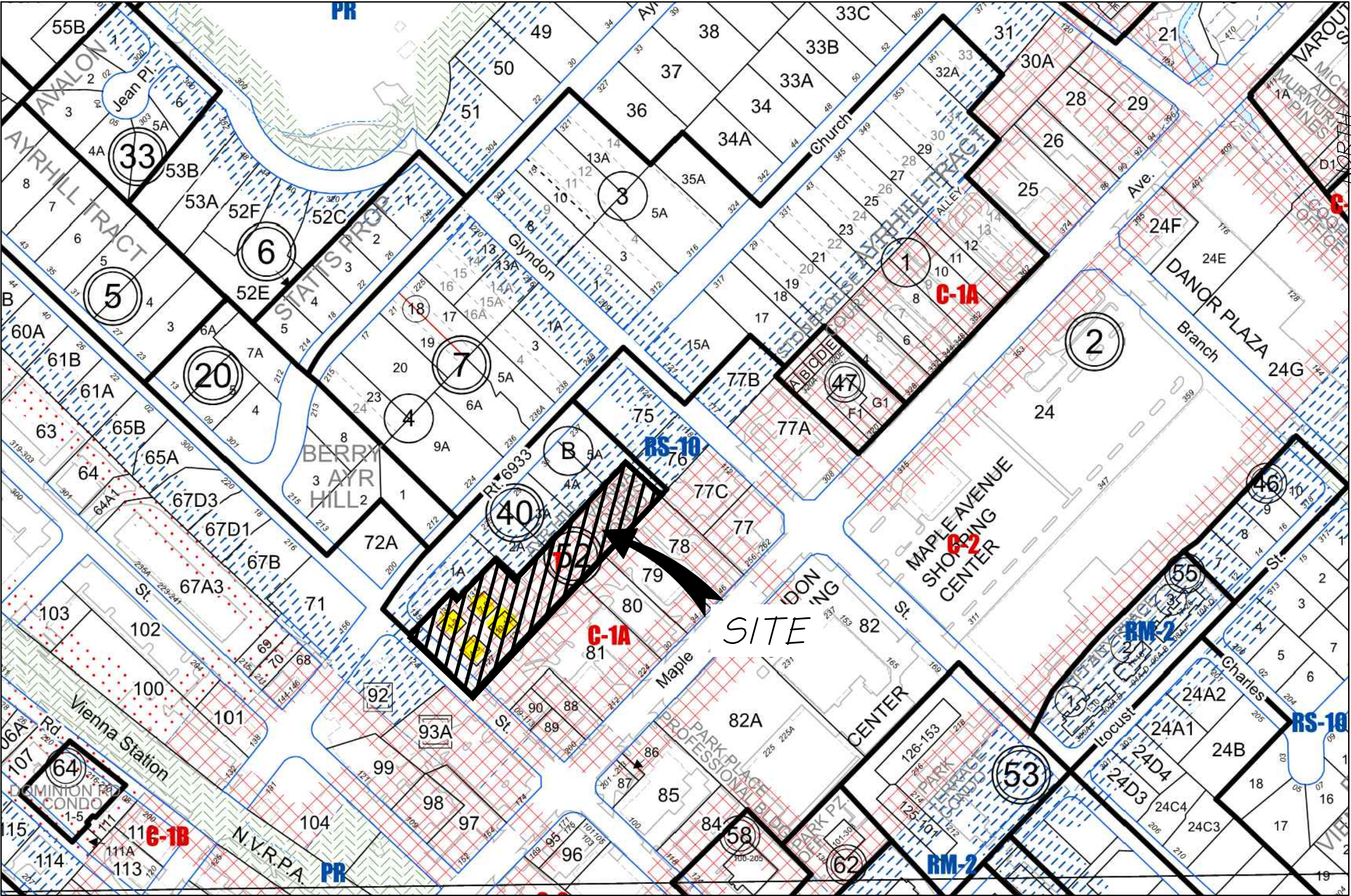


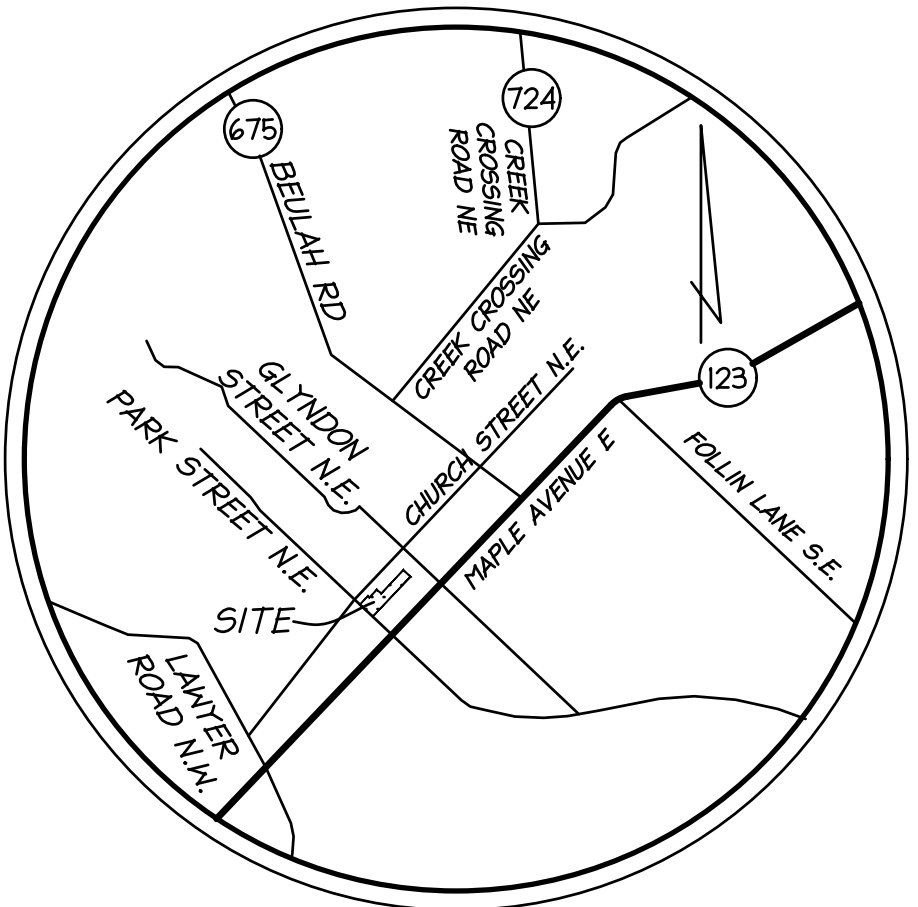
REZONING OF
127-133 PARK ST, N.E.
TOWN OF VIENNA, VIRGINIA



ZONING MAP
SCALE : 1" = 200'

SOIL INFORMATION

SOIL #	SOIL NAME	PROBLEM CLASS	FOUNDATION SUPPORT	DRAINAGE	EROSION POTENTIAL
95	URBAN LAND	IVB	N/A	N/A	N/A



VICINITY MAP
SCALE : 1" = 2,000'

SITE OVERVIEW:

SITE AREA: 72,167# OR 1.65673 ACRES
EXISTING ZONE: T (TRANSITIONAL)
PROPOSED ZONE: RM-2

APPLICANT/CONTRACT OWNER:

BFR CONSTRUCTION COMPANY
921 GLYNDON ST., S.E.
VIENNA, VA 22180
SBKONT@GMAIL.COM
(703)281-1054

PROPERTY OWNER(S):

THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON FAIRFAX COUNTY TAX MAP No. 0382-52-0001, 0002, 0003, 0004, 0005, 0006, 0007, 0008, 0009, 0010, 0011, AND 0012.

THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF TRUSTEES OF VIENNA PRESBYTERIAN CHURCH, BY DEED RECORDED IN DEED BOOK 5922 AT PAGE 1564, JOSEPH T. NOCKERINO AND MARY ANN NOCKERINO, TRUSTEES, BY DEED RECORDED IN DEED BOOK 23666 AT PAGE 1767 AND DEED BOOK 23666 AT PAGE 1771, EZRA PARTNERSHIP, BY DEED RECORDED IN DEED BOOK 19254 AT PAGE 532, DEED BOOK 5863 AT PAGE 365, DEED BOOK 6117 AT PAGE 1651, DEED BOOK 7699 AT PAGE 1031, AND DEED BOOK 19254 AT PAGE 532, MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVE AND FITTINGS INDUSTRY, INC. BY DEED RECORDED IN DEED BOOK 5921 AT PAGE 1069, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.

