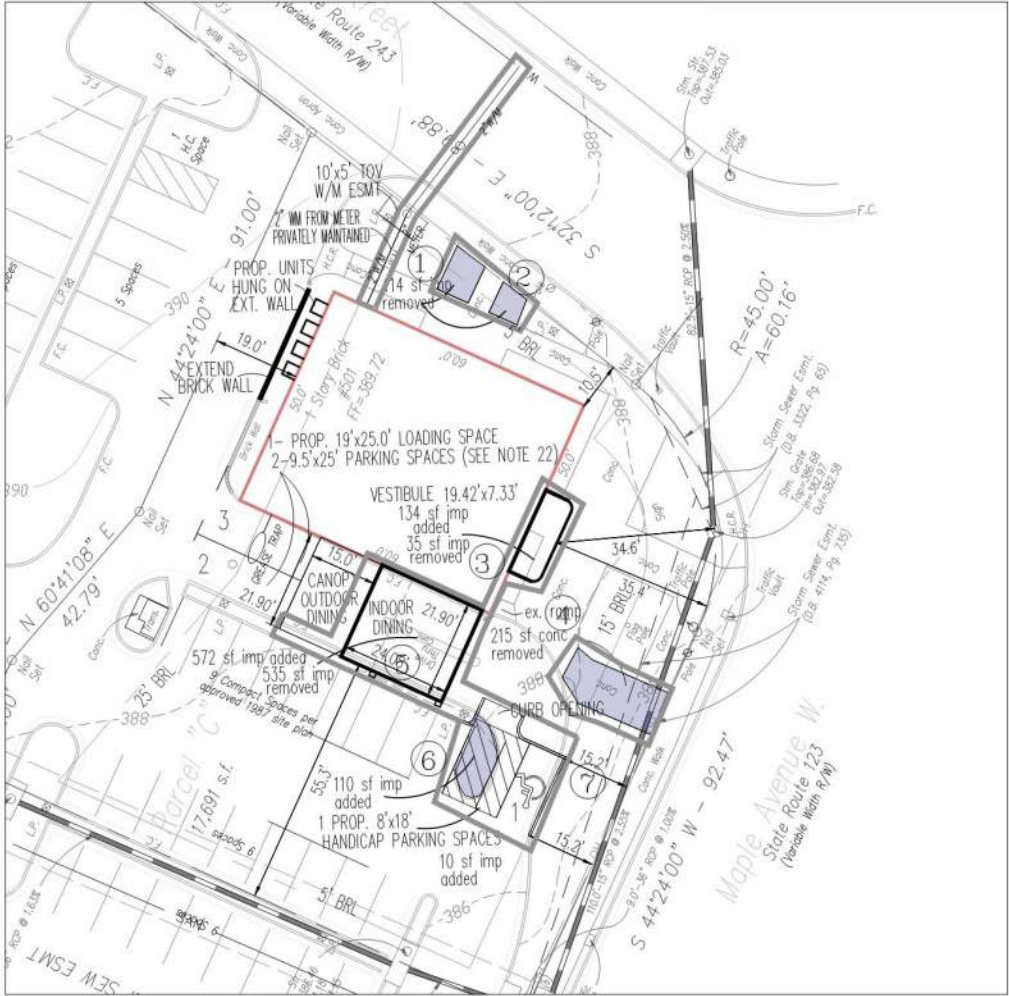
PROJECT NO: 180414.01	COUNTY NUMBER:
DATE: April 2022	TOWN OF VIENNA #:
DWG BY: DMJ	N/A
DESIGN BY: DMJ	SHEET NO:
CHECK BY: DMJ	1
SCALE: 1"=20'	OF 4



VILLAGE GREEN SHOPPING CENTER

SCALE 1"=50'

501 MAPLE AVE, W		HUNTER MILL DISTRICT, TOWN OF VIENNA-FAIRFAX COUNTY, VIRGINIA	
EXISTING CONDITIONS		EXISTING CONDITIONS	
PROJ. NO. 180474.01		COUNTY NUMBER:	
DATE: APR 2022		TOWN OF VIENNA #:	
DWG. BY: DMJ		N/A	
DESIGN BY: DMJ		SHEET NO.	
CHECK BY: DMJ		2	
SCALE: 1"=20'		OF 4	
DEVELOPER: JDA CUSTOM HOMES CONTACT: DENNIS PRICE PO BOX 1208 LEESBURG, VA 20153 PHONE: (703) 535-1119		ENGINEER: Jordan Land Design LLC CONTACT: DAVID M. JORDAN 10000 WOODBURN COURT LEESBURG, VA 20176 PHONE: (571) 233-5630	
NO.		DATE	
BY		AUTH.	

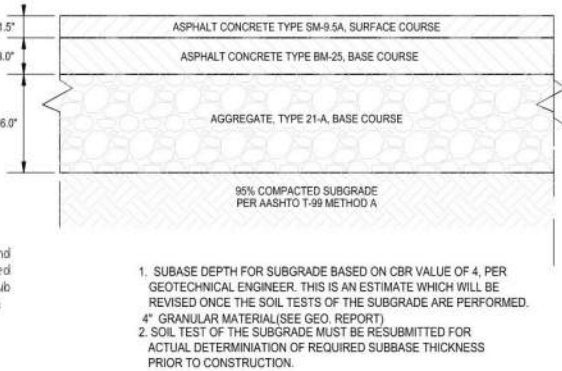
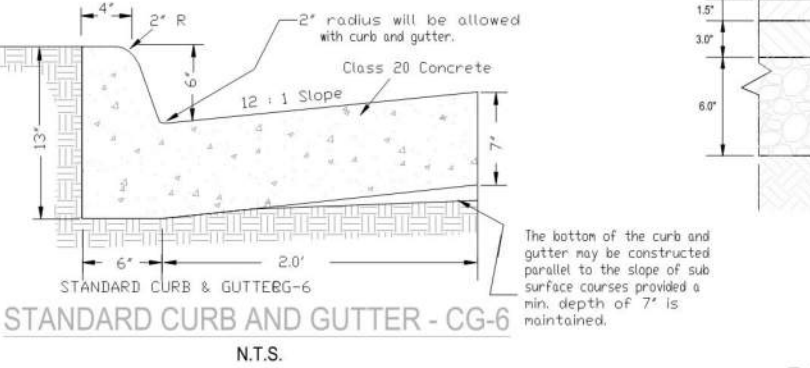


