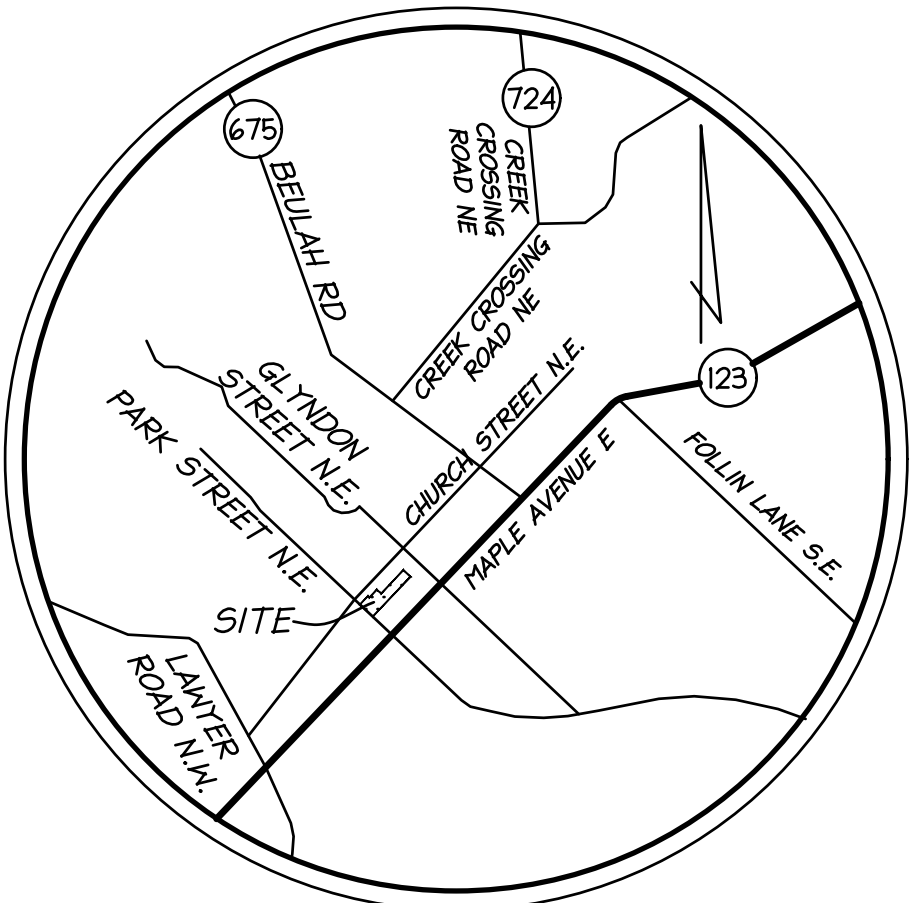
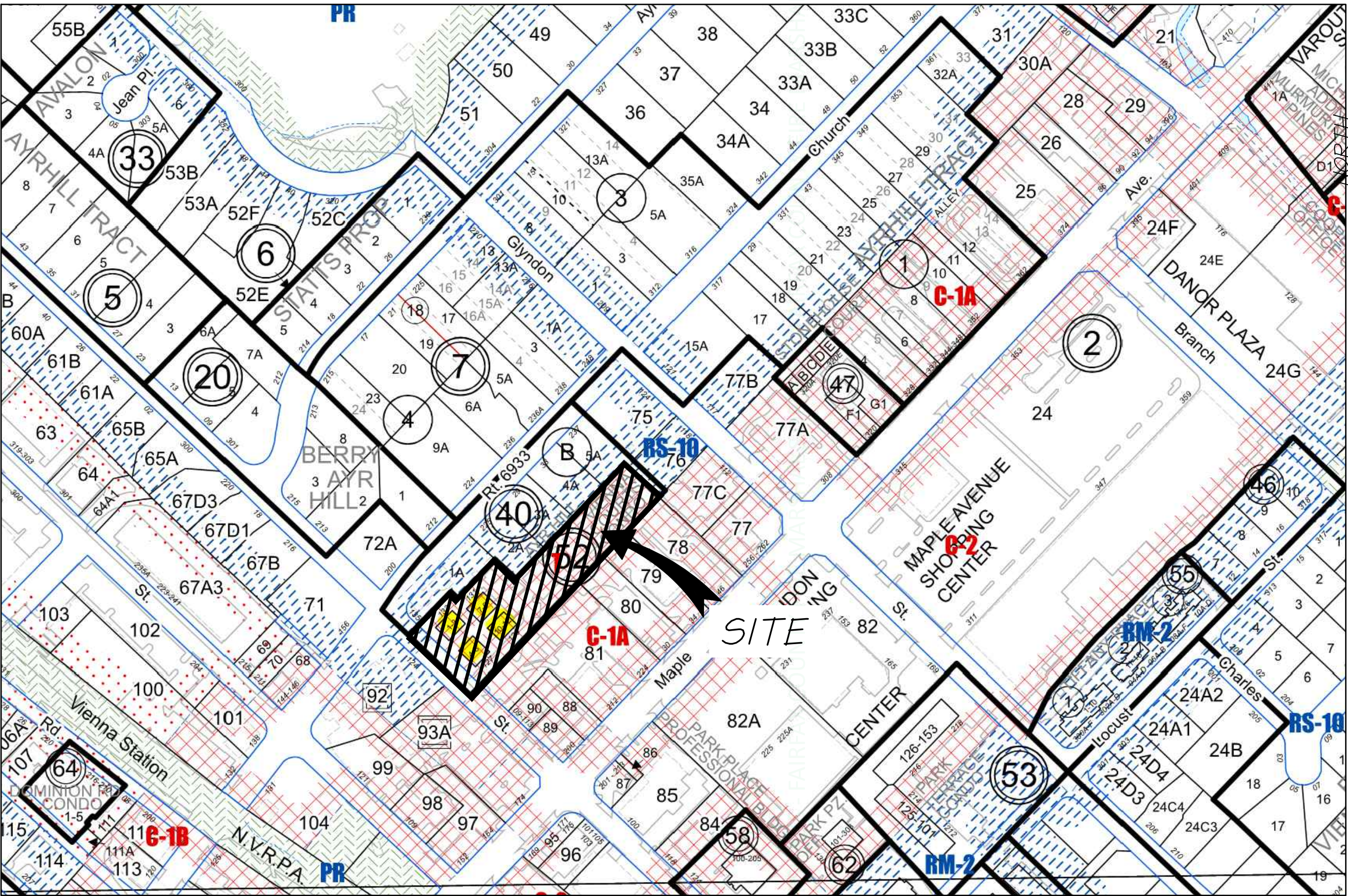


REZONING OF
127-133 PARK ST, N.E.
TOWN OF VIENNA, VIRGINIA



VICINITY MAP
SCALE : 1" = 2,000'



ZONING MAP
SCALE : 1" = 200'

SOIL INFORMATION

SOIL #	SOIL NAME	PROBLEM CLASS	FOUNDATION SUPPORT	DRAINAGE	EROSION POTENTIAL
95	URBAN LAND	IVB	N/A	N/A	N/A

SITE OVERVIEW:

SITE AREA: 72,167# OR 1.65673 ACRES
EXISTING ZONE: T (TRANSITIONAL)
PROPOSED ZONE: RM-2

APPLICANT/CONTRACT OWNER:

BFR CONSTRUCTION COMPANY
921 GLYNDON ST., S.E.
VIENNA, VA 22180
SBUKONT@GMAIL.COM
(703)281-1054

PROPERTY OWNER(S):

THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON FAIRFAX COUNTY TAX MAP No. 0382-52-0001, 0002, 0003, 0004, 0005, 0006, 0007, 0008, 0009, 0010, 0011, AND 0012.

THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF TRUSTEES OF VIENNA PRESBYTERIAN CHURCH, BY DEED RECORDED IN DEED BOOK 5922 AT PAGE 1564, JOSEPH T. NOCERINO AND MARY ANN NOCERINO, TRUSTEES, BY DEED RECORDED IN DEED BOOK 23466 AT PAGE 1767 AND DEED BOOK 23466 AT PAGE 1771, EZRA PARTNERSHIP, BY DEED RECORDED IN DEED BOOK 19254 AT PAGE 532, DEED BOOK 5863 AT PAGE 365, DEED BOOK 6117 AT PAGE 1651, DEED BOOK 7699 AT PAGE 1031, AND DEED BOOK 19254 AT PAGE 532, MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVE AND FITTINGS INDUSTRY, INC. BY DEED RECORDED IN DEED BOOK 5921 AT PAGE 1069, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.

REZONING APPLICATION NOTE:

THIS REZONING APPLICATION IS CONCEPTUAL IN FORM AND DOES NOT CONSTITUTE AN ENGINEERING REVIEW. A FULL ENGINEERING REVIEW WILL BE CONDUCTED DURING SITE PLAN SUBMISSION UNDER SEPARATE COVER. APPROVAL OF THE REZONING DOES NOT MEAN THAT THE APPLICANT WILL NOT NEED TO ALTER THE CONCEPTUAL LAYOUT TO MEET CODES, REGULATIONS AND GOOD ENGINEERING PRACTICES. THE APPLICANT RESERVES THE RIGHT TO REQUEST FURTHER MODIFICATIONS OR WAIVERS TO SPECIFIC STANDARDS AS PART OF THE SITE PLAN REVIEW AND APPROVAL.

ZONING REQUEST:

THIS REZONING APPLICATION IS TO REZONE THE SUBJECT PROPERTY FROM T (TRANSITIONAL) TO RM-2 (LOW DENSITY, MULTI-FAMILY). THE PROPOSAL WILL DISSOLVE THE EXISTING CONDOMINIUM AND CONSOLIDATE THE LOT.