REZONING APPLICATION NOTE:

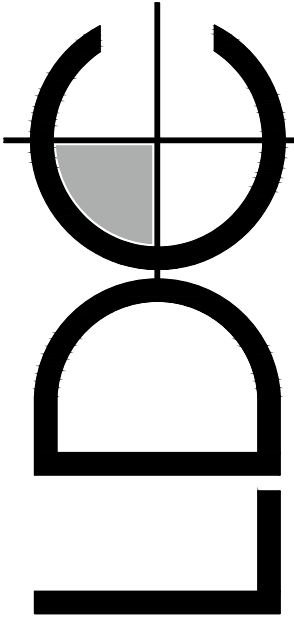
THIS REZONING APPLICATION IS CONCEPTUAL IN FORM AND DOES NOT CONSTITUTE AN ENGINEERING REVIEW. A FULL ENGINEERING REVIEW WILL BE CONDUCTED DURING SITE PLAN SUBMISSION UNDER SEPARATE COVER. APPROVAL OF THE REZONING DOES NOT MEAN THAT THE APPLICANT WILL NOT NEED TO ALTER THE CONCEPTUAL LAYOUT TO MEET CODES, REGULATIONS AND GOOD ENGINEERING PRACTICES. THE APPLICANT RESERVES THE RIGHT TO REQUEST FURTHER MODIFICATIONS OR WAIVERS TO SPECIFIC STANDARDS AS PART OF THE SITE PLAN REVIEW AND APPROVAL.

ZONING REQUEST:

THIS REZONING APPLICATION IS TO REZONE THE SUBJECT PROPERTY FROM T (TRANSITIONAL) TO RM-2 (LOW DENSITY, MULTI-FAMILY). THE PROPOSAL WILL DISSOLVE THE EXISTING CONDOMINIUM AND CONSOLIDATE THE LOT.

SHEET INDEX

- 1) COVER SHEET
- 2) BOUNDARY
- 3) EXISTING CONDITIONS PLAN
- 4) CONCEPT PLAN
- 4A) CONCEPT LANDSCAPE PLAN
- 4B) FIRE MARSHAL PLAN
- 5) VRRM
- 6) ARCHITECTURAL FRONT ELEVATIONS
- 7) ARCHITECTURAL REAR ELEVATION AND BUILDING SECTION



4595 DASHY REED AVENUE SUITE 201 WOODBRIDGE, VIRGINIA 22192
P: 703-580-4555 F: 703-580-4715

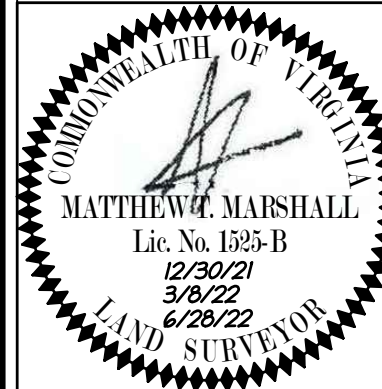
COVER SHEET

VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

TOTAL COMMENTS		REVIEW BY	APPROVED DATE
1	2		
1	1		
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3	3		
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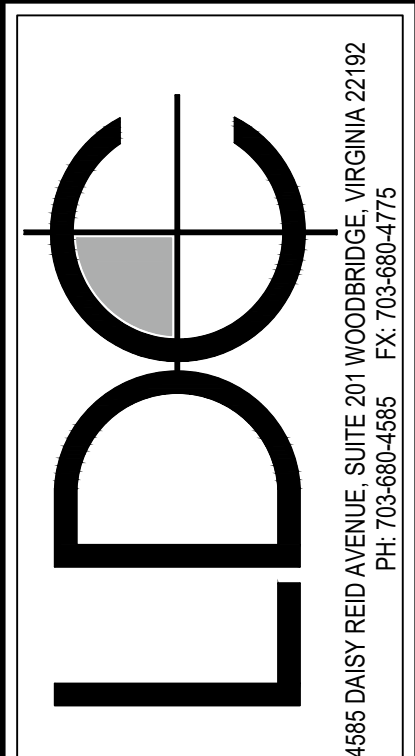
I HEREBY CERTIFY THAT
OTHER THAN THE REVISIONS
SHOWN HEREON, NO OTHER
CHANGES HAVE BEEN MADE.



SCALE:
AS SHOWN

SHEET 1
OF 7

DATE: DECEMBER, 2021
DRAFT: JCM CHECK: MM
FILE NUMBER: 20268-2-0
TOV # PF-



VIENNA COURTS

[illegible]

I HEREBY CERTIFY THAT
OTHER THAN THE REVISIONS
SHOWN HEREON, NO OTHER
CHANGES HAVE BEEN MADE.



SCALE:
1" = 25'

SHEET 2	
OF 7	
DATE: DECEMBER, 2021	
DRAFT: JCM	CHECK: MM
FILE NUMBER: 20268-2-0	
TOV #----PF-	

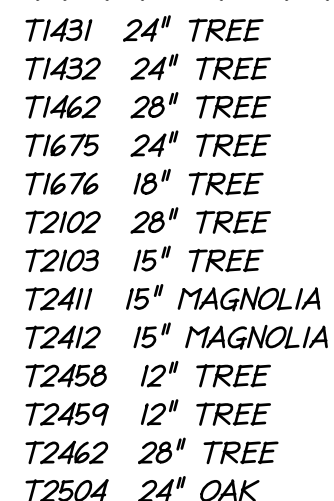
SEE SHEET 3 FOR NOTES!!!

VIENNA COURTS

TOWN OF VIENNA VIRGINIA

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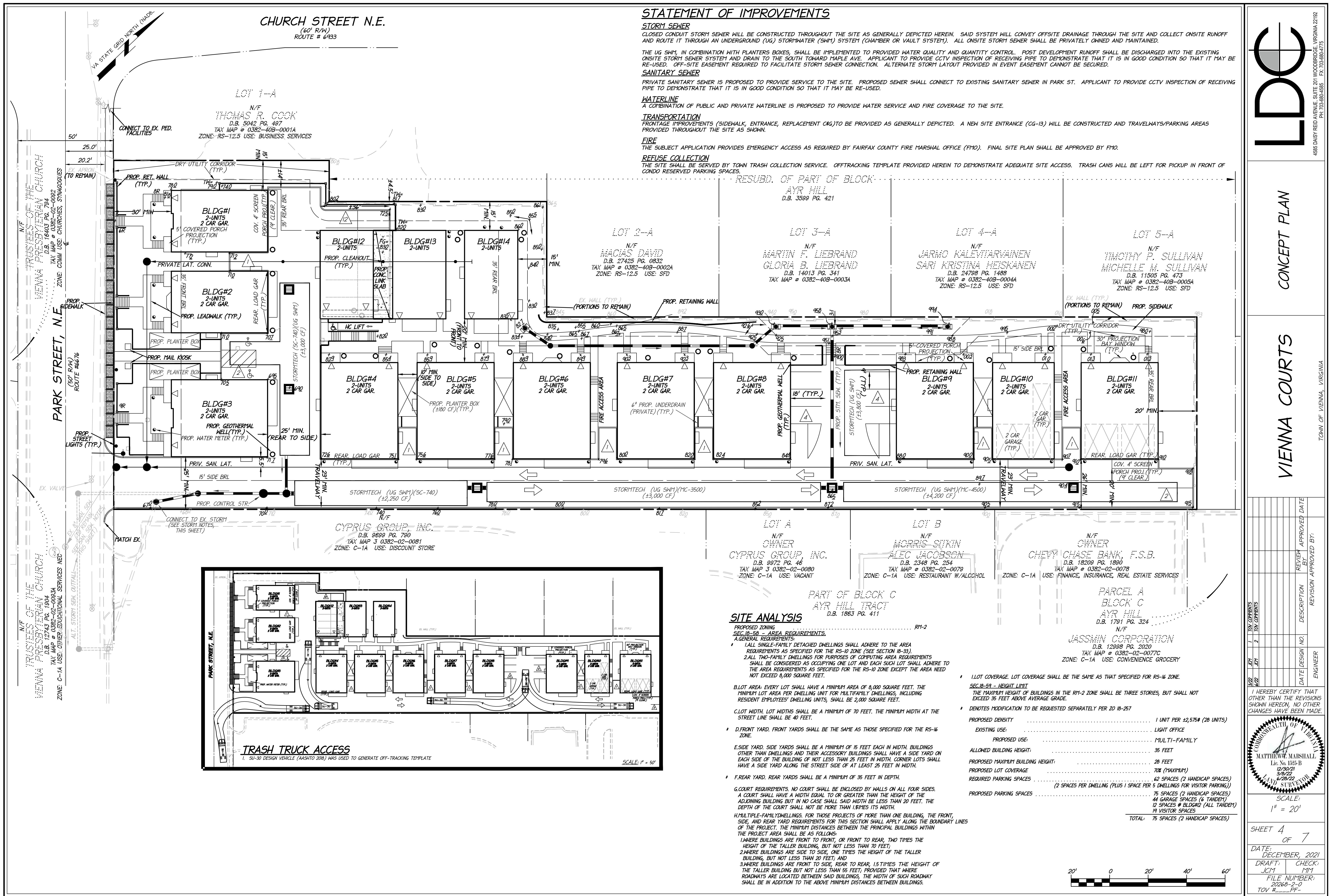
SHEET 3	
OF 7	
DATE: DECEMBER, 2021	
DRAFT: JCM	CHECK: MM
FILE NUMBER: 20268-2-0	
TOV # ____ PF- ____	