SUMMARY OF ADDED/ REMOVED IMPERVIOUS AREAS

IMPERVIOUS AREAS		
DESCRIPTION	ADDED	REMOVED
AREA 1 - SIDEWALK	0	71
AREA 2 - SIDEWALK	0	43
AREA 3 - VESTIBULE	134	35
AREA 4 - SIDEWALK	0	215
AREA 5 - INDOOR DINING	572	535
AREA 6 - PAVEMENT / ISLAND	110	0
AREA - 7 CURB	10	0
TOTAL	826	899
NET		73

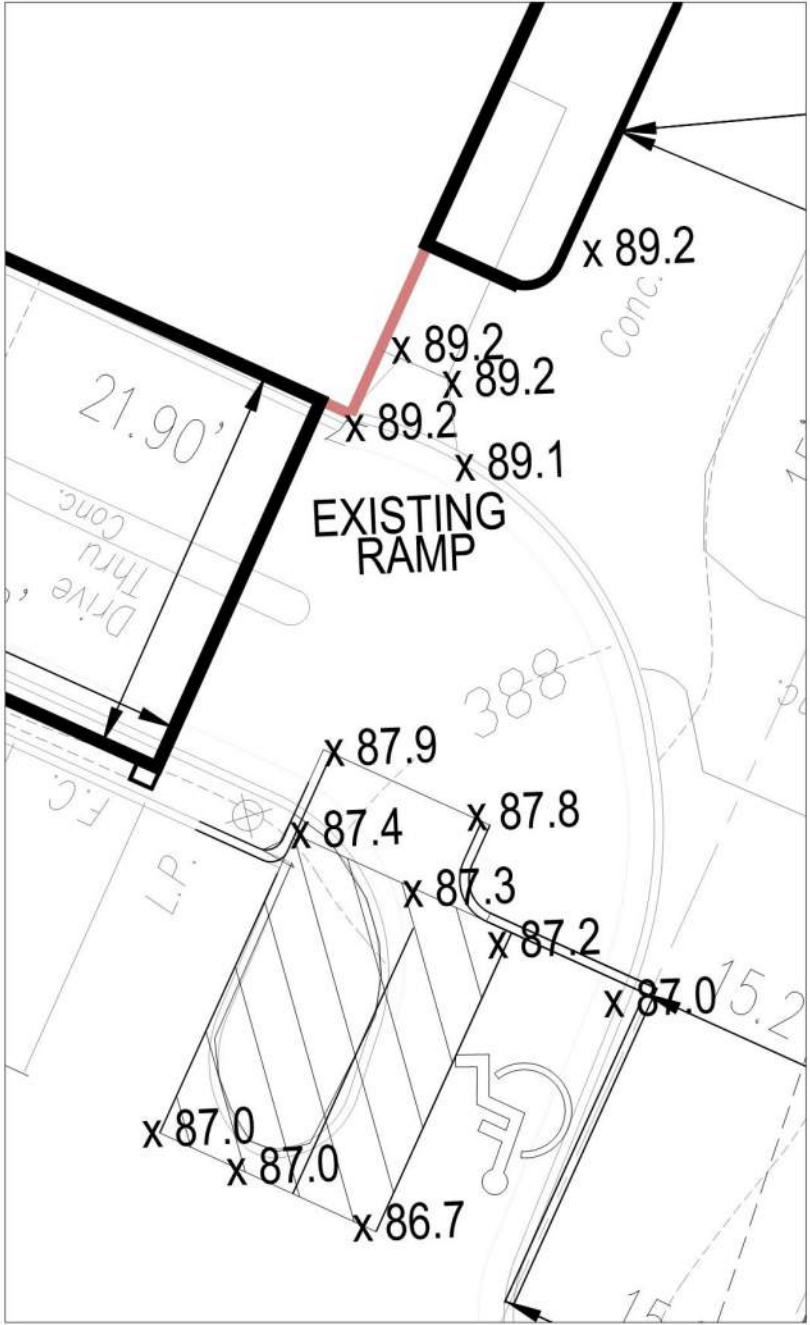
SUMMARY OF LIMITS OF DISTURBANCE

DISTURBED AREAS		
DESCRIPTION	SF	
AREA 1	200	
AREA 2	1750	
AREA 3	245	
AREA 4	250	
TOTAL	2445	



PARKING LOT PAVEMENT SECTION

N.T.S.



PARKING LOT (HANDICAP) SPOT SHOTS

1"=5'