SHEET INDEX

- 1) COVER SHEET
- 2) BOUNDARY
- 3) EXISTING CONDITIONS PLAN
- 4) CONCEPT PLAN
- 4A) CONCEPT LANDSCAPE PLAN
- 4B) FIRE MARSHAL PLAN
- 5) VRRM
- 6) ARCHITECTURAL FRONT ELEVATIONS
- 7) ARCHITECTURAL REAR ELEVATION AND BUILDING SECTION



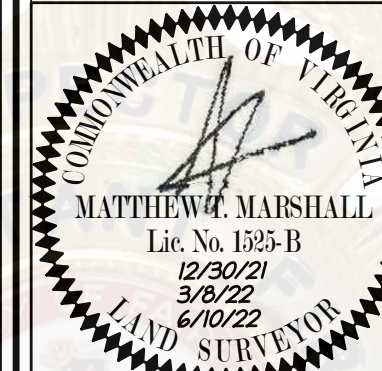
**PLANS APPROVED BY
FIRE MARSHAL**
--- ZONING APPROVAL ONLY ---
DATE: 06/15/2022
REVIEWER: M. PARUTI
REVIEW ID: 80519

FM REVIEWER COORDINATED EXTENSIVELY WITH APPLICANT REGARDING PROPOSED LAYOUT IN ORDER TO ATTAIN AT LEAST MINIMAL COMPLIANCE WITH THE FAIRFAX COUNTY PFM AND VIRGINIA BUILDING AND FIRE CODES RELATIVE TO FD ACCESS.

MINIMAL CODE COMPLIANCE HAS BEEN ACHIEVED; HOWEVER, THIS PROPOSED LAYOUT IS FAR FROM IDEAL AND THE DELETION OF ANY STRUCTURES WOULD BE WELCOMED. ALSO, EACH OF THE STRUCTURES WILL MORE THAN LIKELY NEED TO BE SPRINKLERED VIA CODE MODIFICATION DUE TO INSUFFICIENT AVAILABLE FIRE FLOW.

TOTAL COMMENTS		REVIEW BY	APPROVED DATE
1	2		
1	1		
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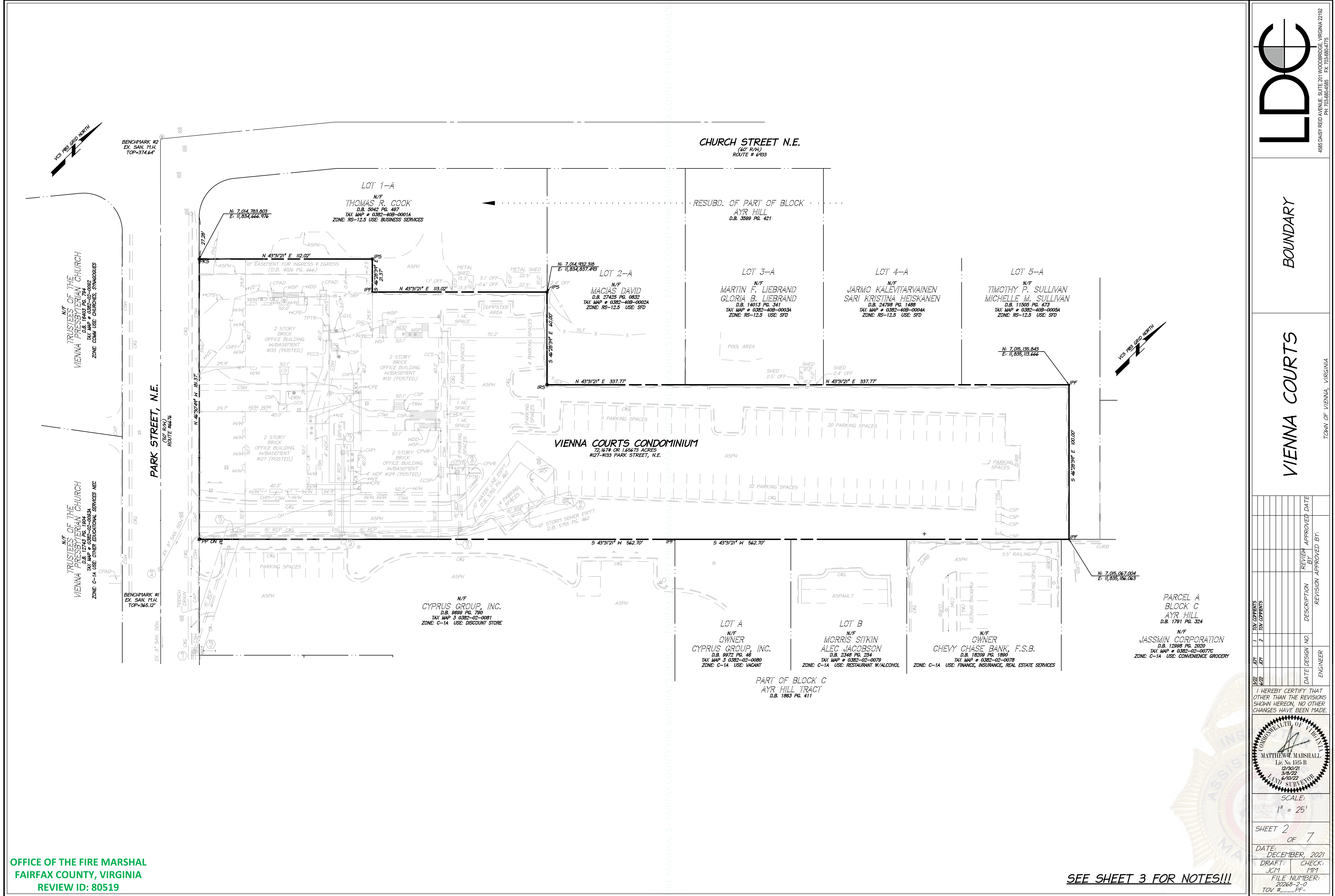
I HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.



SCALE:
AS SHOWN

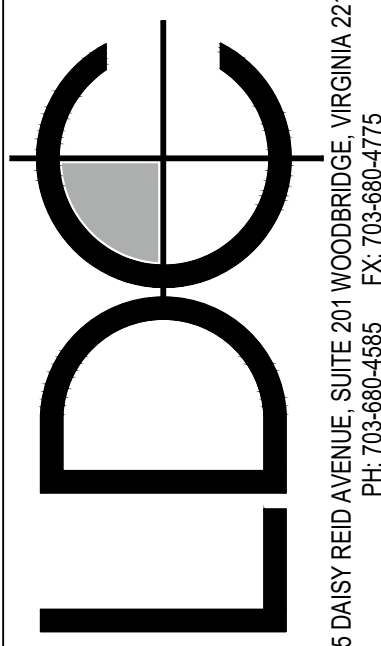
SHEET 1
OF 7

DATE: DECEMBER, 2021
DRAFT: JCM CHECK: MM
FILE NUMBER: 20268-2-0
TOV # PF-



OFFICE OF THE FIRE MARSHAL
FAIRFAX COUNTY, VIRGINIA
REVIEW ID: 80519

PLAT 2020-20268-2-0 PARK STREET, N.E. - 127-133 VIENNA COURT, N.E. - 1-0-BND.dwg



4535 DASHY REID AVENUE SUITE 201 WOODBRIDGE, VIRGINIA 22192
TEL: 703-580-4555 FAX: 703-580-4715

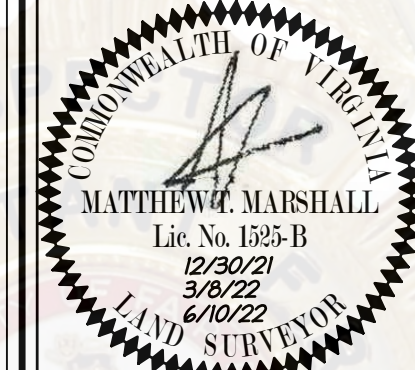
BOUNDARY

VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

DATE	REVISION	DESCRIPTION	REVIEW BY	APPROVED BY
12/22/20	1	TOTAL COMMENTS		
12/22/20	2	TOTAL COMMENTS		

HEREBY CERTIFY THAT
OTHER THAN THE REVISIONS
SHOWN HEREON, NO OTHER
CHANGES HAVE BEEN MADE.



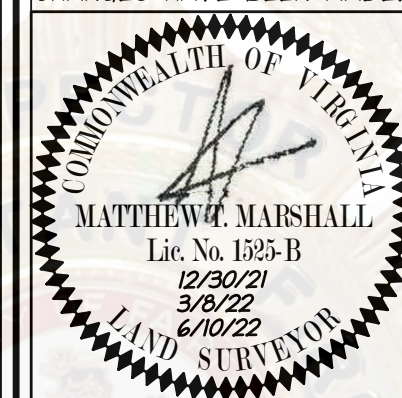
SCALE:
1" = 25'

SHEET 2	OF 7
DATE: DECEMBER 2021	CHECK: JCM
DRAFT: JCM	FILE NUMBER: 20268-2-0
TOV #	FF

SEE SHEET 3 FOR NOTES!!!

[illegible]

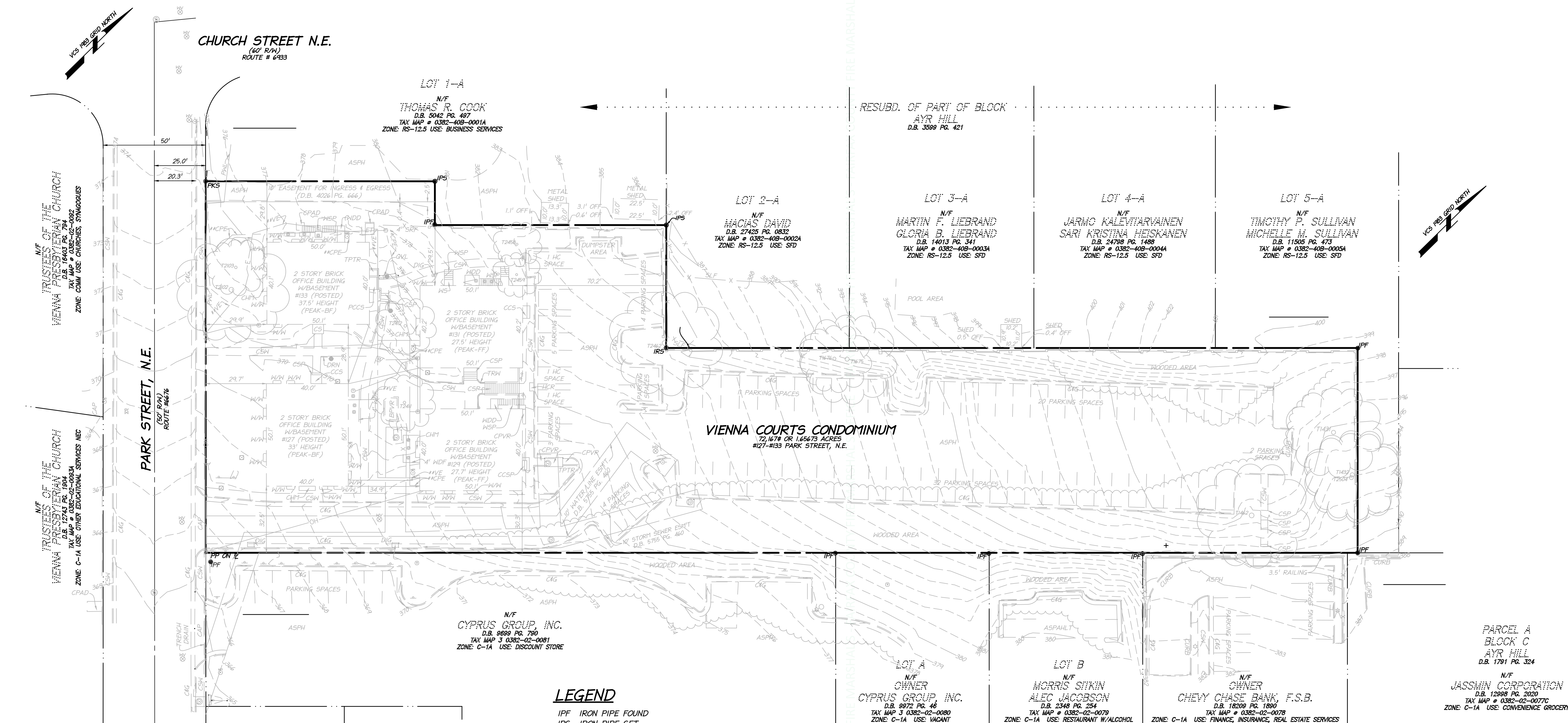
I HEREBY CERTIFY THAT
OTHER THAN THE REVISIONS
SHOWN HEREON, NO OTHER
CHANGES HAVE BEEN MADE.