EX 3 ← EX 4 70.53' - 15" RCP - @ 1.52%

EX 1 ← EX 7 52.30' - 15" RCP - @ 1.82%

1. THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON FAIRFAX COUNTY TAX MAP No. 0382-52-001, 0002, 0003, 0004, 0005, 0006, 0007, 0008, 0009, 0010, 0011, AND 0012, AND IS CURRENTLY ZONED F.
2. THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF TRUSTEES OF VIRGINIA PRESBYTERIAN CHURCH OF DEER CREEK IN DEED BOOK 5922 AT PAGE 1059, JOSEPH T. NOCERINO AND MARY ANN NOCERINO, TRUSTEES, BY DEED RECORDED IN DEED BOOK 23666 AT PAGE 1167 AND DEED BOOK 23666 AT PAGE 1771, EZRA PARTNERSHIP, BY DEED RECORDED IN DEED BOOK 19254 AT PAGE 532, DEED BOOK 5863 AT PAGE 365, DEED BOOK 6117 AT PAGE 1651, DEED BOOK 7699 AT PAGE 1031, AND DEED BOOK 19254 AT PAGE 532, MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVE AND FITTINGS INDUSTRY, INC. BY DEED RECORDED IN DEED BOOK 5921 AT PAGE 1069, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.
3. TITLE REPORT FURNISHED BY ROUND TABLE TITLE, INC., FILE NO. RT72020-17099A,B,C AND D, DATED OCTOBER 1, 2020.
4. THE PROPERTY SHOWN HEREON LIES WITHIN A ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD FLOODPLAIN, AS DELINEATED ON FLOOD INSURANCE RATE MAP NO. 51059C045E, PANEL 145 OF 450, WITH AN EFFECTIVE DATE OF SEPTEMBER 17, 2010.
5. THE PLAT OF THE PROPERTY SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD SURVEY WHICH TIES THIS BOUNDARY TO NATIONAL GEODETIC SURVEY PID H48750. THE COMBINED GRID AND ELEVATION FACTOR IS 0.99994768.
6. THERE ARE NO KNOWN GRAVES OR BURIAL SITES ON THE PROPERTY.
7. EXCEPT AS SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS OBSERVED ON THE SURVEYED PROPERTY.



STATEMENT OF IMPROVEMENTS

STORM SEWER
CLOSED CONDUIT STORM SEWER WILL BE CONSTRUCTED THROUGHOUT THE SITE AS GENERALLY DEPICTED HEREIN. SAID SYSTEM WILL CONVEY OFFSITE DRAINAGE THROUGH THE SITE AND COLLECT ONSITE RUNOFF AND ROUTE IT THROUGH AN UNDERGROUND (UG) STORMWATER (SWM) SYSTEM (CHAMBER OR VAULT SYSTEM). ALL ONSITE STORM SEWER SHALL BE PRIVATELY OWNED AND MAINTAINED.

THE UG SWM, IN COMBINATION WITH PLANTERS BOXES, SHALL BE IMPLEMENTED TO PROVIDED WATER QUALITY AND QUANTITY CONTROL. POST DEVELOPMENT RUNOFF SHALL BE DISCHARGED INTO THE EXISTING ONSITE STORM SEWER SYSTEM AND DRAIN TO THE SOUTH TOWARD MAPLE AVE. APPLICANT TO PROVIDE CCTV INSPECTION OF RECEIVING PIPE TO DEMONSTRATE THAT IT IS IN GOOD CONDITION SO THAT IT MAY BE RE-USED. OFF-SITE EASEMENT REQUIRED TO FACILITATE STORM SEWER CONNECTION. ALTERNATE STORM LAYOUT PROVIDED IN EVENT EASEMENT CANNOT BE SECURED.

SANITARY SEWER
PRIVATE SANITARY SEWER IS PROPOSED TO PROVIDE SERVICE TO THE SITE. PROPOSED SEWER SHALL CONNECT TO EXISTING SANITARY SEWER IN PARK ST. APPLICANT TO PROVIDE CCTV INSPECTION OF RECEIVING PIPE TO DEMONSTRATE THAT IT IS IN GOOD CONDITION SO THAT IT MAY BE RE-USED.

WATERLINE
A COMBINATION OF PUBLIC AND PRIVATE WATERLINE IS PROPOSED TO PROVIDE WATER SERVICE AND FIRE COVERAGE TO THE SITE.

TRANSPORTATION
FRONTAGE IMPROVEMENTS (SIDEWALK, ENTRANCE, REPLACEMENT C&G) TO BE PROVIDED AS GENERALLY DEPICTED. A NEW SITE ENTRANCE (CG-13) WILL BE CONSTRUCTED AND TRAVELWAYS/PARKING AREAS PROVIDED THROUGHOUT THE SITE AS SHOWN.

FIRE
THE SUBJECT APPLICATION PROVIDES EMERGENCY ACCESS AS REQUIRED BY FAIRFAX COUNTY FIRE MARSHAL OFFICE (FMO). FINAL SITE PLAN SHALL BE APPROVED BY FMO.

REFUSE COLLECTION
THE SITE SHALL BE SERVED BY TOWN TRASH COLLECTION SERVICE. OFFTRACKING TEMPLATE PROVIDED HEREIN TO DEMONSTRATE ADEQUATE SITE ACCESS. TRASH CANS WILL BE LEFT FOR PICKUP IN FRONT OF CONDO RESERVED PARKING SPACES.

RESUBD. OF PART OF BLOCK

AYR HILL
D.B. 35889 PG. 421

LOT 2-A

N/F
MACIAS DAVID
D.B. 27425 PG. 0832
TAX MAP # 0382-40B-00024
ZONE: RS-12.5 USE: SFD

LOT 3-A

N/F
MARTIN F. LIEBRAND
GLORIA B. LIEBRAND
D.B. 14013 PG. 341
TAX MAP # 0382-40B-00034
ZONE: RS-12.5 USE: SFD

LOT 4-A

N/F
JARMO KALEVITARYAINEN
SARI KRISTINA HEISKANEN
D.B. 24788 PG. 1488
TAX MAP # 0382-40B-00044
ZONE: RS-12.5 USE: SFD

LOT 5-A

N/F
TIMOTHY P. SULLIVAN
MICHELLE M. SULLIVAN
D.B. 11505 PG. 473
TAX MAP # 0382-40B-00054
ZONE: RS-12.5 USE: SFD

CYPRUS GROUP, INC.
D.B. 8689 PG. 790
TAX MAP 3 0382-02-0081
ZONE: C-1A USE: DISCOUNT STORE

LOT A
N/F
OWNER
CYPRUS GROUP, INC.
D.B. 8972 PG. 46
TAX MAP 3 0382-02-0080
ZONE: C-1A USE: VACANT

LOT B
N/F
MORRIS STUKIN
ALEC JACOBSON
D.B. 2348 PG. 254
TAX MAP # 0382-02-0079
ZONE: C-1A USE: RESTAURANT W/ALCOHOL

LOT C
N/F
OWNER
CHEVY CHASE BANK, F.S.B.
D.B. 18209 PG. 1890
TAX MAP # 0382-02-0078
ZONE: C-1A USE: FINANCE, INSURANCE, REAL ESTATE SERVICES

PARCEL A
BLOCK C
AYR HILL
D.B. 1791 PG. 324
N/F

JASSIN CORPORATION
D.B. 12888 PG. 2020
TAX MAP # 0382-02-0077C
ZONE: C-1A USE: CONVENIENCE GROCERY

SITE ANALYSIS

PROPOSED ZONING: SEC 18-58 - AREA REQUIREMENTS RY-2

A. GENERAL REQUIREMENTS:

1. ALL SINGLE-FAMILY DETACHED DWELLINGS SHALL ADHERE TO THE AREA REQUIREMENTS AS SPECIFIED FOR THE RS-16 ZONE (SEE SECTION 18-33).

2. ALL TWO-FAMILY DWELLINGS FOR PURPOSES OF COMPUTING AREA REQUIREMENTS SHALL BE CONSIDERED AS OCCUPYING ONE LOT AND EACH SUCH LOT SHALL ADHERE TO THE AREA REQUIREMENTS AS SPECIFIED FOR THE RS-16 ZONE EXCEPT THE AREA NEED NOT EXCEED 8,000 SQUARE FEET.

B. LOT AREA: EVERY LOT SHALL HAVE A MINIMUM AREA OF 8,000 SQUARE FEET. THE MINIMUM LOT AREA PER DWELLING UNIT FOR MULTIFAMILY DWELLINGS, INCLUDING RESIDENT EMPLOYEES' DWELLING UNITS, SHALL BE 2,000 SQUARE FEET.

C. LOT WIDTH: LOT WIDTHS SHALL BE A MINIMUM OF 70 FEET. THE MINIMUM WIDTH AT THE STREET LINE SHALL BE 40 FEET.

D. FRONT YARD: FRONT YARDS SHALL BE THE SAME AS THOSE SPECIFIED FOR THE RS-16 ZONE.

E. SIDE YARD: SIDE YARDS SHALL BE A MINIMUM OF 15 FEET EACH IN WIDTH. BUILDINGS OTHER THAN DWELLINGS AND THEIR ACCESSORY BUILDINGS SHALL HAVE A SIDE YARD ON EACH SIDE OF THE BUILDING OF NOT LESS THAN 25 FEET IN WIDTH. CORNER LOTS SHALL HAVE A SIDE YARD ALONG THE STREET SIDE OF AT LEAST 25 FEET IN WIDTH.