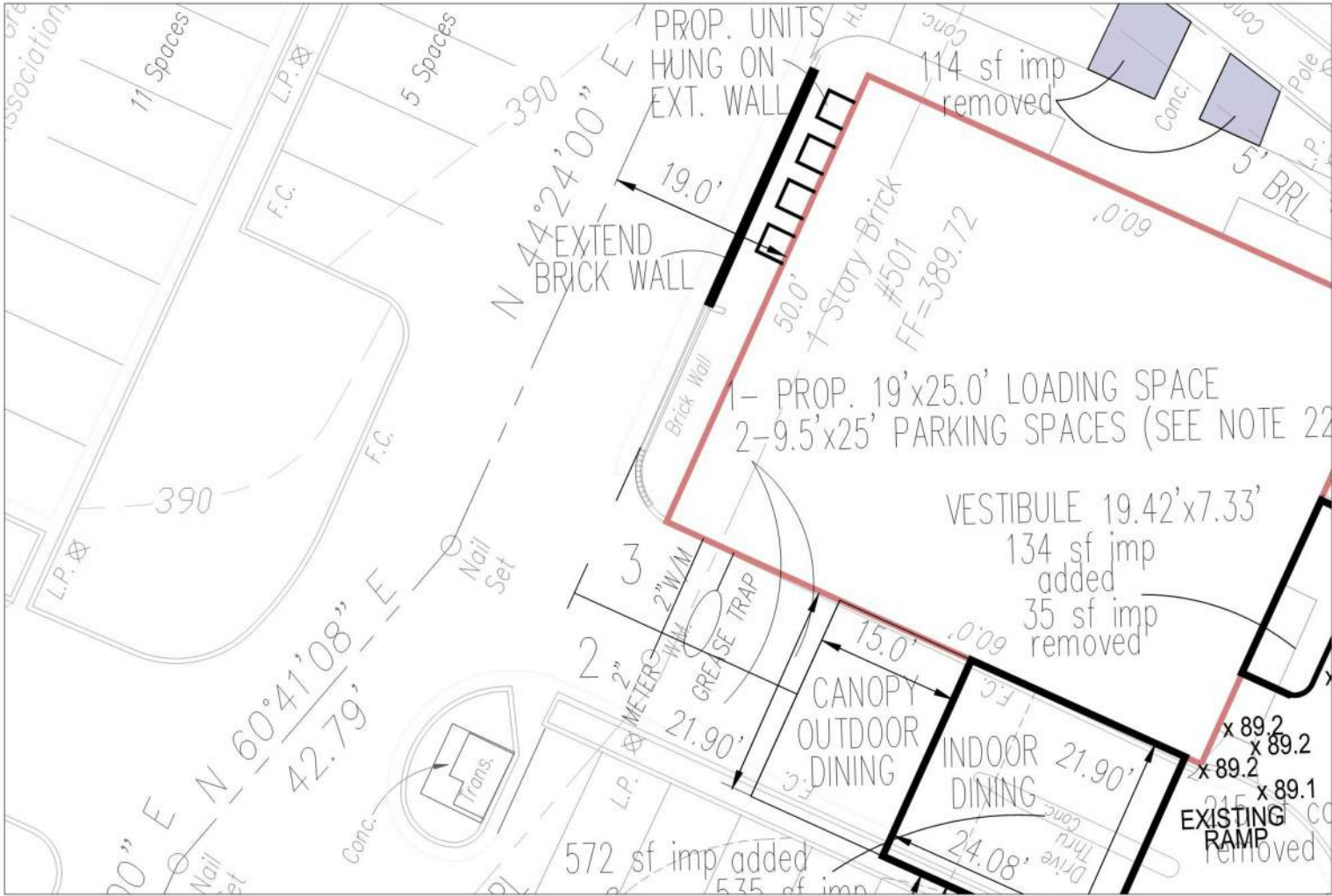
DEVELOPER:
JDA CUSTOM HOMES
CONTACT: DENNIS PRICE
PO BOX 1208
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PHONE: (703) 535-1119

ENGINEER:
Jordan Land Design LLC
CONTACT: DAVID M. JORDAN
10000 WOODBURN DRIVE COURT
LEESBURG, VA 20156
PHONE: (571) 233-5630



501 MAPLE AVE, W
HUNTER HILL DISTRICT, TOWN OF VIENNA-FAIRFAX COUNTY, VIRGINIA

PROJ. NO. 180414.01	COUNTY NUMBER:
DATE: APR 2022	TOWN OF VIENNA #:
DWG. BY: DMJ	N/A
DESIGN BY: DMJ	SHEET NO. 3
CHECK BY: DMJ	OF 4
SCALE: 1"=20'	



GI-1 GREASE INTERCEPTOR SIZING- PDI METHOD						
FIXTURE	QTY	TRAP SIZE	DRAINAGE FIXTURE-UNIT VALUE	GPM EQUIVALENT	TOTAL	PDI GREASE INTERCEPTOR SIZE
0	0	4"	6	45	0	
3xFD-1	3	3"	3	37.5	112.5	
FS/27/30.1	11	2"	3	22	242	
TOTAL GPM					354.5	500GPM

GI-2 GREASE INTERCEPTOR SIZING- PDI METHOD						
FIXTURE	QTY	TRAP SIZE	DRAINAGE FIXTURE-UNIT VALUE	GPM EQUIVALENT	TOTAL	PDI GREASE INTERCEPTOR SIZE
-	0	4"	6	45	0	
B9	1	3"	5	37.5	37.5	
B1,B13,B13.1	6	2"	3	22	132	
TOTAL GPM					169.5	200 GPM 400LBS

Project Name: The Yellow Diner			
Domestic Demand (Continuous)			
Fixture Type (standardized at 60 psi)	Fixture value (gpm)	Number of Fixtures	Total Fixture Value (gpm)
Bathtub	8	x	= 0
Bedpan Washers	10	x	= 0
Bidet	2	x	= 0
Dental Unit	2	x	= 0
Drinking Fountain (public)	2	x	= 0
Faucet (kitchen sink)	2.2	x 6	= 13
Faucet (lavatory)	1.5	x 8	= 12
Shower Head (shower only)	2.5	x	= 0
Faucet (utility sink)	4	x 2	= 8
Urinal (flush valve)	35	x	= 0
Urinal (wall or stall)	16	x 1	= 16
Urinal Trough (2 ft. unit)	2	x	= 0
Toilet Flush Valve	35	x	= 0
Toilet Tank Type	4	x 4	= 16
Dishwasher	2	x 2	= 4
Clothes Washer	6	x	= 0
Hose (50 ft length wash down) 1/2" connection	5	x 2	= 10
Hose (50 ft length wash down) 5/8" connection	9	x	= 0
Hose (50 ft length wash down) 3/4" connection	12	x	= 0
Other	x		= 0
Total Fixture Value			= 79
Water Flow Demand per fixture value (Figures 1 & 2 (see page 5 of 5)) gpm			= 45
Pressure adjustment factor (Table 1 (see page 4 of 5))			= 1.00
Water Flow Demand x Pressure Factor gpm			= 45.0
Total Domestic Demand gpm			= 45

Information obtained from the American Water Works Association M22 2nd Ed.
Meter Size: 1"

70 SIZING WATER SERVICE LINES AND METERS

Table 6-1 AWWA meter standards

Meter	Minimum Flow Rate, gpm	Low-Normal Flow Rate, gpm	Change-over Range, (Compound Meters)	High-Normal Flow Rate, gpm	Maximum Flow Rate, gpm	Head Loss at Maximum Flow, psi
Positive displacement						
1/8 in.	0.25	1	N/A	7.5	15	15
1/4 in.	0.25	1		10	20	15
3/8 in.	0.50	2		15	30	15
1 in.	0.75	3		25	50	15
1 1/2 in.	1.50	5		50	100	15
2 in.	2.00	6		80	160	15
Multijet						
1/8 in.	0.25	1	N/A	10	20	15
1/4 in.	0.50	2		15	30	15
1 in.	0.75	3		25	50	15
1 1/2 in.	1.50	5		50	100	15
2 in.	2.00	6		80	160	15
Turbine class II						
1 1/2 in.	N/A	4	N/A	90	120	7
2 in.		4		160	190	7
3 in.		8		350	435	7
4 in.		15		600	730	7
6 in.		30		1,400	1,600	7
8 in.		50		2,400	2,800	7
10 in.		75		3,500	4,200	7
12 in.		120		4,800	5,300	7
16 in.		200		6,500	7,800	7
20 in.		300		10,000	12,000	7
Compound class II						
2 in.	0.25	1	15	80	160	15
3 in.	0.50	2	15	175	350	15
4 in.	0.75	3	18	300	600	15
6 in.	1.50	5	20	675	1,350	15
8 in.	2.00	16	35	900	1,800	15
Fire service, type II—compound						
3 in.	* see note	2	30	250	350	12
4 in.		4	40	400	700	12
6 in.		5	90	900	1,600	12
8 in.		8	150	1,600	2,800	12
10 in.		8	200	2,200	4,600	12