SCALE:
1" = 25'

SHEET 3 OF 7

DATE: DECEMBER, 2021	
DRAFT: JCM	CHECK: MM
FILE NUMBER: 20268-2-0	
TOV #___PF-	



AS-BUILT INFORMATION

SANITARY SEWER

- EX. SANITARY MANHOLE TOP=365.12'
EX. INV. IN=357.92' (8" SAN. SEWER PIPE FROM NORTHEAST)
EX. INV. OUT=356.77' (8" SAN. SEWER PIPE TO SOUTHEAST)

- ④ EX. A → ④ EX. B 237.12' - 8" SAN. SEWER PIPE - @ 0.48%

- EX. SANITARY MANHOLE TOP=365.83'
EX. INV. IN=355.68' (8" SAN. SEWER PIPE FROM SOUTHWEST)
EX. INV. IN=355.63' (8" SAN. SEWER PIPE FROM A)
EX. INV. IN=355.63' (8" SAN. SEWER PIPE FROM NORTHEAST)
EX. INV. OUT=355.58' (8" SAN. SEWER PIPE TO SOUTHEAST)

STORM SEWER

- EX. 2 EX. CONCRETE HEADWALL
EX. INV. OUT=362.62' (15" RCP TO 2)

- EX 1 ← EX 2 3.38' - 15" RCP - @ 0.30%

- EX. STORM CURB INLET TOP=364.42'
EX. INV. IN=362.61' (15" RCP FROM 2)
EX. INV. IN=363.01' (15" RCP FROM 3)
EX. INV. OUT=361.07' (15" RCP TO SOUTHEAST)

- EX 1 ← EX 3 78.21' - 15" RCP - @

- EX. DROP INLET GRATE TOP=366.66'
EX. INV. IN=363.86' (15" RCP FROM 4,
EX. INV. OUT=363.76' (15" RCP TO 1)

- EX 3 ← EX 4 70.53' - 15" RCP - @ 1.52%

- EX. DROP INLET GRATE TOP=371.08'
EX. INV. IN=365.03' (15" RCP FROM 5)
EX. INV. IN=364.98' (15" RCP FROM 7)
EX. INV. OUT=364.93' (15" RCP TO 3)

- EX 4 ← EX 5 76.17' - 15" RCP - @ 3.78%

- EX. STORM MANHOLE TOP=376.31'
EX. INV. IN=372.25' (15" RCP FROM 8'
EX. INV. IN=372.25' (15" RCP FROM 6'
EX. INV. OUT=367.91' (15" RCP TO 4)

- EX 5 ← EX 6 63.85' - 15" RCP - @ 2.47'

- EX. STORM CURB INLET TOP=381.83'
EX. INV. OUT=373.83' (15" RCP TO 5)

- EX. STORM CURB INLET TOP=378.68'
EX. INV. OUT=372.94' (15" RCP TO 5')

-

 37.29' - 15" RCP - @

- EX. STORM INLET TOP=368.68'
EX. INV. OUT=365.93' (15" RCP TO 5')

- 


 52.30' - 15" RCP - @ 1.82%

- 100

LEGEND

- IFF IRON PIPE FOUND
 IPS IRON PIPE SET
 IRS IRON ROD SET
 PKS PK NAIL SET
 ASPH ASPHALT
 BRW BRICK RETAINING WALL
 BWL BRICK WALL
 C&G CURB & GUTTER
 C CENTERLINE
 CAP CONCRETE APRON
 CCS COVERED CONCRETE STOOP
 CCSP COVERED CONCRETE STEPS
 CH1 CHIMNEY
 CPAD CONCRETE PAD
 CRW CONCRETE RETAINING WALL
 CS CONCRETE STOOP
 CSP CONCRETE STEPS
 CSW CONCRETE SIDEWALK
 CURB HEADER CURB
 CPVR CONCRETE PAVER WALK
 DIG DROP INLET GRATE
 DRN STORM DRAIN
 PCPP PARTIALLY COVERED CONCRETE PORCH
 P PROPERTY LINE
 PP POWER POWER
 PWL PAINTED WHITE LINE
 RCP REINFORCED CONCRETE PIPE
 TRW TIMBER RETAINING WALL
 TPTR TIMBER PLANTER
 W/W WINDOW WELL
 WDD WOOD DECK
 WSP WOOD STEPS
 A AIR CONDITIONING UNIT
 C CLEAN OUT
 ET ELECTRIC TRANSFORMER
 F FIRE HYDRANT
 G GAS VALVE
 G GUY WIRE
 P POWER POLE WITHOUT LIGHT
 PL POWER POLE WITH LIGHT
 S SANITARY MANHOLE
 S SIGN
 SM STORM MANHOLE

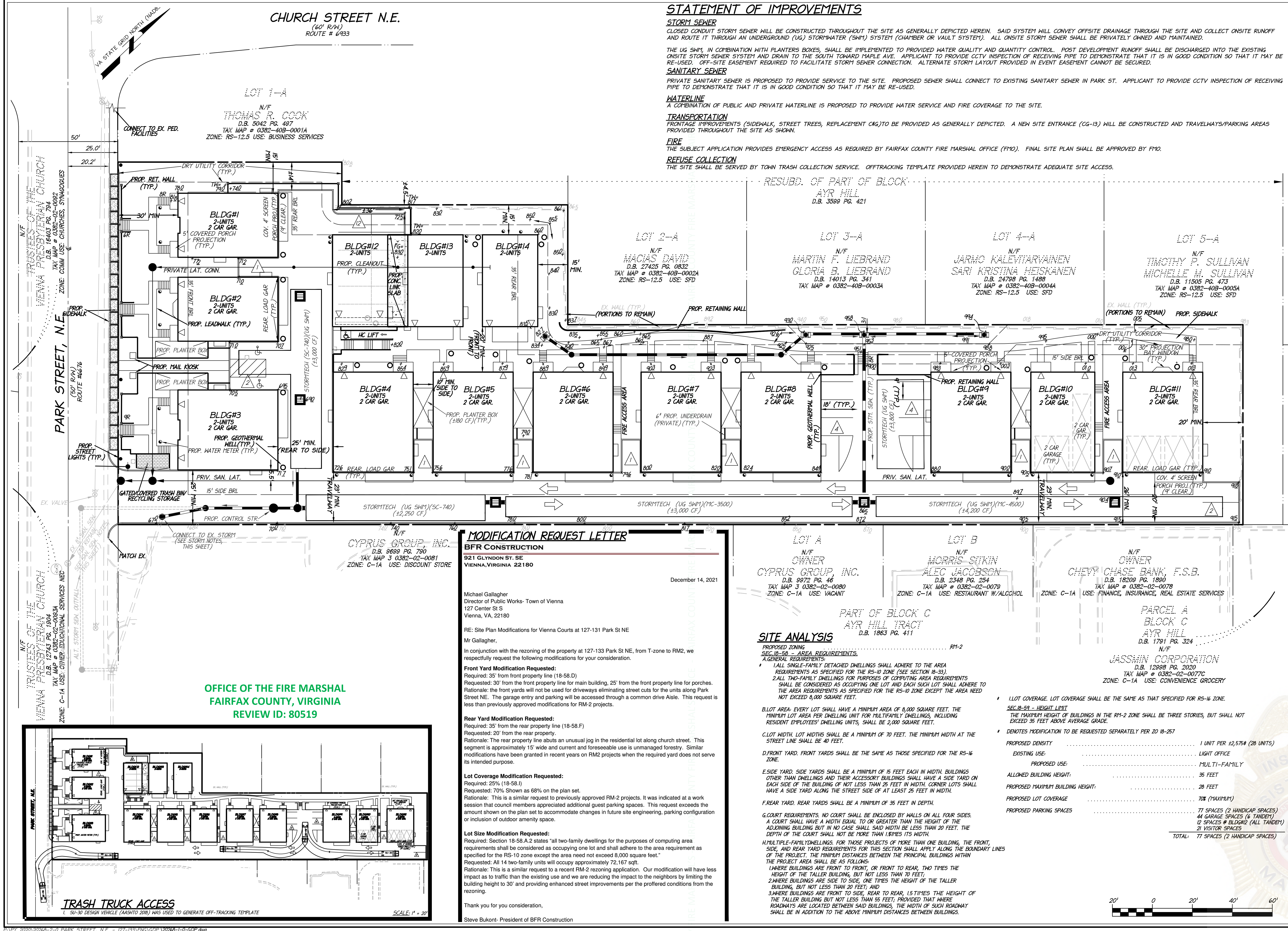
-  STORM CURB INLET
 TELEPHONE PEDESTAL
 WATER METER
 WATER VALVE
 TREE
 OVERHEAD UTILITY
 SANITARY LINE
 UNDERGROUND ELECTRIC LINE (PAINTED RED LINE)
 UNDERGROUND TELEPHONE LINE (PAINTED ORANGE LINE)
 SPLIT RAIL FENCE
 WOOD FENCE
 TREE LINE
- *#CPE APPROXIMATE LOCATION @ C&P TEL. CO. R/W D.B. 3888 PG. 696
 *#VE APPROXIMATE LOCATION @ VEP&CO R/W D.B. 3474 PG. 573