F. REAR YARD: REAR YARDS SHALL BE A MINIMUM OF 35 FEET IN DEPTH.

G. COURT REQUIREMENTS: NO COURT SHALL BE ENCLOSED BY WALLS ON ALL FOUR SIDES. A COURT SHALL HAVE A WIDTH EQUAL TO OR GREATER THAN THE HEIGHT OF THE ADJOINING BUILDING BUT IN NO CASE SHALL SAID WIDTH BE LESS THAN 20 FEET. THE DEPTH OF THE COURT SHALL NOT BE MORE THAN 1.5 TIMES ITS WIDTH.

H. MULTIPLE-FAMILY DWELLINGS: FOR THOSE PROJECTS OF MORE THAN ONE BUILDING, THE FRONT, SIDE, AND REAR YARD REQUIREMENTS FOR THIS SECTION SHALL APPLY ALONG THE BOUNDARY LINES OF THE PROJECT. THE MINIMUM DISTANCES BETWEEN THE PRINCIPAL BUILDINGS WITHIN THE PROJECT AREA SHALL BE AS FOLLOWS:

1. WHERE BUILDINGS ARE FRONT TO FRONT, OR FRONT TO REAR, TWO TIMES THE HEIGHT OF THE TALLER BUILDING, BUT NOT LESS THAN 20 FEET;

2. WHERE BUILDINGS ARE SIDE TO SIDE, ONE TIMES THE HEIGHT OF THE TALLER BUILDING, BUT NOT LESS THAN 20 FEET; AND

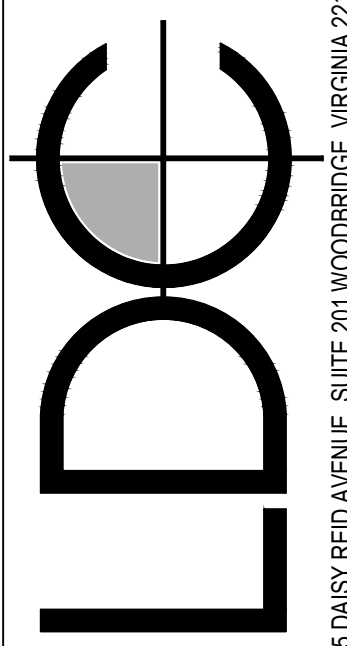
3. WHERE BUILDINGS ARE FRONT TO SIDE, REAR TO REAR, 1.5 TIMES THE HEIGHT OF THE TALLER BUILDING BUT NOT LESS THAN 55 FEET, PROVIDED THAT WHERE ROADWAYS ARE LOCATED BETWEEN SAID BUILDINGS, THE WIDTH OF SUCH ROADWAY SHALL BE IN ADDITION TO THE ABOVE MINIMUM DISTANCES BETWEEN BUILDINGS.

I. LOT COVERAGE: LOT COVERAGE SHALL BE THE SAME AS THAT SPECIFIED FOR RS-16 ZONE.

SEC 18-59 - HEIGHT LIMIT
THE MAXIMUM HEIGHT OF BUILDINGS IN THE RY-2 ZONE SHALL BE THREE STORIES, BUT SHALL NOT EXCEED 36 FEET ABOVE AVERAGE GRADE.

J. DENSITIES: DENSITIES TO BE REQUESTED SEPARATELY PER 20 18-267

PROPOSED DENSITY	1 UNIT PER 2,575# (28 UNITS)
EXISTING USE:	LIGHT OFFICE
PROPOSED USE:	MULTI-FAMILY
ALLOWED BUILDING HEIGHT:	36 FEET
PROPOSED MAXIMUM BUILDING HEIGHT:	28 FEET
PROPOSED LOT COVERAGE:	70% (MAXIMUM)
REQUIRED PARKING SPACES:	62 SPACES (2 HANDICAP SPACES) (2 SPACES PER DWELLING (PLUS 1 SPACE PER 5 DWELLINGS FOR VISITOR PARKING))
PROPOSED PARKING SPACES:	75 SPACES (2 HANDICAP SPACES) 44 GARAGE SPACES (6 TANDEN) 12 SPACES @ BLDG#2 (ALL TANDEN) 19 VISITOR SPACES
TOTAL:	75 SPACES (2 HANDICAP SPACES)



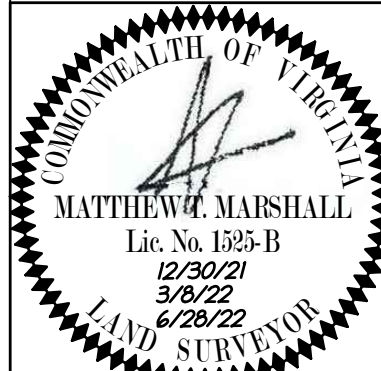
CONCEPT PLAN

VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

DATE	DESIGN	NO.	REVISION	BY	APPROVED	DATE
1/22	1					
2/22	2					
3/22	3					
4/22	4					
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11/22	11					
12/22	12					

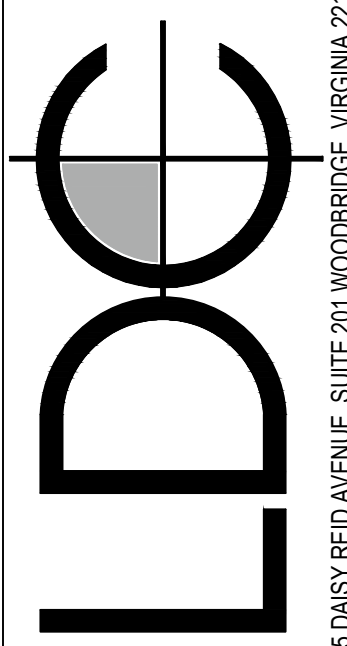
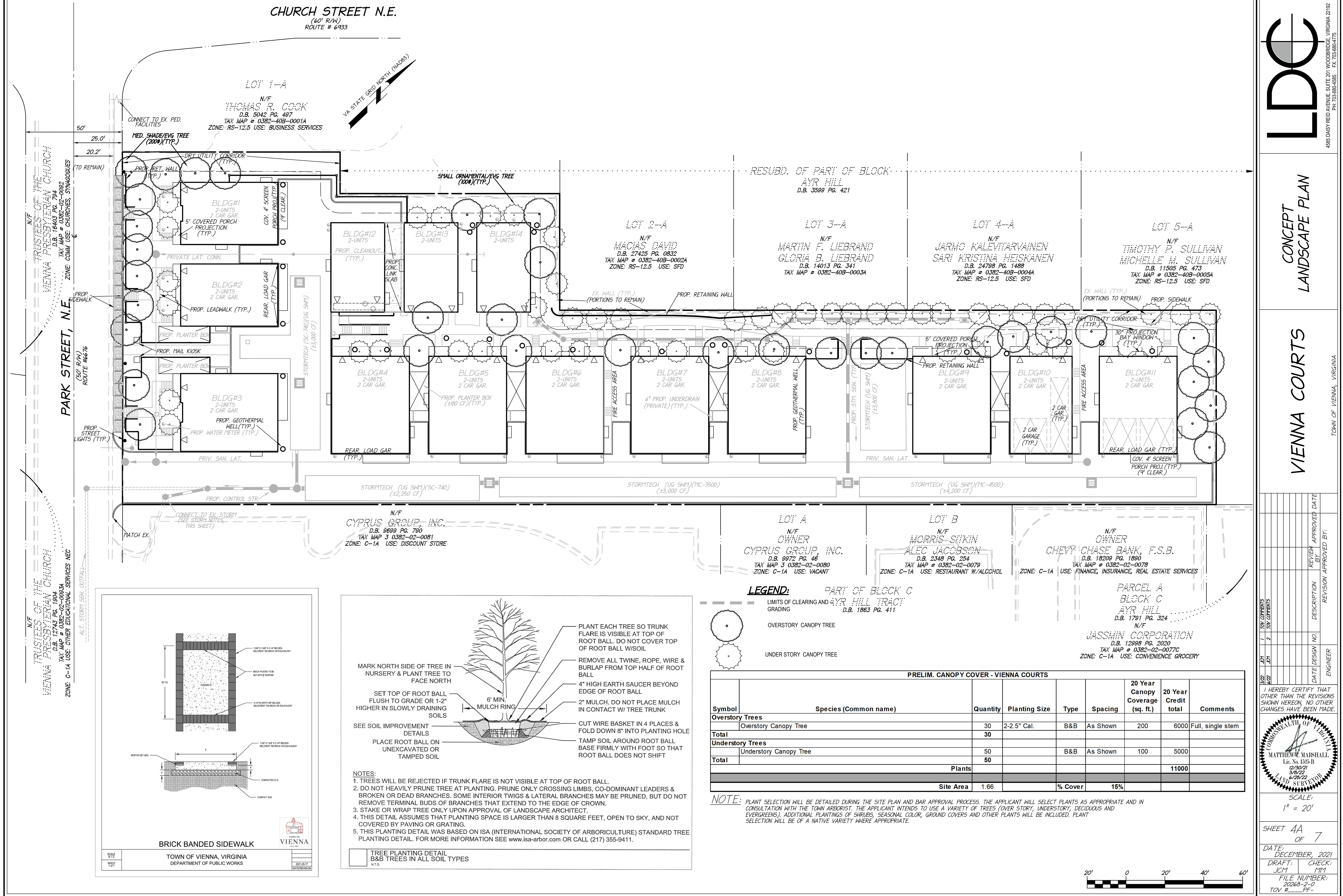
HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.