Source: Data are drawn from AWWA Standards C701, C701, C702, C703, C704, C705, C706, C707, C708, C709, C710, C711, C712, C713, and C714, latest revision.
N/A = not applicable.
*Minimum flow rate is per the applicable AWWA standard for the bypass meter employed.

(Table continued on next page.)

DEVELOPER:
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CONTACT: DENNIS PRICE
PO BOX 1208
LEESBURG, VA 20176
PHONE: (703) 535-1119

ENGINEER:
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CONTACT: DAVID M. JORDAN
1000 W. MARKET STREET, SUITE 200
LEESBURG, VA 20176
PHONE: (571) 233-5630



501 MAPLE AVE, W
HUNTER HILL DISTRICT, TOWN OF VIENNA-FAIRFAX COUNTY, VIRGINIA
GREASE TRAP AND WATER
DEMAND CALCULATIONS

PROJ. NO.: 180414.01
DATE: APR 2022
DWG. BY: DMJ
DESIGN BY: DMJ
CHECK BY: DMJ
SCALE: 1"=20'
COUNTY NUMBER:
TOWN OF VIENNA #:
SHEET NO.:
4
OF 4



ITALIAN CYPRESS



LIRIOPE



BRANDYWINE MAPLE



HICKS YEW HEDGE



OKAME CHERRY



NATIVE PERENNIALS



DWARF MONTGOMERY SPRUCE



DENSE YEW



DWARF MONTGOMERY SPRUCE



DRIFT ROSES



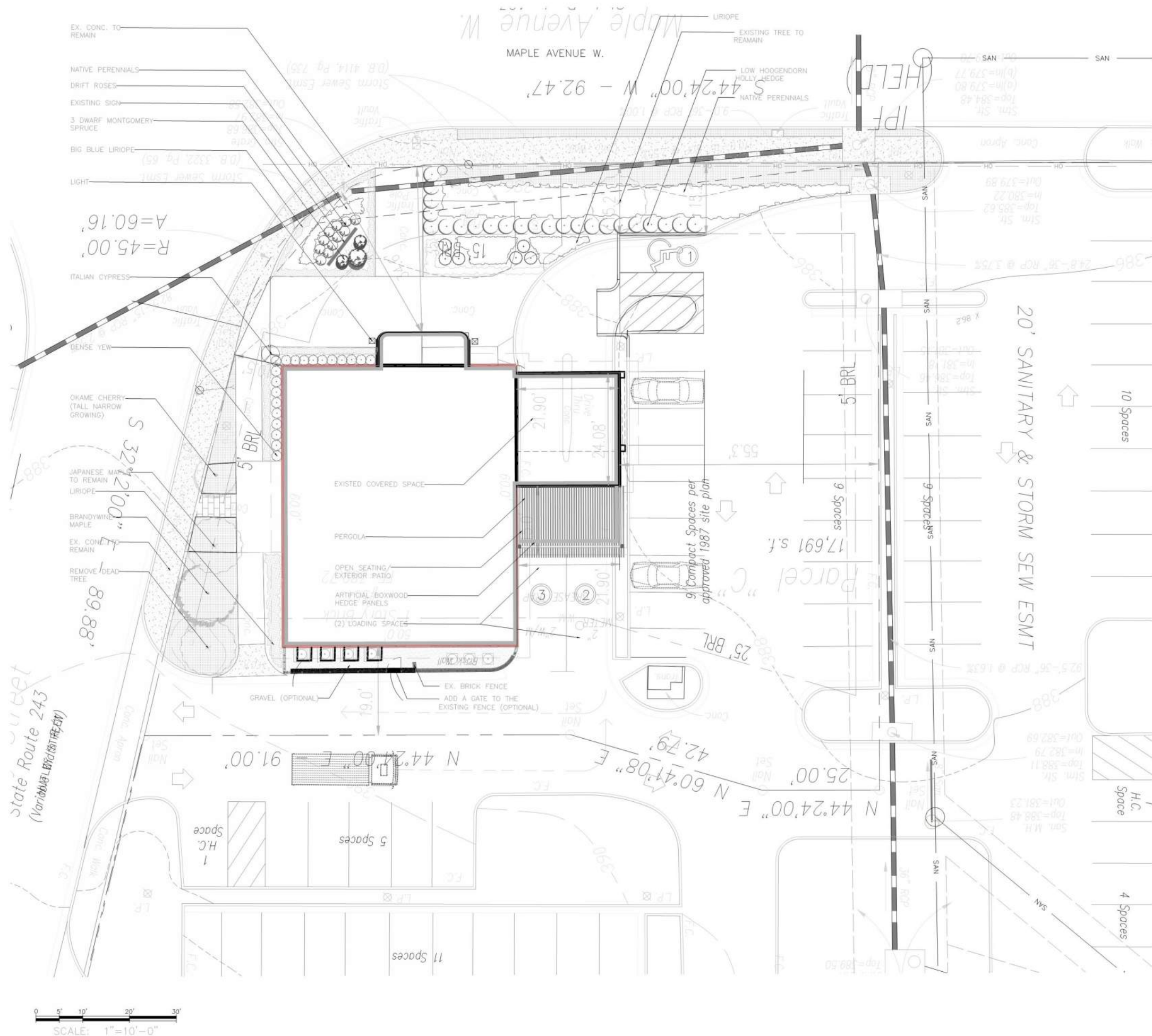
ARTIFICIAL BOXWOOD PANEL



DWARF MONDO GRASS



ARTIFICIAL BOXWOOD PANEL



SCALE: 1"=10'-0"