TREE TABLE

- T1431 24" TREE
T1432 24" TREE
T1462 28" TREE
T1675 24" TREE
T1676 18" TREE
T2102 28" TREE
T2103 15" TREE
T2411 15" MAGNOLIA
T2412 15" MAGNOLIA
T2458 12" TREE
T2459 12" TREE
T2462 28" TREE
T2504 24" OAK

NOTES

1. THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON FAIRFAX COUNTY TAX MAP No. 0382-52-0001, 0002, 0003, 0004, 0005, 0006, 0007, 0008, 0009, 0010, 0011, AND 0012, AND IS CURRENTLY ZONED T.
2. THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF TRUSTEES OF VIENNA PRESBYTERIAN CHURCH, DEED BOOK 5922 AT PAGE 1569. JOSEPH T. NOCERINO AND MARY ANN NOCERINO, TRUSTEES, BY DEED RECORDED IN DEED BOOK 23666 AT PAGE 1767 AND DEED BOOK 23666 AT PAGE 1771, EZRA PARTNERSHIP, BY DEED RECORDED IN DEED BOOK 19254 AT PAGE 532, DEED BOOK 5863 AT PAGE 365, DEED BOOK 617 AT PAGE 1651, DEED BOOK 7699 AT PAGE 1031, AND DEED BOOK 19284 AT PAGE 532, MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVE AND FITTING INDUSTRY INC, BY DEED RECORDED IN DEED BOOK 5921 AT PAGE 1069, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.
3. TITLE REFERENCE BY ROUND TABLE TITLE, INC., FILE NO. RT72020-17099A,B,C AND D, DATED OCTOBER 1, 2020.
4. THE PROPERTY SHOWN HEREON LIES WITHIN A ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DELINEATED ON FLOOD INSURANCE RATE MAP NO. 51059C0145E, PANEL 145 OF 450, WITH AN EFFECTIVE DATE OF SEPTEMBER 17, 2010.
5. THE PLAT OF THE PROPERTY SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD SURVEY WHICH TIES THIS BOUNDARY TO NATIONAL GEODETIC SURVEY PID HV8750. THE COMBINED GRID AND ELEVATION FACTOR IS 0.99994768.
6. THERE ARE NO KNOWN GRAVES OR BURIAL SITES ON THE PROPERTY.
7. EXCEPT AS SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS OBSERVED ON THE SURVEYED PROPERTY.



STATEMENT OF IMPROVEMENTS

STORM SEWER

CLOSED CONDUIT STORM SEWER WILL BE CONSTRUCTED THROUGHOUT THE SITE AS GENERALLY DEPICTED HEREIN. SAID SYSTEM WILL CONVEY OFFSITE DRAINAGE THROUGH THE SITE AND COLLECT ONSITE RUNOFF AND ROUTE IT THROUGH AN UNDERGROUND (UG) STORMWATER (SWM) SYSTEM (CHAMBER OR VAULT SYSTEM). ALL ONSITE STORM SEWER SHALL BE PRIVATELY OWNED AND MAINTAINED.

THE UG SWM, IN COMBINATION WITH PLANTERS BOXES, SHALL BE IMPLEMENTED TO PROVIDED WATER QUALITY AND QUANTITY CONTROL. POST DEVELOPMENT RUNOFF SHALL BE DISCHARGED INTO THE EXISTING ONSITE STORM SEWER SYSTEM AND DRAIN TO THE SOUTH TOWARD MAPLE AVE. APPLICANT TO PROVIDE CCTV INSPECTION OF RECEIVING PIPE TO DEMONSTRATE THAT IT IS IN GOOD CONDITION SO THAT IT MAY BE RE-USED. OFF-SITE EASEMENT REQUIRED TO FACILITATE STORM SEWER CONNECTION. ALTERNATE STORM LAYOUT PROVIDED IN EVENT EASEMENT CANNOT BE SECURED.

SANITARY SEWER

PRIVATE SANITARY SEWER IS PROPOSED TO PROVIDE SERVICE TO THE SITE. PROPOSED SEWER SHALL CONNECT TO EXISTING SANITARY SEWER IN PARK ST. APPLICANT TO PROVIDE CCTV INSPECTION OF RECEIVING PIPE TO DEMONSTRATE THAT IT IS IN GOOD CONDITION SO THAT IT MAY BE RE-USED.

WATERLINE

A COMBINATION OF PUBLIC AND PRIVATE WATERLINE IS PROPOSED TO PROVIDE WATER SERVICE AND FIRE COVERAGE TO THE SITE.

TRANSPORTATION

FRONTAGE IMPROVEMENTS (SIDEWALK, STREET TREES, REPLACEMENT C&G) TO BE PROVIDED AS GENERALLY DEPICTED. A NEW SITE ENTRANCE (CG-13) WILL BE CONSTRUCTED AND TRAVELWAYS/PARKING AREAS PROVIDED THROUGHOUT THE SITE AS SHOWN.

FIRE

THE SUBJECT APPLICATION PROVIDES EMERGENCY ACCESS AS REQUIRED BY FAIRFAX COUNTY FIRE MARSHAL OFFICE (FMO). FINAL SITE PLAN SHALL BE APPROVED BY FMO.

REFUSE COLLECTION

THE SITE SHALL BE SERVED BY TOWN TRASH COLLECTION SERVICE. OFFTRACKING TEMPLATE PROVIDED HEREIN TO DEMONSTRATE ADEQUATE SITE ACCESS.

MODIFICATION REQUEST LETTER

BFR CONSTRUCTION

921 GLYNDON ST. SE
VIENNA, VIRGINIA 22180

December 14, 2021

Michael Gallagher
Director of Public Works- Town of Vienna
127 Center St S
Vienna, VA, 22180

RE: Site Plan Modifications for Vienna Courts at 127-131 Park St NE

Mr Gallagher,

In conjunction with the rezoning of the property at 127-133 Park St NE, from T-zone to RM2, we respectfully request the following modifications for your consideration.

Front Yard Modification Requested:

Required: 35' from front property line (18-58.D)
Requested: 30' from the front property line for main building, 25' from the front property line for porches.
Rationale: the front yards will not be used for driveways eliminating street cuts for the units along Park Street NE. The garage entry and parking will be accessed through a common drive Aisle. This request is less than previously approved modifications for RM-2 projects.

Rear Yard Modification Requested:

Required: 35' from the rear property line (18-58.F)
Requested: 20' from the rear property.
Rationale: The rear property line abuts an unusual jog in the residential lot along church street. This segment is approximately 15' wide and current and foreseeable use is unmanaged forestry. Similar modifications have been granted in recent years on RM2 projects when the required yard does not serve its intended purpose.

Lot Coverage Modification Requested:

Required: 25% (18-58.I)
Requested: 70% Shown as 68% on the plan set.
Rationale: This is a similar request to previously approved RM-2 projects. It was indicated at a work session that council members appreciated additional guest parking spaces. This request exceeds the amount shown on the plan set to accommodate changes in future site engineering, parking configuration or inclusion of outdoor amenity space.

Lot Size Modification Requested:

Required: Section 18-58.A.2 states "all two-family dwellings for the purposes of computing area requirements shall be considered as occupying one lot and shall adhere to the area requirement as specified for the RS-10 zone except the area need not exceed 8,000 square feet."
Requested: All 14 two-family units will occupy approximately 72,167 sqft.
Rationale: This is a similar request to a recent RM-2 rezoning application. Our modification will have less impact as to traffic than the existing use and we are reducing the impact to the neighbors by limiting the building height to 30' and providing enhanced street improvements per the proffered conditions from the rezoning.

Thank you for your consideration,

Steve Bukont- President of BFR Construction

SITE ANALYSIS

PROPOSED ZONING SEC. 18-58 - AREA REQUIREMENTS RY-2

A. GENERAL REQUIREMENTS:

- 1. ALL SINGLE-FAMILY DETACHED DWELLINGS SHALL ADHERE TO THE AREA REQUIREMENTS AS SPECIFIED FOR THE RS-10 ZONE (SEE SECTION 18-33).
- 2. ALL TWO-FAMILY DWELLINGS FOR PURPOSES OF COMPUTING AREA REQUIREMENTS SHALL BE CONSIDERED AS OCCUPYING ONE LOT AND EACH SUCH LOT SHALL ADHERE TO THE AREA REQUIREMENTS AS SPECIFIED FOR THE RS-10 ZONE EXCEPT THE AREA NEED NOT EXCEED 8,000 SQUARE FEET.

B. LOT AREA: EVERY LOT SHALL HAVE A MINIMUM AREA OF 8,000 SQUARE FEET. THE MINIMUM LOT AREA PER DWELLING UNIT FOR MULTIFAMILY DWELLINGS, INCLUDING RESIDENT EMPLOYEES' DWELLING UNITS, SHALL BE 2,000 SQUARE FEET.

C. LOT WIDTH: LOT WIDTHS SHALL BE A MINIMUM OF 70 FEET. THE MINIMUM WIDTH AT THE STREET LINE SHALL BE 40 FEET.

D. FRONT YARD: FRONT YARDS SHALL BE THE SAME AS THOSE SPECIFIED FOR THE RS-16 ZONE.

E. SIDE YARD: SIDE YARDS SHALL BE A MINIMUM OF 15 FEET EACH IN WIDTH. BUILDINGS OTHER THAN DWELLINGS AND THEIR ACCESSORY BUILDINGS SHALL HAVE A SIDE YARD ON EACH SIDE OF THE BUILDING OF NOT LESS THAN 25 FEET IN WIDTH. CORNER LOTS SHALL HAVE A SIDE YARD ALONG THE STREET SIDE OF AT LEAST 25 FEET IN WIDTH.