SCALE:
1" = 20'

SHEET 4 OF 7

DATE: DECEMBER, 2021
DRAFT: JCM CHECK: MM
FILE NUMBER: 20268-2-0
TOV # PF-



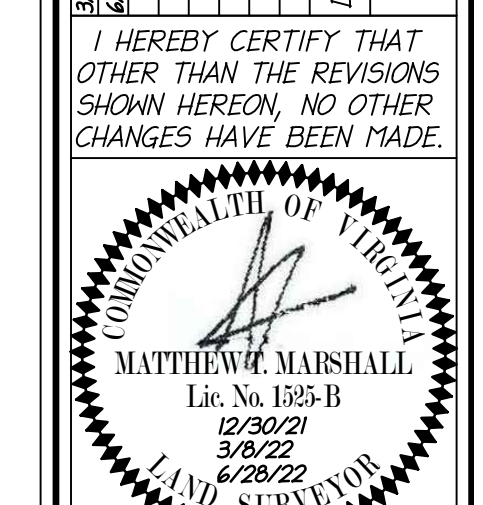
CONCEPT LANDSCAPE PLAN

VIENNA COURTS

4555 DUNDY REID AVENUE SUITE 201 WOODBRIDGE, VIRGINIA 22192
PH: 703-580-4555 FAX: 703-580-4715

TOWN OF VIENNA, VIRGINIA

Table with 4 columns: DATE, DESCRIPTION, REVIEW, APPROVED BY. Includes revision history and approval signatures.



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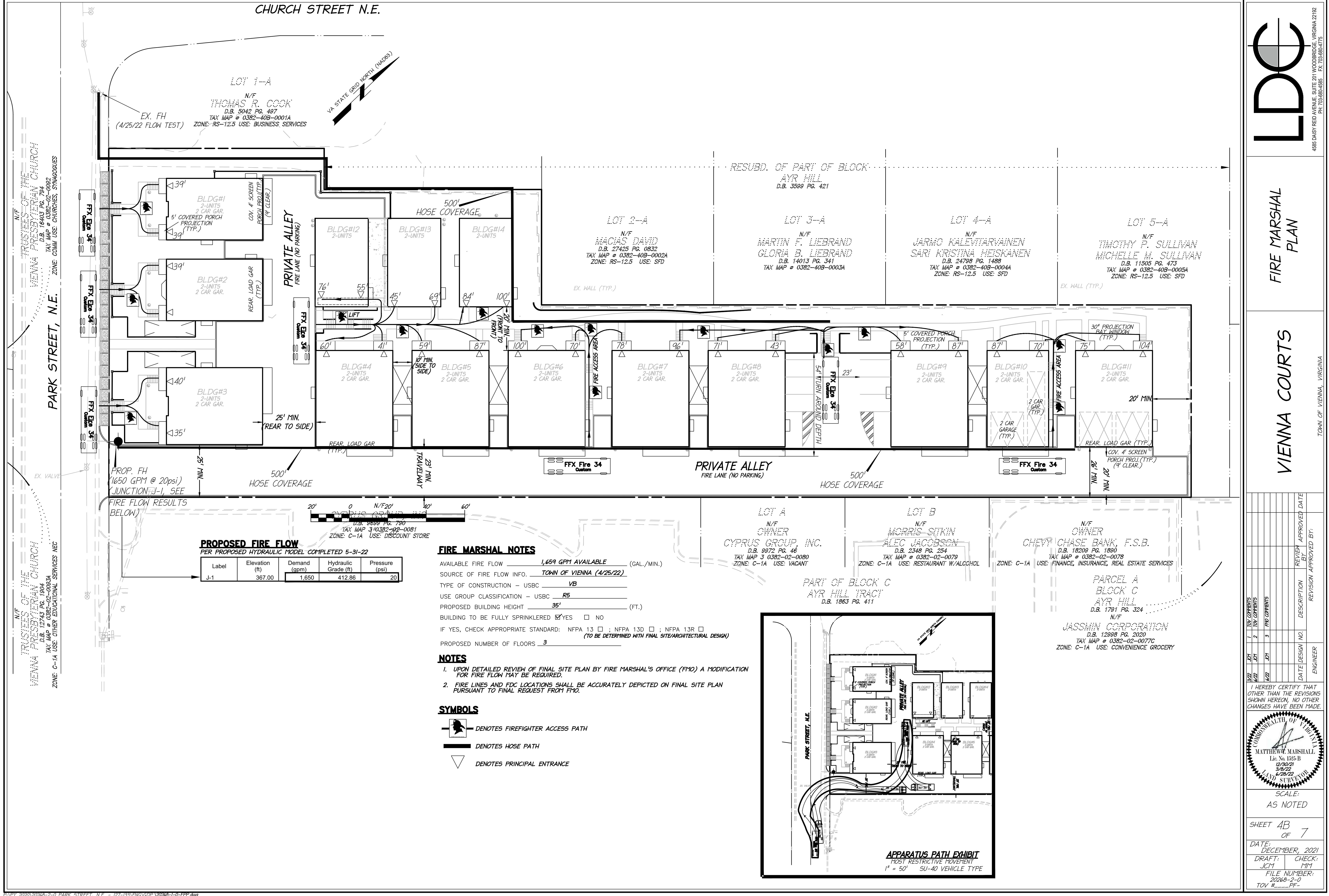
SHEET 4A OF 7

DATE: DECEMBER, 2021

DRAFT: JCM CHECK: MM

FILE NUMBER: 20268-2-0

TOV # _____



PROPOSED FIRE FLOW
PER PROPOSED HYDRAULIC MODEL COMPLETED 5-31-22

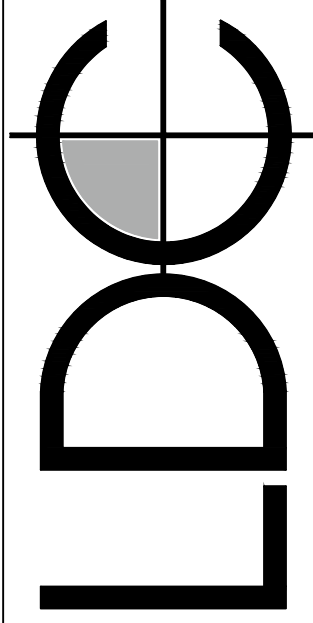
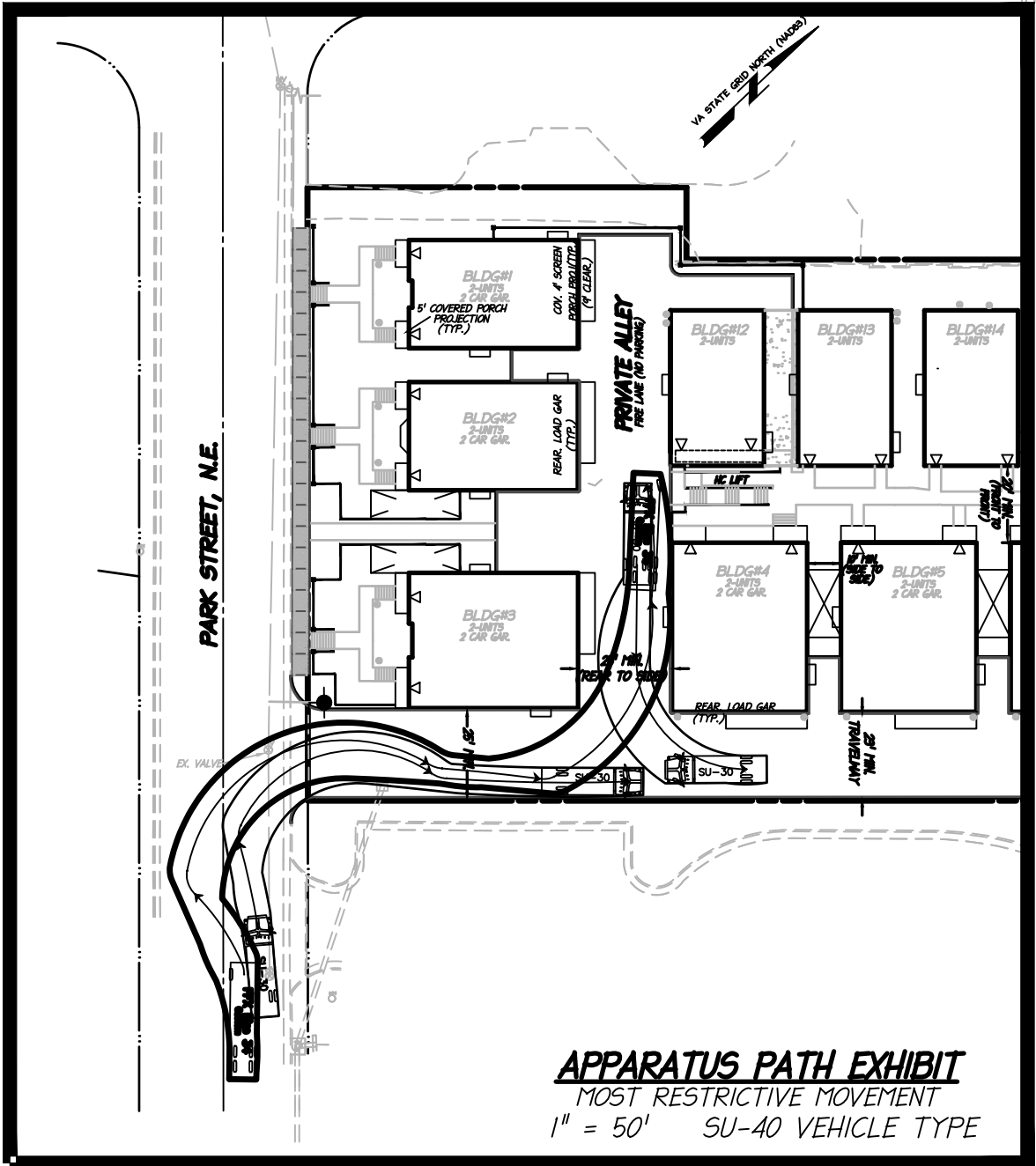
Label	Elevation (ft)	Demand (gpm)	Hydraulic Grade (ft)	Pressure (psi)
J-1	367.00	1,650	412.86	20