Renovation at Nutley St & Maple Avenue

501 Maple Ave W,
Vienna, VA 22180



21558 STONETREE COURT STERLING, VA 20166
(703) 421 7441 finelandscapes.com
info@finelandscapes.com

© 2022 Fine Landscapes Limited

Seal:



NORTH

Scale: 1"=10'

Date: 01/13/2022

Drawn: SA

Checked: OS

Design: CO

Rev: Description: Date:

Rev	Description	Date

SITE PLAN

Sheet #:

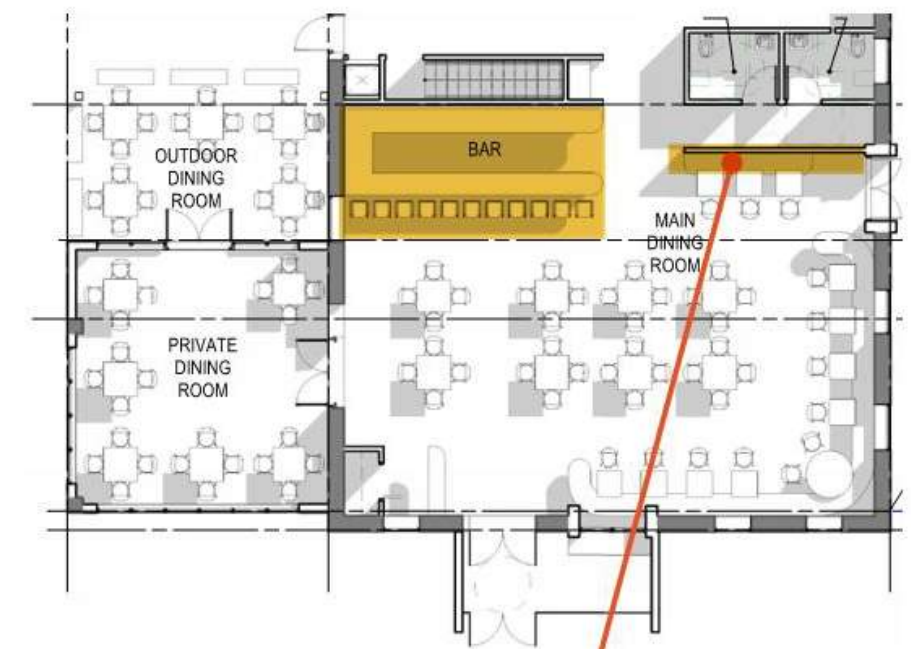
L100

Yellow
DINER

DESIGN INSPIRATION



SIMPLE, INVITING, UPDATED EXTERIOR

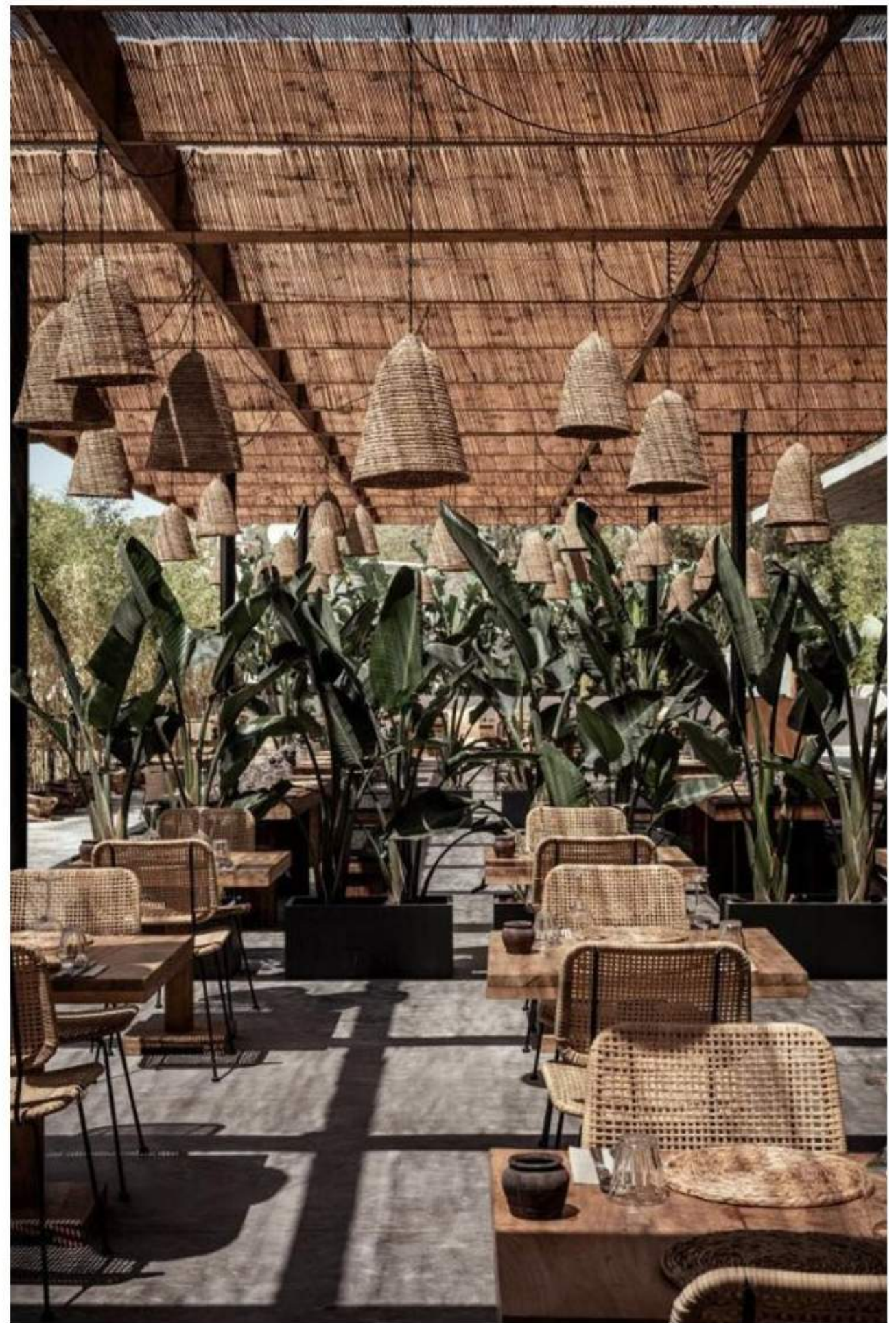


WOOD BUILT-IN

SCREEN BACKING



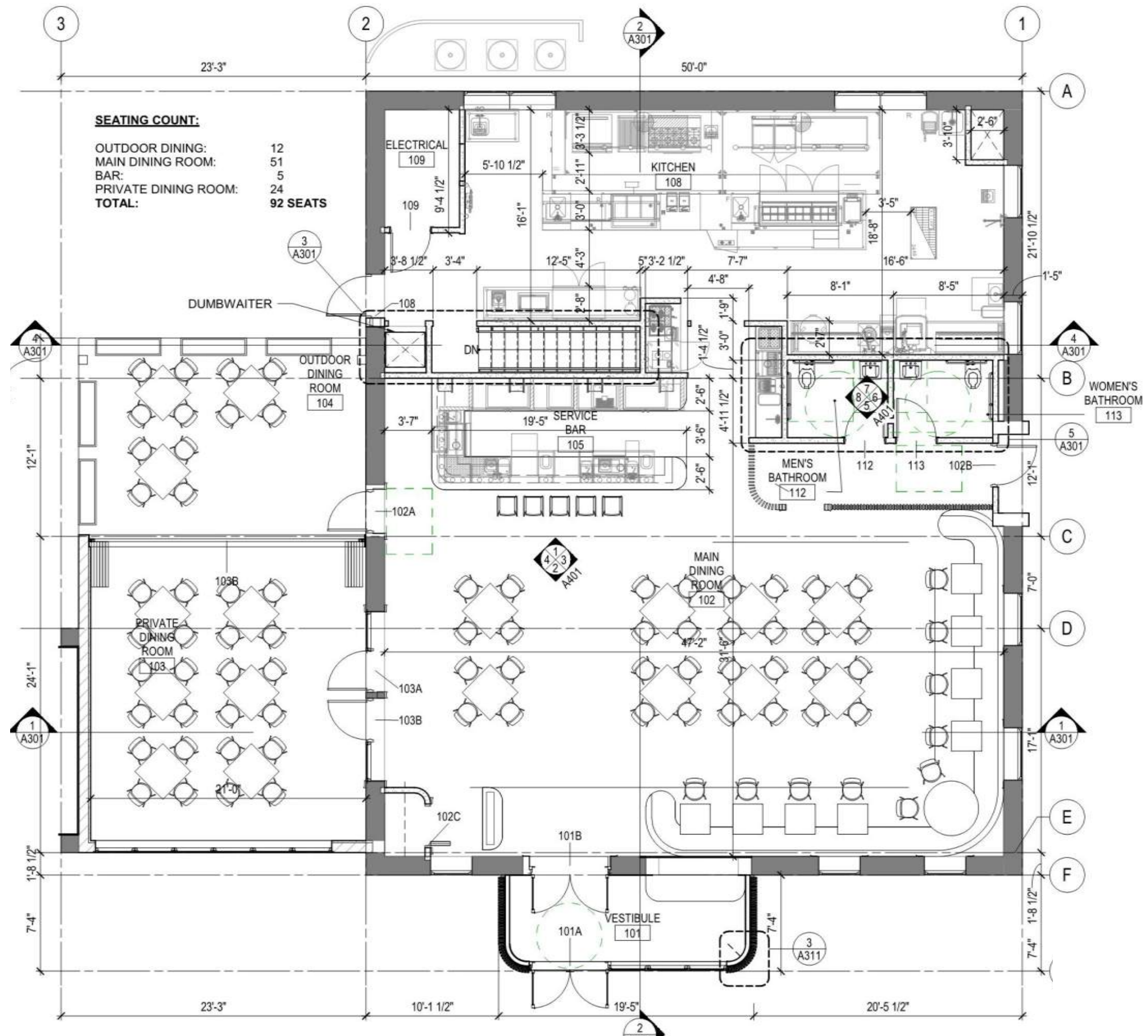
PRECEDENT IMAGES - WHITE, TEXTURED WALLS WITH ARCHWAYS - WOOD AND YELLOW ACCENTS