F. REAR YARD: REAR YARDS SHALL BE A MINIMUM OF 35 FEET IN DEPTH.

G. COURT REQUIREMENTS: NO COURT SHALL BE ENCLOSED BY WALLS ON ALL FOUR SIDES. A COURT SHALL HAVE A WIDTH EQUAL TO OR GREATER THAN THE HEIGHT OF THE ADJOINING BUILDING BUT IN NO CASE SHALL SAID WIDTH BE LESS THAN 20 FEET. THE DEPTH OF THE COURT SHALL NOT BE MORE THAN 1.5 TIMES ITS WIDTH.

H. MULTIPLE-FAMILY DWELLINGS: FOR THOSE PROJECTS OF MORE THAN ONE BUILDING, THE FRONT, SIDE, AND REAR YARD REQUIREMENTS FOR THIS SECTION SHALL APPLY ALONG THE BOUNDARY LINES OF THE PROJECT. THE MINIMUM DISTANCES BETWEEN THE PRINCIPAL BUILDINGS WITHIN THE PROJECT AREA SHALL BE AS FOLLOWS:

- 1. WHERE BUILDINGS ARE FRONT TO FRONT, OR FRONT TO REAR, TWO TIMES THE HEIGHT OF THE TALLER BUILDING, BUT NOT LESS THAN 70 FEET;
- 2. WHERE BUILDINGS ARE SIDE TO SIDE, ONE TIMES THE HEIGHT OF THE TALLER BUILDING, BUT NOT LESS THAN 20 FEET; AND
- 3. WHERE BUILDINGS ARE FRONT TO SIDE, REAR TO REAR, 1.5 TIMES THE HEIGHT OF THE TALLER BUILDING BUT NOT LESS THAN 55 FEET, PROVIDED THAT WHERE ROADWAYS ARE LOCATED BETWEEN SAID BUILDINGS, THE WIDTH OF SUCH ROADWAY SHALL BE IN ADDITION TO THE ABOVE MINIMUM DISTANCES BETWEEN BUILDINGS.

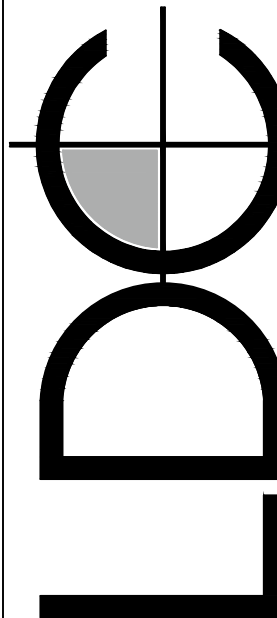
- 1. LOT COVERAGE: LOT COVERAGE SHALL BE THE SAME AS THAT SPECIFIED FOR RS-16 ZONE.

SEC. 18-59 - HEIGHT LIMIT

THE MAXIMUM HEIGHT OF BUILDINGS IN THE RY-2 ZONE SHALL BE THREE STORIES, BUT SHALL NOT EXCEED 36 FEET ABOVE AVERAGE GRADE.

- 1. DENOTES MODIFICATION TO BE REQUESTED SEPARATELY PER 20 18-267

PROPOSED DENSITY	1 UNIT PER 12,575# (28 UNITS)
EXISTING USE	LIGHT OFFICE
PROPOSED USE	MULTI-FAMILY
ALLOWED BUILDING HEIGHT	36 FEET
PROPOSED MAXIMUM BUILDING HEIGHT	28 FEET
PROPOSED LOT COVERAGE	70% (MAXIMUM)
PROPOSED PARKING SPACES	77 SPACES (2 HANDICAP SPACES) 44 GARAGE SPACES (6 TANDUM) 12 SPACES @ BLDG#2 (ALL TANDUM) 21 VISITOR SPACES
TOTAL:	77 SPACES (2 HANDICAP SPACES)



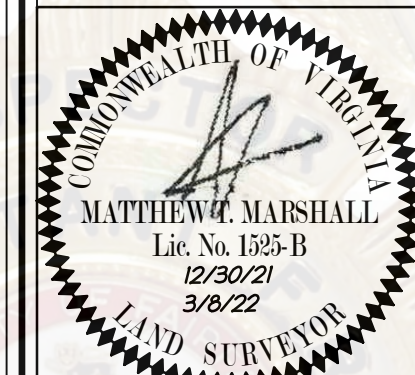
CONCEPT PLAN

VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

NO.	DATE	DESIGN	REVISION	BY	APPROVED	DATE
1	12/14/21	DESIGN	NO.			
2	12/14/21	REVISION	NO.			
3	12/14/21	REVISION	NO.			
4	12/14/21	REVISION	NO.			
5	12/14/21	REVISION	NO.			
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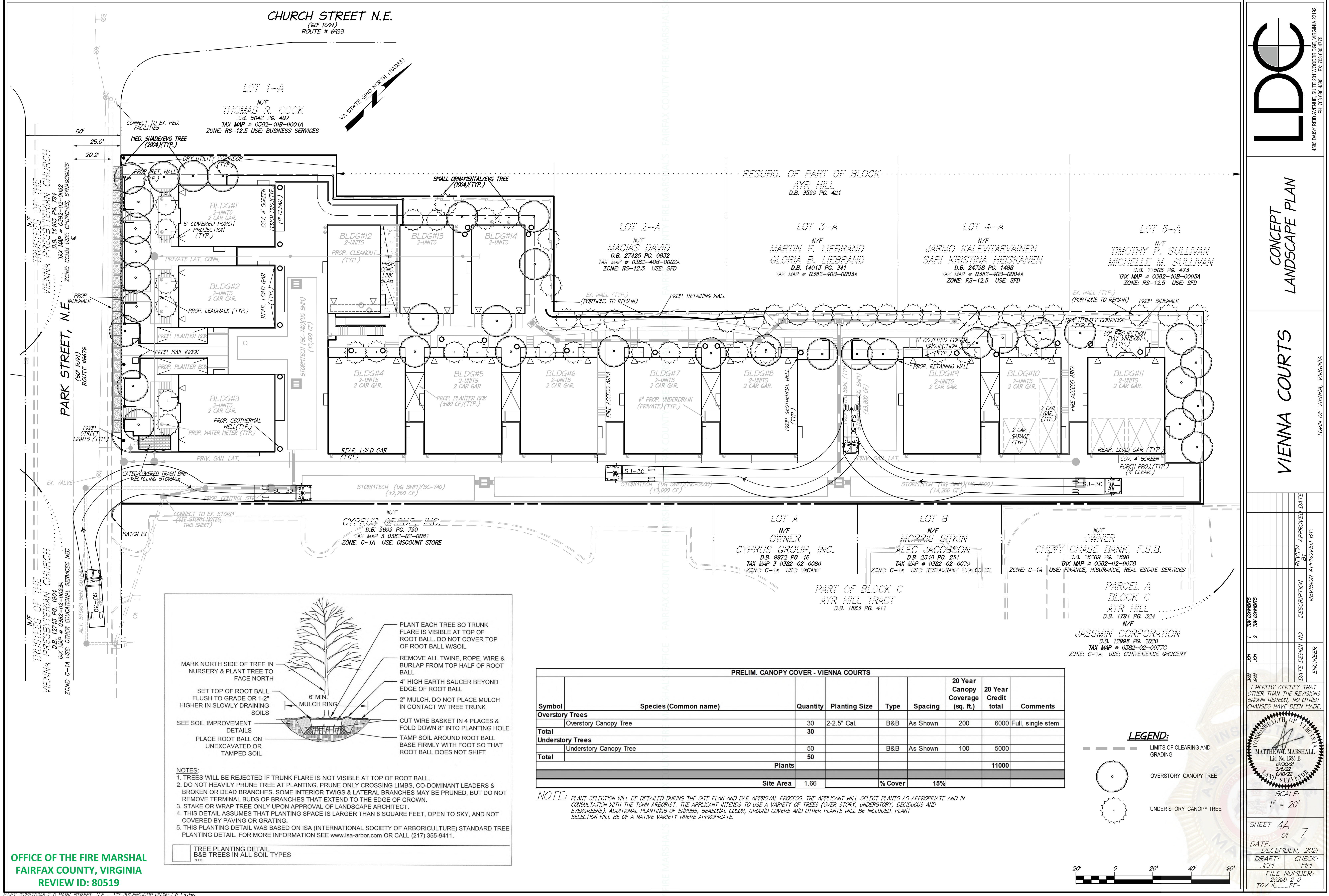
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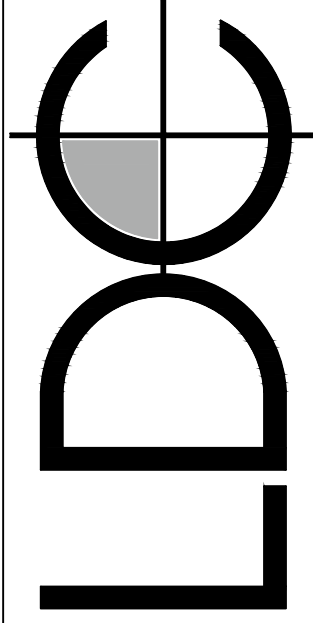
SCALE: 1" = 20'

SHEET 4 OF 7

DATE: DECEMBER, 2021
DRAFT: JCM CHECK: MM
FILE NUMBER: 20268-2-0
TOV # 100-580-4555



OFFICE OF THE FIRE MARSHAL
FAIRFAX COUNTY, VIRGINIA
REVIEW ID: 80519



CONCEPT
LANDSCAPE PLAN

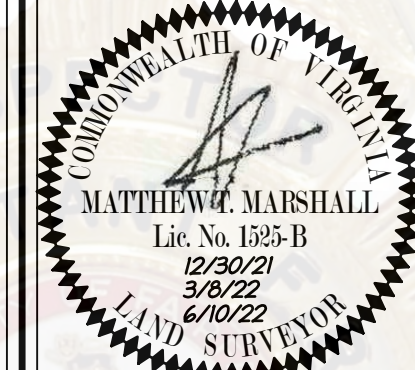
VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

4555 DUNDY REED AVENUE SUITE 201 WOODBRIDGE, VIRGINIA 22192
PH: 703-580-4555 FAX: 703-580-4715

DATE	DESIGN	NO.	REVISION	APPROVED BY:	ENGINEER
12/22/2021	1				
12/22/2021	2				

HEREBY CERTIFY THAT
OTHER THAN THE REVISIONS
SHOWN HEREON, NO OTHER
CHANGES HAVE BEEN MADE.