FIRE MARSHAL NOTES

AVAILABLE FIRE FLOW 1,659 GPM AVAILABLE (GAL./MIN.)
SOURCE OF FIRE FLOW INFO. TOWN OF VIENNA (4/25/22)
TYPE OF CONSTRUCTION - USBC VB
USE GROUP CLASSIFICATION - USBC R5
PROPOSED BUILDING HEIGHT 35' (FT.)
BUILDING TO BE FULLY SPRINKLERED ☒ YES ☐ NO
IF YES, CHECK APPROPRIATE STANDARD: NFPA 13 ☐ ; NFPA 13D ☐ ; NFPA 13R ☐
(TO BE DETERMINED WITH FINAL SITE/ARCHITECTURAL DESIGN)
PROPOSED NUMBER OF FLOORS 3

- NOTES**
- UPON DETAILED REVIEW OF FINAL SITE PLAN BY FIRE MARSHAL'S OFFICE (FMO) A MODIFICATION FOR FIRE FLOW MAY BE REQUIRED.
 - FIRE LINES AND FDC LOCATIONS SHALL BE ACCURATELY DEPICTED ON FINAL SITE PLAN PURSUANT TO FINAL REQUEST FROM FMO.

- SYMBOLS**
- DENOTES FIREFIGHTER ACCESS PATH
 - DENOTES HOSE PATH
 - DENOTES PRINCIPAL ENTRANCE

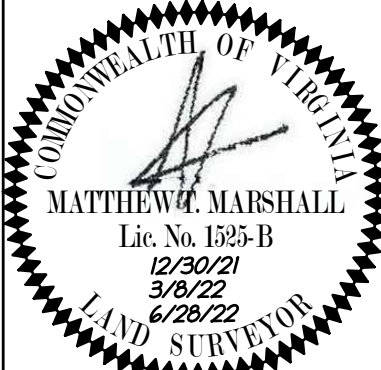


FIRE MARSHAL
PLAN

VIENNA COURTS

DATE	DESCRIPTION	REVIEW BY	APPROVED DATE
1/22	TOT COMMENTS		
2/22	TOT COMMENTS		
3/22	FDC COMMENTS		
4/22			
5/22			
6/22			
7/22			
8/22			
9/22			
10/22			
11/22			
12/22			

I HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.



SCALE:
AS NOTED

SHEET 4B
OF 7

DATE: DECEMBER, 2021
DRAFT: JCM CHECK: MM
FILE NUMBER: 20260-2-G
TOV # _____ PF- _____

Virginia Runoff Reduction Method ReDevelopment Worksheet - v2.8 - June 2014

To be used w/ DRAFT 2013 BMP Standards and Specifications
Site Data

Project Name: VIENNA COURTS
Date: JUNE 28 2022

data input cells
calculation cells
constant values

Post-ReDevelopment Project & Land Cover Information
Total Disturbed Acreage 1.66

Constants					
Annual Rainfall (inches)	43				
Target Rainfall Event (inches)	1.00				
Phosphorus EMC (mg/L)	0.26				
Target Phosphorus Target Load (lb/acre/yr)	0.41				
P	0.90				

Pre-ReDevelopment Land Cover (acres)	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.66	0.66
Impervious Cover (acres)	0.00	0.00	0.00	1.00	1.00
				Total	1.66

Post-ReDevelopment Land Cover (acres)	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.36	0.36
Impervious Cover (acres)	0.00	0.00	0.00	1.30	1.30
				Total	1.66

Area Check
Okay Okay Okay Okay

Rv Coefficients	A soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

Land Cover Summary		Listed	Adjusted ¹	Land Cover Summary	
Pre-ReDevelopment				Post-ReDevelopment	
Forest/Open Space Cover (acres)		0.00	0.00	Forest/Open Space Cover (acres)	0.00
Composite Rv(forest)		0.00	0.00	Composite Rv(forest)	0.00
% Forest		0%	0%	% Forest	0%
Managed Turf Cover (acres)		0.66	0.36	Managed Turf Cover (acres)	0.36
Composite Rv(turf)		0.25	0.25	Composite Rv(turf)	0.25
% Managed Turf		40%	26%	% Managed Turf	26%
Impervious Cover (acres)		1.00	1.00	ReDev. Impervious Cover (acres)	1.00
Rv(impervious)		0.95	0.95	Rv(impervious)	0.95
% Impervious		60%	74%	% Impervious	74%
Total Site Area (acres)		1.66	1.36	Total ReDev. Site Area (acres)	1.36
Site Rv		0.67	0.76	ReDev. Site Rv	0.76
Pre-Development Treatment Volume (acre-ft)		0.0929	0.0867	Post-ReDevelopment Treatment Volume (acre-ft)	0.0867
				Post-ReDevelopment Treatment Volume (cubic feet)	3,775
Pre-Development Treatment Volume (cubic feet)		4,047	3,775	Post-ReDevelopment Load (TP) (lb/yr)	2.37
Pre-Development Load (TP) (lb/yr)		2.54	2.37		

¹ Adjusted Land Cover Summary reflects the pre redevelopment land cover minus the pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover. The adjusted total acreage is consistent with the Post Redevelopment acreage (minus the acreage of new impervious cover). The load reduction requirement for the new impervious cover to meet the new development load limit is computed in Column I.	Maximum % Reduction Required Below Pre-ReDevelopment Load	20%	
	TP Load Reduction Required for Redeveloped Area (lb/yr)	0.47	
	Total Load Reduction Required (lb/yr)	1.00	
Pre-Development Load (TN) (lb/yr)	18.19	Post-Development Load (TN) (lb/yr)	21.62

Drainage Area A						
Drainage Area A Land Cover (acres)						
	A soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.36	0.36	0.25
Impervious Cover (acres)	0.00	0.00	0.00	1.30	1.30	0.95
				Total	1.66	
						Post Development Treatment Volume (cf)
						4810

Apply Runoff Reduction Practices to Reduce Treatment Volume & Post-Development Load in Drainage Area A