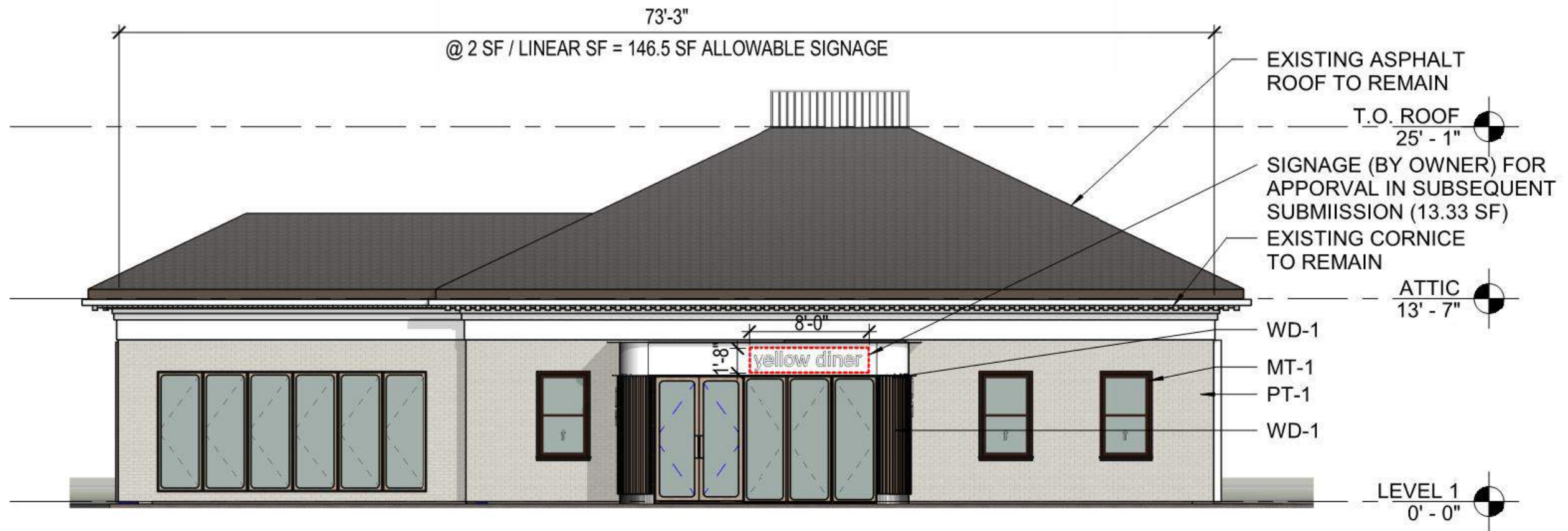
PRECEDENT IMAGES - OUTDOOR DINING - WOOD TRELLIS, WICKER AND GREENERY



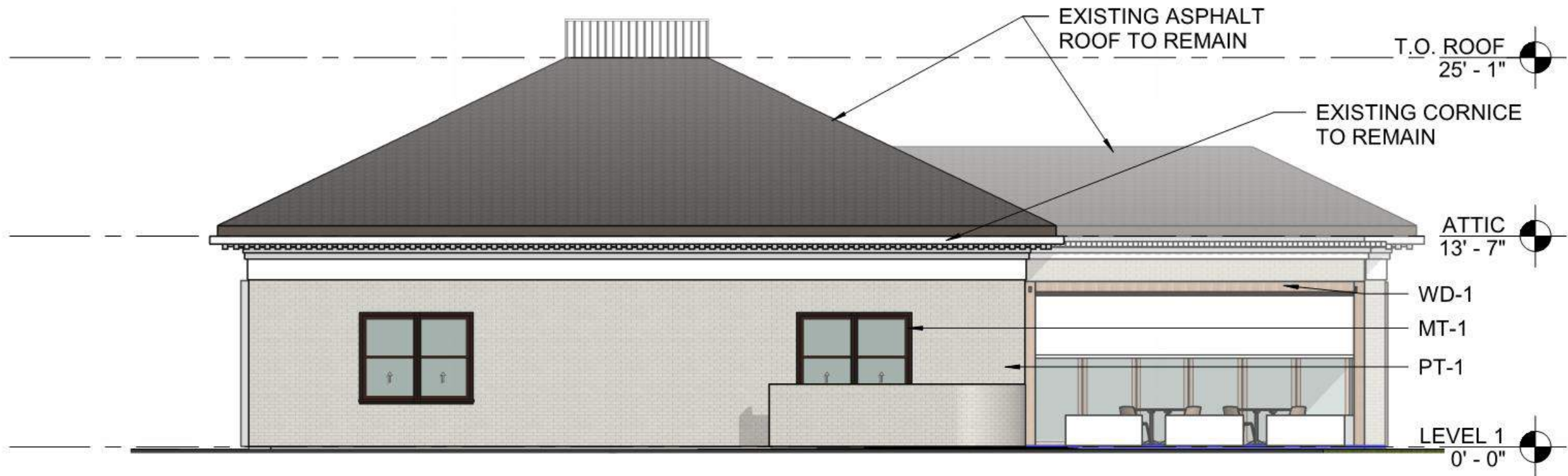
FLOOR PLANS & ELEVATIONS



GROUND FLOOR PLAN



2 SOUTH ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

SW 7008
Alabaster

PT-1
SW 7008 ALABASTER

WD-1
WOOD, WHITE OAK

MT-1
ALUMINUM CLADDING
COPPER PEARLESCENT

Sketch Title:

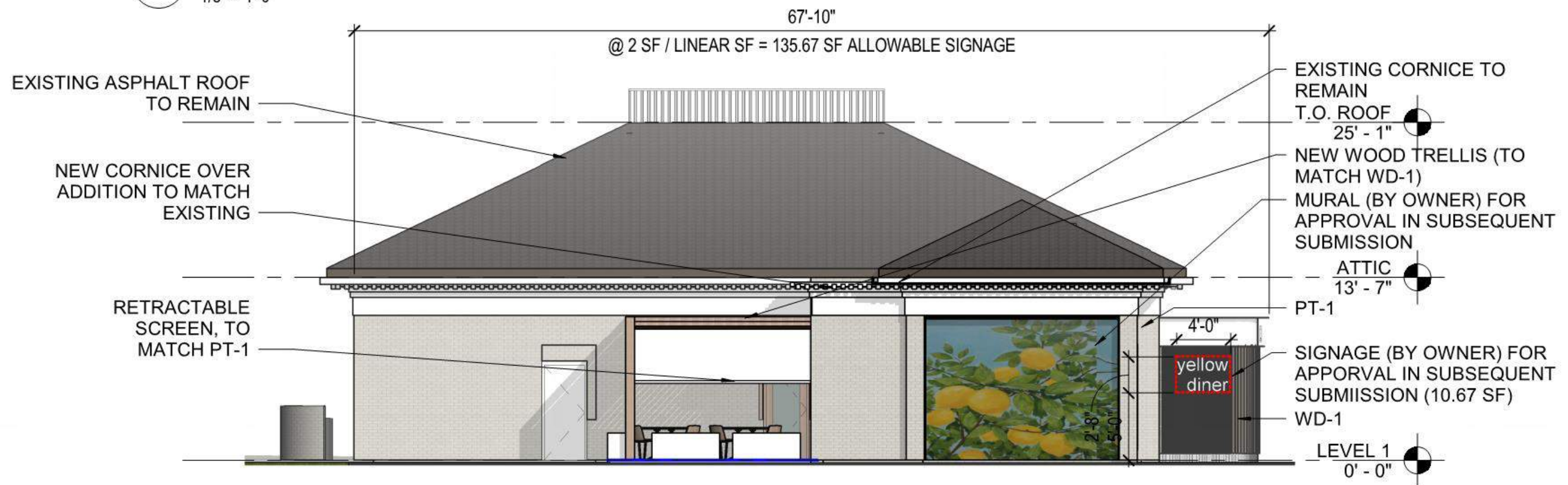
EXTERIOR ELEVATIONS



Scale: As indicated
Date: 06/15/2022



2 EAST ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

SW 7008
Alabaster

PT-1
SW 7008 ALABASTER

WD-1
WOOD, WHITE OAK

MT-1
ALUMINUM CLADDING
COPPER PEARLESCENT



EXTERIOR LIGHTING & PLANTERS

DATE PROJECT FIRM TYPE

- DIM TO 0%, ELV REVERSE PHASE
- 24 BEAM ANGLES
- MULTI-VOLT
- FLIP TO FLAT™
- 6 CCT OPTIONS
- 80+ AND 90+ CRI OPTIONS
- IP54 INTERIOR AND IP66 EXTERIOR OPTIONS

EXAMPLE: L50-I-48-10-27-90-MULT-15x65 *90 CRI not available in 2200K or 5000K **I20 is only available with Exterior option. See L35 spec sheet for interior cove options. ***Red is not available in 12W or 10W. ****Green is not available in 12W.