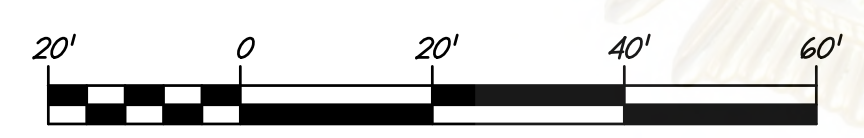


SCALE:
1" = 20'

SHEET 4A
OF 7
DATE: DECEMBER, 2021
DRAFT: JCM CHECK: MM
FILE NUMBER:
20260-2-0
TOV # FF-

LEGEND:

- LIMITS OF CLEARING AND GRADING
- OVERSTORY CANOPY TREE
- ✱ UNDER STORY CANOPY TREE



PRELIM. CANOPY COVER - VIENNA COURTS							
Symbol	Species (Common name)	Quantity	Planting Size	Type	Spacing	20 Year Canopy Coverage (sq. ft.)	20 Year Credit total
Overstory Trees							
	Overstory Canopy Tree	30	2-2.5" Cal.	B&B	As Shown	200	6000
Total		30					
Understory Trees							
	Understory Canopy Tree	50		B&B	As Shown	100	5000
Total		50					
Plants							11000
Site Area						1.66	% Cover 15%

NOTE: PLANT SELECTION WILL BE DETAILED DURING THE SITE PLAN AND BAR APPROVAL PROCESS. THE APPLICANT WILL SELECT PLANTS AS APPROPRIATE AND IN CONSULTATION WITH THE TOWN ARBORIST. THE APPLICANT INTENDS TO USE A VARIETY OF TREES (OVER STORY, UNDERSTORY, DECIDUOUS AND EVERGREENS). ADDITIONAL PLANTINGS OF SHRUBS, SEASONAL COLOR, GROUND COVERS AND OTHER PLANTS WILL BE INCLUDED. PLANT SELECTION WILL BE OF A NATIVE VARIETY WHERE APPROPRIATE.

TREE PLANTING DETAIL
B&B TREES IN ALL SOIL TYPES

MARK NORTH SIDE OF TREE IN NURSERY & PLANT TREE TO FACE NORTH

SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2" HIGHER IN SLOWLY DRAINING SOILS

SEE SOIL IMPROVEMENT DETAILS

PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL

PLANT EACH TREE SO TRUNK FLARE IS VISIBLE AT TOP OF ROOT BALL. DO NOT COVER TOP OF ROOT BALL W/ SOIL.

REMOVE ALL TWINE, ROPE, WIRE & BURLAP FROM TOP HALF OF ROOT BALL

4" HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL

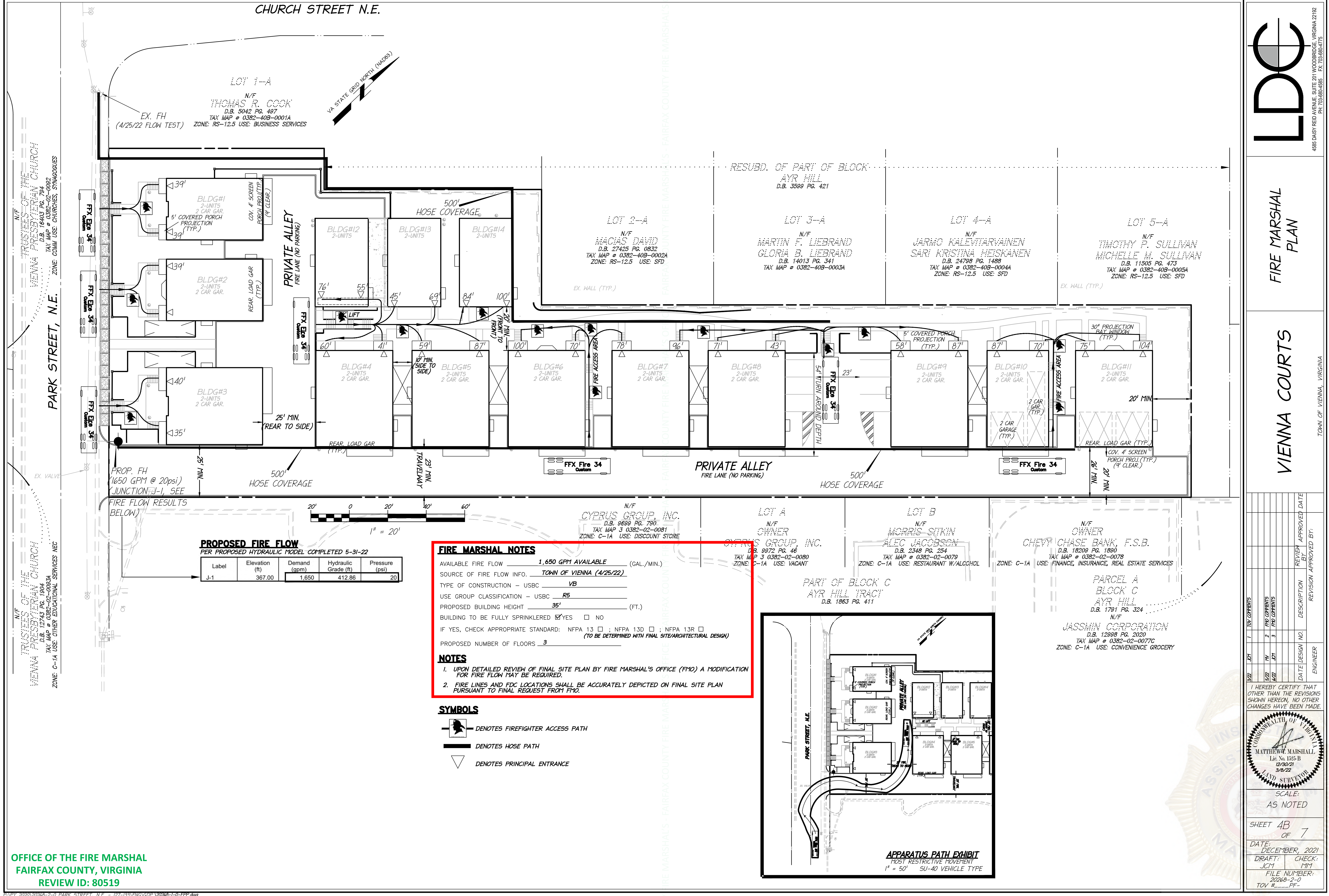
2" MULCH. DO NOT PLACE MULCH IN CONTACT W/ TREE TRUNK

CUT WIRE BASKET IN 4 PLACES & FOLD DOWN 8" INTO PLANTING HOLE

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT SO THAT ROOT BALL DOES NOT SHIFT

NOTES:

- TREES WILL BE REJECTED IF TRUNK FLARE IS NOT VISIBLE AT TOP OF ROOT BALL.
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED, BUT DO NOT REMOVE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF CROWN.
- STAKE OR WRAP TREE ONLY UPON APPROVAL OF LANDSCAPE ARCHITECT.
- THIS DETAIL ASSUMES THAT PLANTING SPACE IS LARGER THAN 8 SQUARE FEET, OPEN TO SKY, AND NOT COVERED BY PAVING OR GRATING.
- THIS PLANTING DETAIL WAS BASED ON ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) STANDARD TREE PLANTING DETAIL. FOR MORE INFORMATION SEE www.isa-arbor.com OR CALL (217) 355-9411.