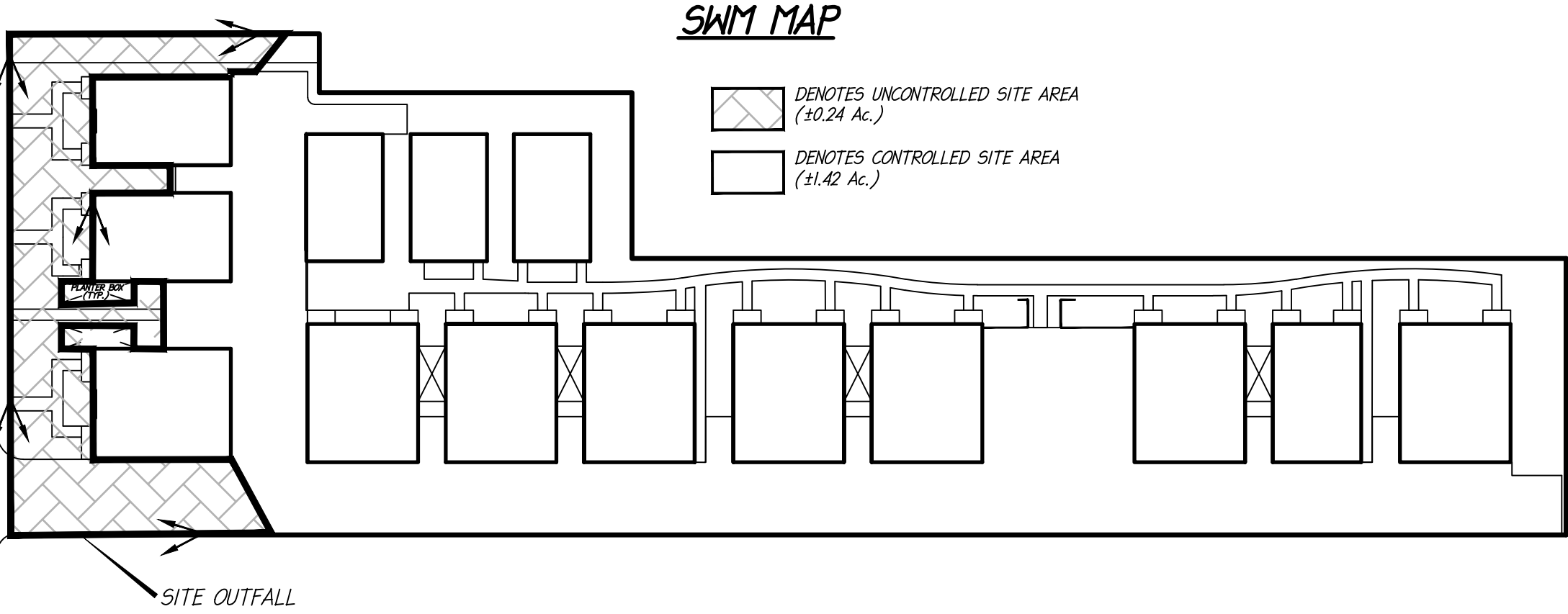
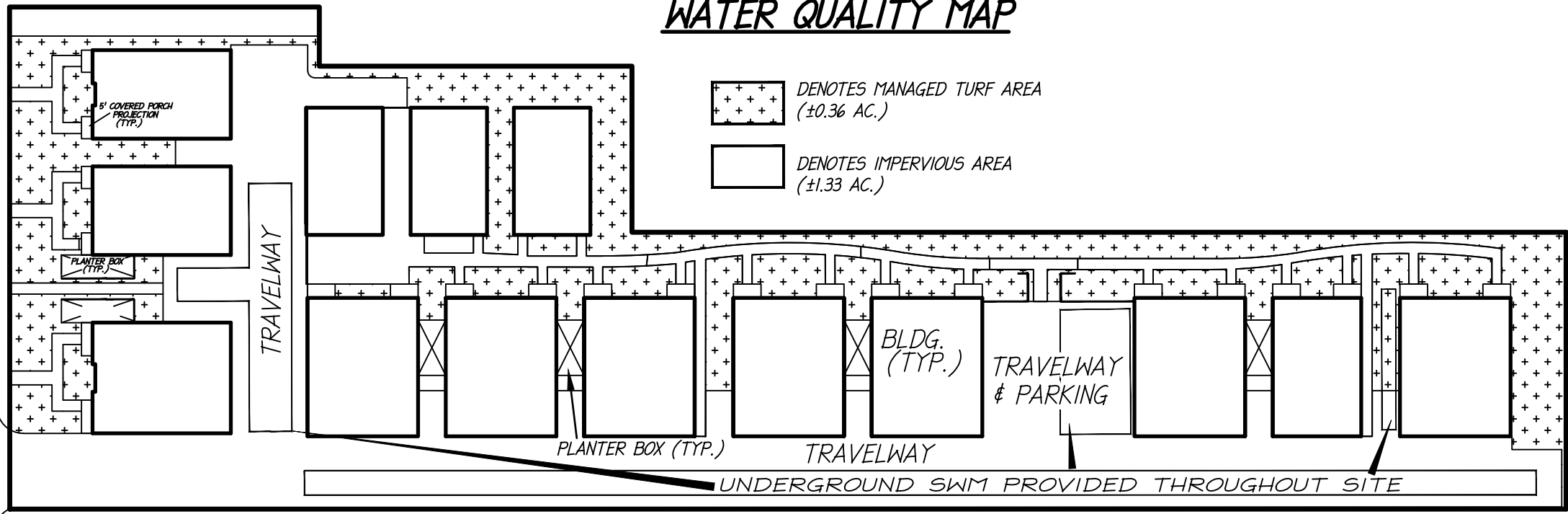
Credit	Unit	Description of Credit	Credit	Credit Area (acres)	Volume from Upstream RR Practice (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practices (lbs)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
2. Rooftop Disconnection													
2.i. To Stormwater Planter (Urban Bioretention) (Spec #9, Appendix A)	Impervious acres disconnected	40% runoff volume reduction for treated area	0.40	0.06	0	83	124	25	0.00	0.13	0.07	0.06	14. Manufactured Device

14. Manufactured BMP	Impervious acres draining to device	0% runoff volume reduction	0.00	1.00	124.15	0	3573	40	0.06	2.16	0.89	1.33	
STORMTECH	turf acres draining to device	0% runoff volume reduction	0.00	0.29	0.00	0	1000	40	0.00	0.17	0.07	0.10	

TOTAL IMPERVIOUS COVER TREATED (ac)	1.06
TOTAL TURF AREA TREATED (ac)	0.29
AREA CHECK	OK.
PHOSPHORUS REMOVAL BY PRACTICES THAT DO NOT REDUCE RUNOFF VOLUME IN D.A. A	0.96
TOTAL PHOSPHORUS REMOVAL IN D.A. A (lb/yr)	1.03

Site Results	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
IMPERVIOUS COVER	1.30	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER TREATED	1.06	0.00	0.00	0.00	0.00	OK.
TURF AREA	0.36	0.00	0.00	0.00	0.00	OK.
TURF AREA TREATED	0.29	0.00	0.00	0.00	0.00	OK.
AREA CHECK	OK.	OK.	OK.	OK.	OK.	
Phosphorous						
TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED (LB/YEAR)	1.00					
RUNOFF REDUCTION (cf)	83					
PHOSPHOROUS LOAD REDUCTION ACHIEVED (LB/YR)	1.03					
ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD (TP) (lb/yr)	2.00					
REMAINING PHOSPHOROUS LOAD REDUCTION (LB/YR) NEEDED	CONGRATULATIONS!! YOU EXCEEDED THE TARGET REDUCTION BY 0 LB/YEAR!!					

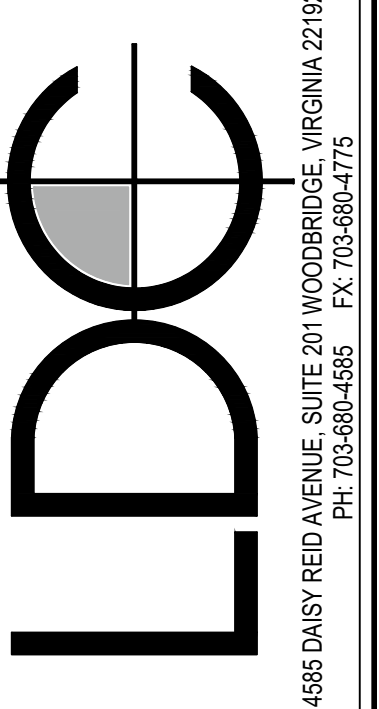
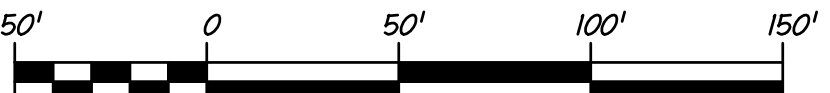
Based on the use of Runoff Reduction practices in the selected drainage areas, the spreadsheet calculates an adjusted RV _{Developed} and adjusted Curve Number.					
Drainage Area A	A soils	B Soils	C Soils	D Soils	
Forest/Open Space -- undisturbed, protected forest/open space or reforested land	Area (acres)	0.00	0.00	0.00	0.00
CN	30	55	70	77	
Managed Turf -- disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.00	0.00	0.00	0.36
CN	39	61	74	80	
Impervious Cover	Area (acres)	0.00	0.00	0.00	1.30
CN	98	98	98	98	
				Weighted CN	S
				94	0.64



SWM NARRATIVE

WATER QUANTITY AND QUALITY REQUIREMENTS WILL BE SATISFIED ONSITE THROUGH A COMBINATION OF PLANTER BOXES AND UG SWM. THE UG SWM IS AN ASSUMED MANUFACTURED TREATMENT DEVICE WITH A PHOSPHOROUS REMOVAL EFFICIENCY OF 40%. WATER QUALITY COMPLIANCE WAS BASED ON RE-DEVELOPMENT REQUIREMENTS. APPLICANT RESERVES THE RIGHT TO PURCHASE NUTRIENT CREDITS IN THE EVENT CRITERIA CANNOT BE MET ONSITE PURSUANT TO FINAL ENGINEERING AND DESIGN.

CHANNEL AND FLOOD PROTECTION ARE PROVIDED ONSITE AS WELL. FOR WATER QUANTITY PURPOSES, REQUIRED REDUCTIONS WERE BASED ON SITE RUNOFF GENERATED FROM SITE IN ITS CURRENT CONDITION; DEVELOPED WITH 4 BUILDINGS AND OVER 100 PARKING SPACES AND NOT FROM A GOOD, FORESTED CONDITION.



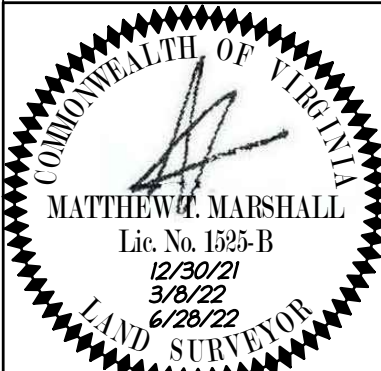
VRRM

VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

DATE	REVISION	APPROVED BY:
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1/22/22	2	TOTAL COMMENTS
1/22/22	3	TOTAL COMMENTS
1/22/22	4	TOTAL COMMENTS
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1/22/22	99	TOTAL COMMENTS
1/22/22	100	TOTAL COMMENTS

I HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.