ALL LUMEN DATA IS FROM 4000K 80CRI FIXTURES. PLEASE SEE PHOTOMETRY SPEC SHEET FOR ADDITIONAL LUMEN DATA.

COLOR RENDERING INDEX	80+, 90+					*CALCULATIONS FOR LED FIXTURES ARE BASED ON MEASUREMENTS THAT COMPLY WITH IES LM-80 TESTING PROCEDURES AND IES TM-21 CALCULATOR
COLOR CONSISTENCY	2-STEP MACADAM ELLIPSE					
LUMEN DEPRECIATION / RATED LIFE	WATTS	L70 @ 25C	L70 @ 50C	L90 @ 25C	L90 @ 50C	
	2W-12W	>150,000	>70,000	>50,000	>25,000	

* CALCULATIONS FOR LED FIXTURES ARE BASED ON MEASUREMENTS THAT COMPLY WITH IES LM-80 TESTING PROCEDURES AND IES TM-21 CALCULATOR

[illegible]

By dweLED

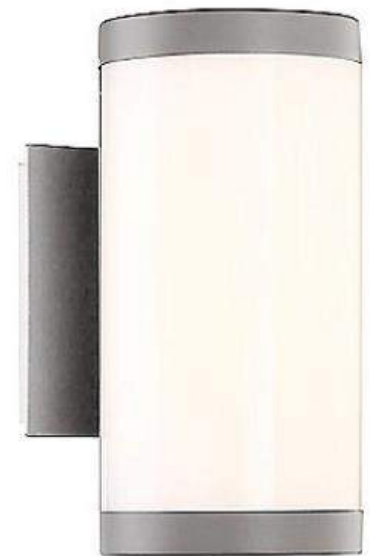
Color Temperature: 3000 , 4000

- Aluminum construction with a natural white UV-rated acrylic diffuser.
- AC LED technology - no driver or transformer required. Easily fits on a pancake junction box. 277V, 240V, or custom CCT options available by special order.
- Material: Aluminum
- Shade Material: UV-rated Acrylic
- Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100-10
- Title 24 compliant
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In China

24 Inches Option Wall Plate: Width 5", Height 5", Depth 0.63"

- 9 Inches Option: 11 Watt (776 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours
- 9 Inches Option: 11 Watt (807 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 4000K Lifespan: 50000 hours
- 16 Inches Option: 20 Watt (1683 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours
- 16 Inches Option: 20 Watt (1788 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 4000K Lifespan: 50000 hours
- 24 Inches Option: 37 Watt (3132 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours
- 24 Inches Option: 37 Watt (3241 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 4000K Lifespan: 50000 hours

EXTERIOR LIGHTING – VESTIBULE



Notes:

55000 Spot Light

By Hinkley



Call Us 866.428.9289

Details

- ETL Listed Wet
- Made In China

Additional Details

Product URL: <https://www.ylighting.com/55000-spot-light-by-hinkley-HKYY12676.html>

Rating: ETL Listed Wet



Notes:

Product ID: HKYY12676

Prepared by:

Prepared for:

Project:

Room:

Placement:

Approval:



Created December 6th, 2021

Fora Indoor/Outdoor Pendant

By Bover



Call Us 866.428.9289

Product Options

Finish: Brown Graphite with Brown Shade , Natural White with Light Beige Shade

Size: Small , Large

Details

- Round ceiling canopy
- Electric cord encased with protective neoprene
- Field-cutable suspension cables
- Adjustable height by tensor wire
- Additional finish combinations available. Please call our team of product specialists for more information.
- Designed by Alex Fernández Camps, Gonzalo Milà in 2010
- Material: Clear PMMA diffuser
- Shade Material: Synthetic rattan
- ETL Listed Wet
- Made In Spain

Dimensions

Small Option Cable: Length 59.06"

Small Option Canopy: Diameter 4.72"

Small Option Maximum Hanging: Length Adjustable To 70.87"

Small Option Shade: Height 11.81", Diameter 19.69"

Large Option Cable: Length 59.06"

Large Option Canopy: Diameter 5.51"

Large Option Maximum Hanging: Length Adjustable To 70.87"

Large Option Shade: Height 21.85", Diameter 35.43"

Lighting

- Small Option: Two 18 Watt (1200 Lumens) 120 Volt E26 Medium Base Fluorescent Lamp(s) (Not Included)
- Large Option: Two 23 Watt (1380 Lumens) 120 Volt E26 Medium Base Fluorescent Lamp(s) (Not Included)

Additional Details

Product URL:

<https://www.ylighting.com/fora-outdoor-pendant-light-by-bover-uu506855.html>

Rating: ETL Listed Wet

Product ID: uu506855

Prepared by:

Prepared for:

Project:

Room:

Placement:

Approval:



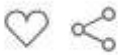
Notes:



Created December 6th, 2021



Your Price: \$1,173.95



Tolga Modern Planter Boxes

JAY SCOTTS

★★★★★ 7 Reviews

Not sure about the color? Order a [Free Fiberglass Color Sample](#) or a [Free Texture Color Sample](#)
Current lead time on in-stock planters is 1-2 weeks

Size: *

36"L x 16"W x 24"H

48"L x 16"W x 24"H

60"L x 16"W x 24"H

Color: *

Antique White

Finish: *

Low Gloss

High Gloss

Drainage Holes: *

No Drainage Holes

Yes Drainage Holes

Quantity:

▼

1

▲

ADD TO CART

Free shipping

3 year warranty

Designed, finished,
shipped in USA

Yellow
DINER

RENDERINGS



**LANDSCAPING AND HARDSCAPING SHOWIN FOR REFERENCE ONLY, REFER TO LANDSCAPING PLAN FOR MORE INFORMATION*

FRONT ENTRY



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VIEW TO WEST ELEVATION FROM PARKING LOT