OFFICE OF THE FIRE MARSHAL
FAIRFAX COUNTY, VIRGINIA
REVIEW ID: 80519

PLP1 2020-2026-2-0 PARK STREET, N.E. - 127-133 VENGADOP 2026-1-0-FPP.dwg

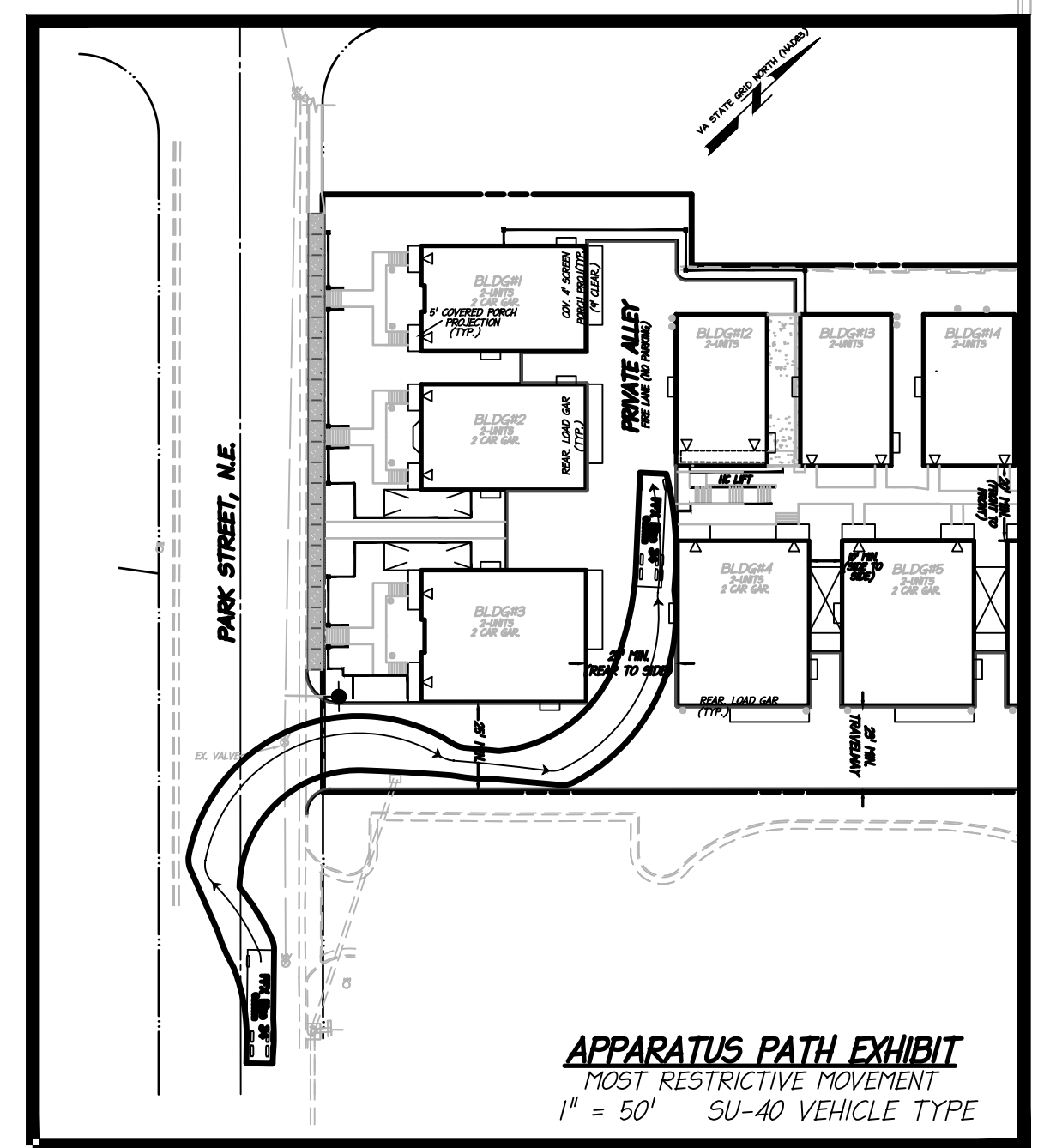
FIRE MARSHAL NOTES

AVAILABLE FIRE FLOW 1,650 GPM AVAILABLE (GAL./MIN.)
SOURCE OF FIRE FLOW INFO. TOWN OF VIENNA (4/25/22)
TYPE OF CONSTRUCTION - USBC VB
USE GROUP CLASSIFICATION - USBC R5
PROPOSED BUILDING HEIGHT 35' (FT.)
BUILDING TO BE FULLY SPRINKLERED ☒ YES ☐ NO
IF YES, CHECK APPROPRIATE STANDARD: NFPA 13 ☐ ; NFPA 13D ☐ ; NFPA 13R ☐
(TO BE DETERMINED WITH FINAL SITE/ARCHITECTURAL DESIGN)
PROPOSED NUMBER OF FLOORS 3

NOTES

- UPON DETAILED REVIEW OF FINAL SITE PLAN BY FIRE MARSHAL'S OFFICE (FMO) A MODIFICATION FOR FIRE FLOW MAY BE REQUIRED.
- FIRE LINES AND FDC LOCATIONS SHALL BE ACCURATELY DEPICTED ON FINAL SITE PLAN PURSUANT TO FINAL REQUEST FROM FMO.

- SYMBOLS**
- DENOTES FIREFIGHTER ACCESS PATH
 - DENOTES HOSE PATH
 - DENOTES PRINCIPAL ENTRANCE



PROPOSED FIRE FLOW
PER PROPOSED HYDRAULIC MODEL COMPLETED 5-31-22

Label	Elevation (ft)	Demand (gpm)	Hydraulic Grade (ft)	Pressure (psi)
J-1	367.00	1,650	412.86	20

4555 DASHY REED AVENUE SUITE 201 WOODBRIDGE, VIRGINIA 22192
PH: 703-580-4555 FAX: 703-580-4715

FIRE MARSHAL PLAN

VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

NO.	DATE	DESCRIPTION	REVISION	APPROVED BY:
1	12/22	TOT COMMENTS		
2	12/22	FDC COMMENTS		
3	12/22	FDC COMMENTS		

HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.

MATTHEW MARSHALL
Lic. No. 1585-B
2/2021
3/6/22
LAND SURVEYOR

SCALE:
AS NOTED

SHEET **4B**
OF **7**

DATE: **DECEMBER, 2021**
DRAFT: **JCM** CHECK: **MM**
FILE NUMBER: **20260-2-0**
TOV # **FF-**

Virginia Runoff Reduction Method ReDevelopment Worksheet - v2.8 - June 2014
To be used w/ 2011 BMP Standards and Specifications
Site Data

Project Name: Vienna Courts
Date: November 19, 2021

data input cells
calculation cells
constant values

Post-ReDevelopment Project & Land Cover Information Total Disturbed Acreage 1.66

Constants			
Annual Rainfall (inches)	43		
Target Rainfall Event (inches)	1.00		
Phosphorus EMC (mg/L)	0.26		
Target Phosphorus Target Load (lb/acre/yr)	0.41		
Pj	0.90		

Pre-ReDevelopment Land Cover (acres)	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.66	0.66
Impervious Cover (acres)	0.00	0.00	0.00	1.00	1.00
Total					1.66

Post-ReDevelopment Land Cover (acres)	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00		0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.27	0.27
Impervious Cover (acres)	0.00	0.00	0.00	1.39	1.39
Total					1.66

Area Check	Okay	Okay	Okay	Check Areas
Rv Coefficients				
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

Land Cover Summary	Listed	Adjusted ¹	Land Cover Summary	
Pre-ReDevelopment			Post-ReDevelopment	
Forest/Open Space Cover (acres)	0.00	0.00	Forest/Open Space Cover (acres)	0.00
Composite Rv(forest)	0.00	0.00	Composite Rv(forest)	0.00
% Forest	0%	0%	% Forest	0%
Managed Turf Cover (acres)	0.66	0.27	Managed Turf Cover (acres)	0.27
Composite Rv(turf)	0.25	0.25	Composite Rv(turf)	0.25
% Managed Turf	40%	21%	% Managed Turf	21%
Impervious Cover (acres)	1.00	1.00	ReDev Impervious Cover (acres)	1.00
Rv(impervious)	0.95	0.95	Rv(impervious)	0.95
% Impervious	60%	79%	% Impervious	79%
Total Site Area (acres)	1.66	1.27	Total ReDev. Site Area (acres)	1.27
Site Rv	0.67	0.80	ReDev. Site Rv	0.80
Pre-Development Treatment Volume (acre-ft)	0.0928	0.0848	Post-ReDevelopment Treatment Volume (acre-ft)	0.0848
Pre-Development Treatment Volume (cubic feet)	4,044	3,694	Post-ReDevelopment Treatment Volume (cubic feet)	3,694
Pre-Development Load (TP) (lb/yr)	2.54	2.32	Post-ReDevelopment Load (TP) (lb/yr)	2.32

Adjusted Land Cover Summary reflects the pre redevelopment land cover minus the pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover. The adjusted total acreage is consistent with the Post Redevelopment acreage (minus the acreage of new impervious cover). The load reduction requirement for the new impervious cover to meet the new development load limit is computed in Column I .	Maximum % Reduction Required Below Pre-ReDevelopment Load	20%	
	TP Load Reduction Required for Redeveloped Area (lb/yr)	0.46	
	Total Load Reduction Required (lb/yr)	1.15	
Pre-Development Load (TN) (lb/yr)	18.18	Post-Development Load (TN) (lb/yr)	22.65

OFFICE OF THE FIRE MARSHAL
FAIRFAX COUNTY, VIRGINIA
REVIEW ID: 80519

Drainage Area A Land Cover (acres)	A soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.09	0.09	0.25
Impervious Cover (acres)	0.00	0.00	0.00	1.24	1.24	0.95
Total					1.33	

Apply Runoff Reduction Practices to Reduce Treatment Volume & Post-Development Load in Drainage Area A