SCALE:
1" = 50'

SHEET 5	OF 7
DATE: DECEMBER, 2021	CHECK: JCM
DRAFT: JCM	FILE NUMBER: 20268-2-0
TOV #	FF-



"A" NORTH ELEVATION @ GARDEN ALLEY

scale 1:150



"C" SOUTH ELEVATION @ GARDEN ALLEY

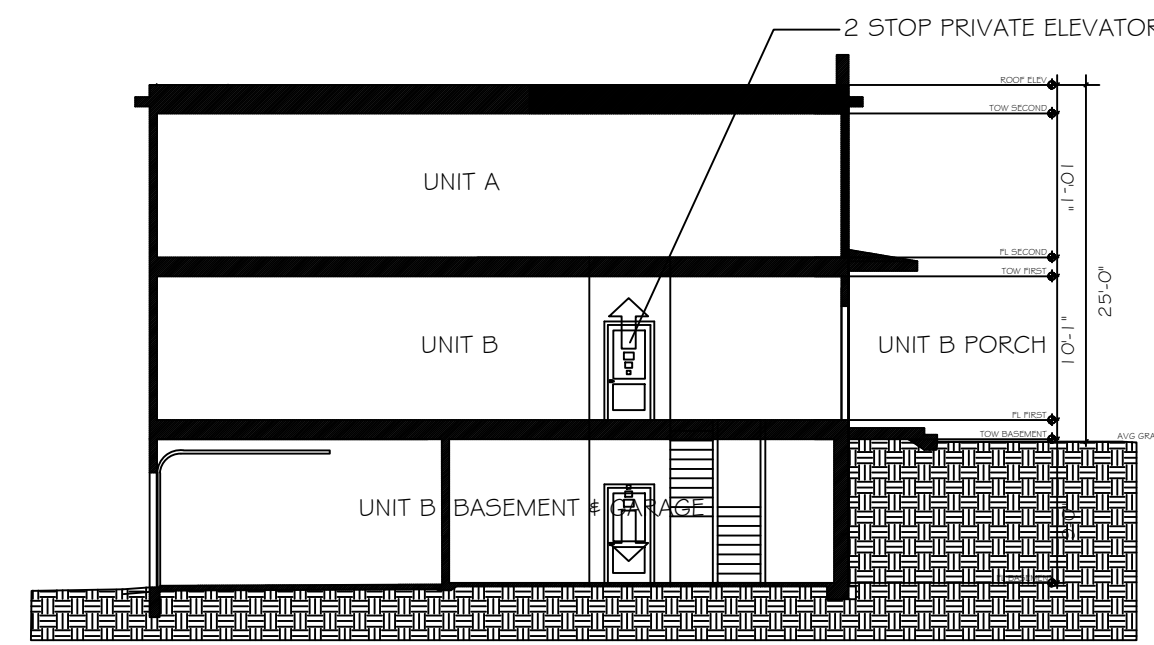
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"D" ELEVATION @ PARK STREET NE

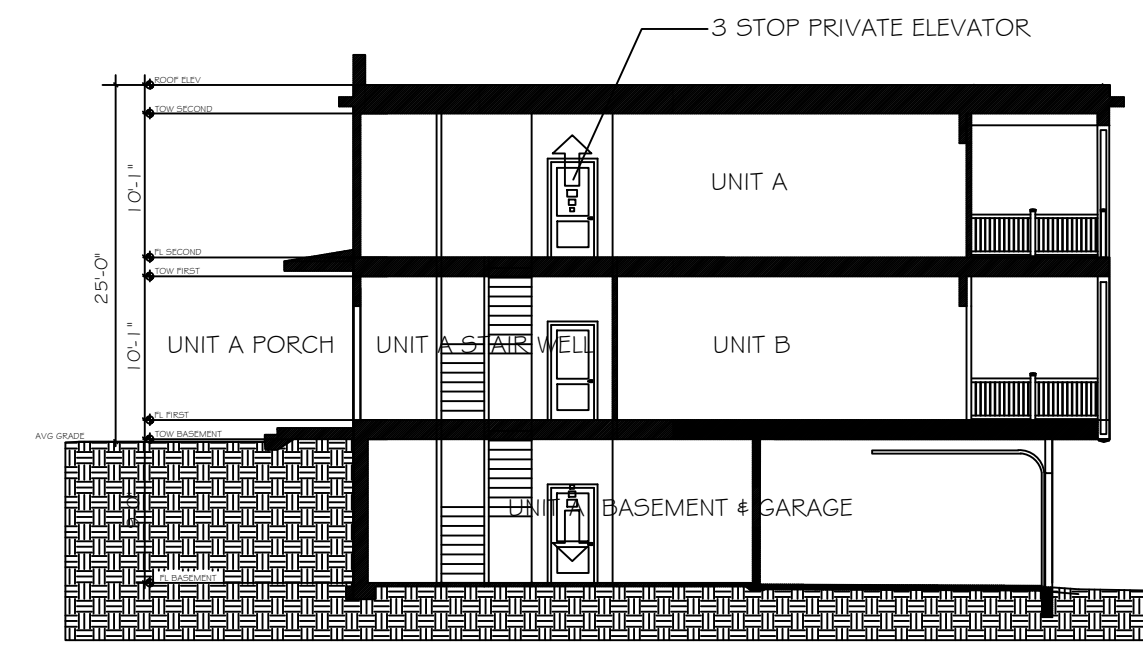
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FRONT ELEVATIONS



"E" TYPICAL BUILDING SECTION

scale 1:150



"F" TYPICAL BUILDING SECTION

scale 1:150



"B" TYPICAL REAR ELEVATION

scale 1:150

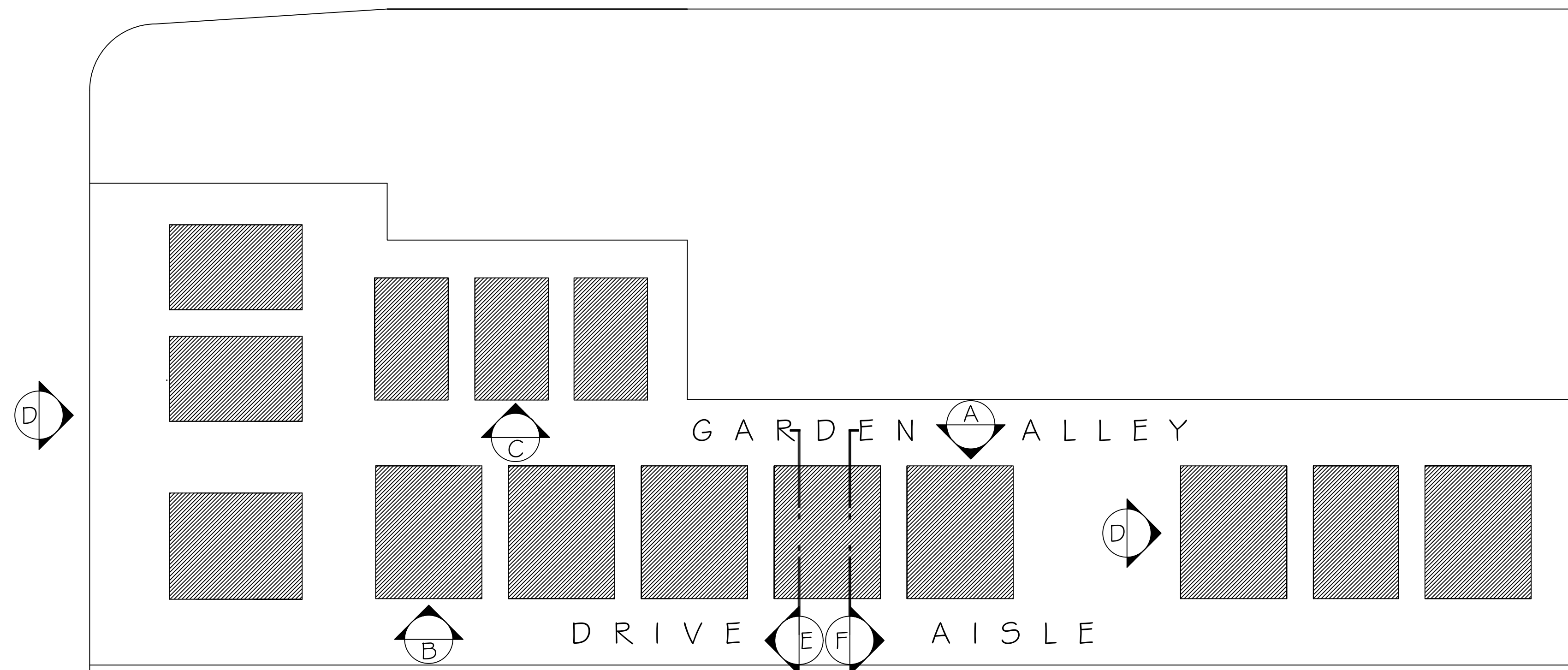


"G" TYPICAL SIDE ELEVATION

scale 1:150

PARK ST NE

CHURCH ST NE



ELEVATION AND SECTION PLAN KEY