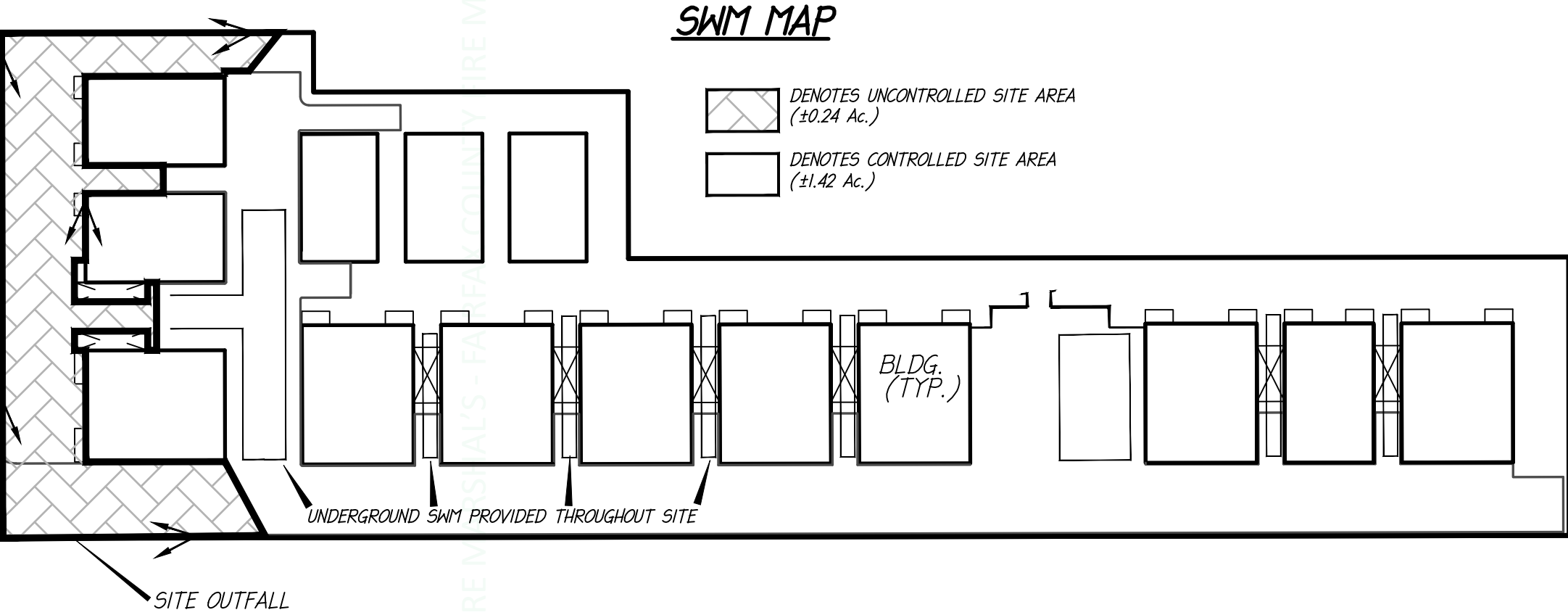
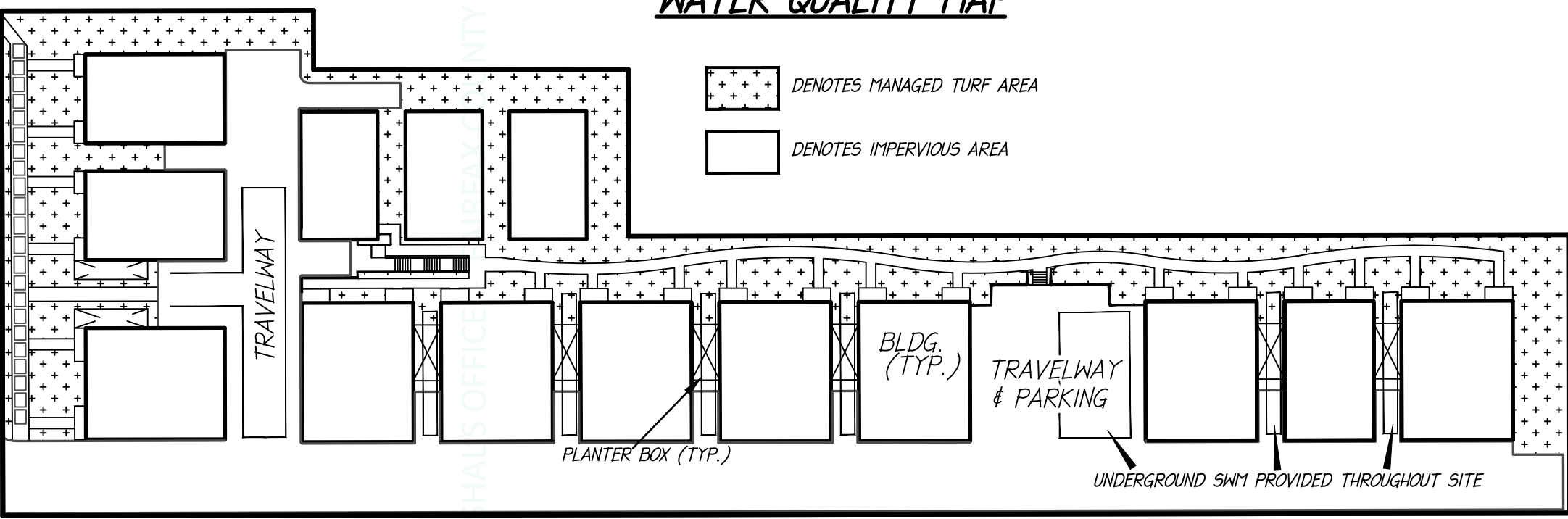
Credit	Unit	Description of Credit	Credit	Credit Area (acres)	Volume from Upstream RR Practices (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practices (lbs)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
2.i. To Stormwater Planter (Urban Bioretention) (Spec #9, Appendix A)	impervious acres disconnected	40% runoff volume reduction for treated area	0.40	0.47	0	648	972	25	0.00	1.02	0.56	0.46	14. Manufactured Device
TOTAL IMPERVIOUS COVER TREATED (ac)						0.47							
TOTAL TURF AREA TREATED (ac)						0.00							
AREA CHECK OK.													
TOTAL PHOSPHOROUS REMOVAL REQUIRED ON SITE (lb/yr)								1.15					
TOTAL RUNOFF REDUCTION IN D.A. A (cf)								648					
SPHORUS REMOVAL FROM RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr)								0.56					

Apply Practices that Remove Pollutants but Do Not Reduce Runoff Volume

Practice	Unit	Description of Credit	Credit	Area (excluding areas treated by upstream practices)	Runoff from Upstream RR Practices (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practices (lbs)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
14. Manufactured BMP													
	impervious acres draining to device	0% runoff volume reduction	0.00	0.77		972.48	0	3628	50	0.46	1.67	1.06	
14. Insert Name of Device	turf acres draining to device	0% runoff volume reduction	0.00	0.09		0.00	0	310	0	0.00	0.05	0.00	
TOTAL IMPERVIOUS COVER TREATED (ac)				1.24									
TOTAL TURF AREA TREATED (ac)				0.09									
AREA CHECK OK.													
PHOSPHORUS REMOVAL BY PRACTICES THAT DO NOT REDUCE RUNOFF VOLUME IN D.A. A									1.06				
TOTAL PHOSPHORUS REMOVAL IN D.A. A (lb/yr)									1.62				

Site Results

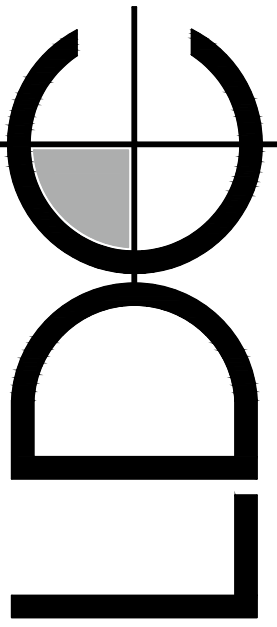
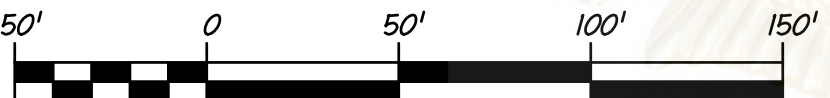
	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
IMPERVIOUS COVER	1.24	0.15	0.00	0.00	0.00	OK.
IMPERVIOUS COVER TREATED	1.24	0.00	0.00	0.00	0.00	OK.
TURF AREA	0.09	0.00	0.00	0.00	0.00	OK.
TURF AREA TREATED	0.09	0.00	0.00	0.00	0.00	OK.
AREA CHECK	OK.	OK.	OK.	OK.	OK.	
Phosphorous						
TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED (LB/YEAR)		1.15				
RUNOFF REDUCTION (cf)		648				
PHOSPHOROUS LOAD REDUCTION ACHIEVED (LB/YR)		1.62				
ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD (TP) (lb/yr)		1.54				
REMAINING PHOSPHOROUS LOAD REDUCTION (LB/YR) NEEDED		CONGRATULATIONS!! YOU EXCEEDED THE TARGET REDUCTION BY 0.5 LB/YEAR!!				



SWM NARRATIVE

WATER QUANTITY AND QUALITY REQUIREMENTS WILL BE SATISFIED ONSITE THROUGH A COMBINATION OF PLANTER BOXES AND UG SWM. THE UG SWM IS AN ASSUMED MANUFACTURED TREATMENT DEVICE WITH A PHOSPHOROUS REMOVAL EFFICIENCY OF 50%. WATER QUALITY COMPLIANCE WAS BASED ON RE-DEVELOPMENT REQUIREMENTS. APPLICANT RESERVES THE RIGHT TO PURCHASE NUTRIENT CREDITS IN THE EVENT CRITERIA CANNOT BE MET ONSITE PURSUANT TO FINAL ENGINEERING AND DESIGN.

CHANNEL AND FLOOD PROTECTION ARE PROVIDED ONSITE AS WELL. FOR WATER QUANTITY PURPOSES, REQUIRED REDUCTIONS WERE BASED ON SITE RUNOFF GENERATED FROM SITE IN ITS CURRENT CONDITION; DEVELOPED WITH 4 BUILDINGS AND OVER 100 PARKING SPACES AND NOT FROM A GOOD, FORESTED CONDITION.



VRM

VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

NO.	DATE	DESCRIPTION	REVIEW BY	APPROVED DATE
1	1/17/2021	TOTAL COMMENTS		
2	1/17/2021	TOTAL COMMENTS		

I HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.



SCALE:
1" = 50'

SHEET 5 OF 7
DATE: DECEMBER, 2021
DRAFT: JCM CHECK: MM
FILE NUMBER: 20268-2-0
TOV # FF-



"A" NORTH ELEVATION @ GARDEN ALLEY

scale 1:150



"C" SOUTH ELEVATION @ GARDEN ALLEY

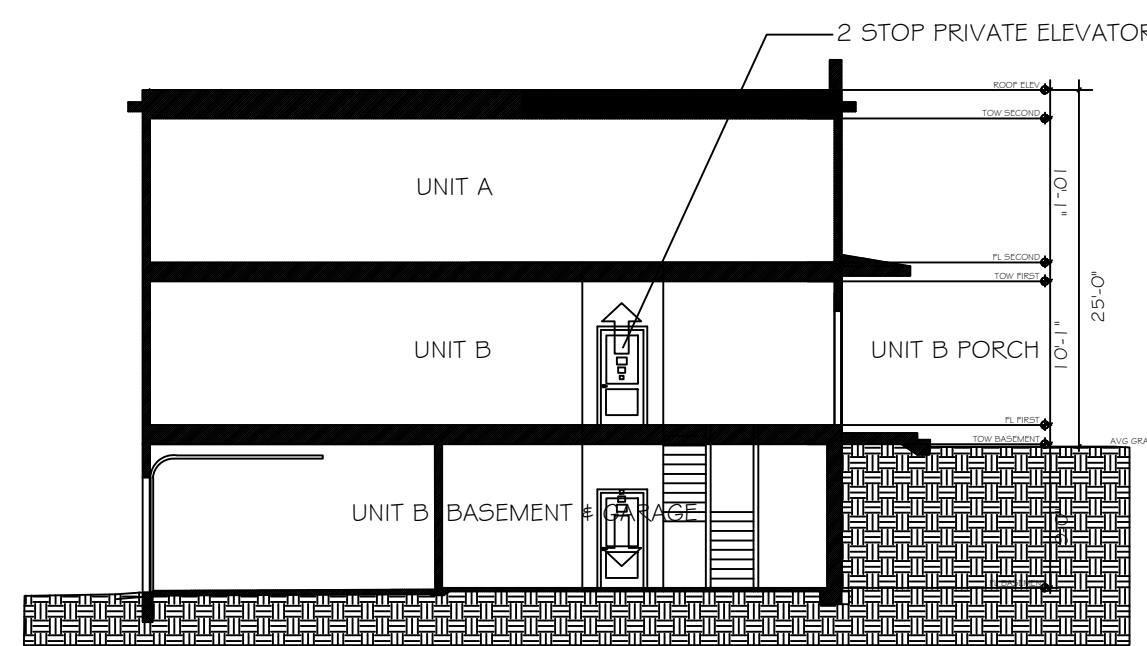
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"D" ELEVATION @ PARK STREET NE

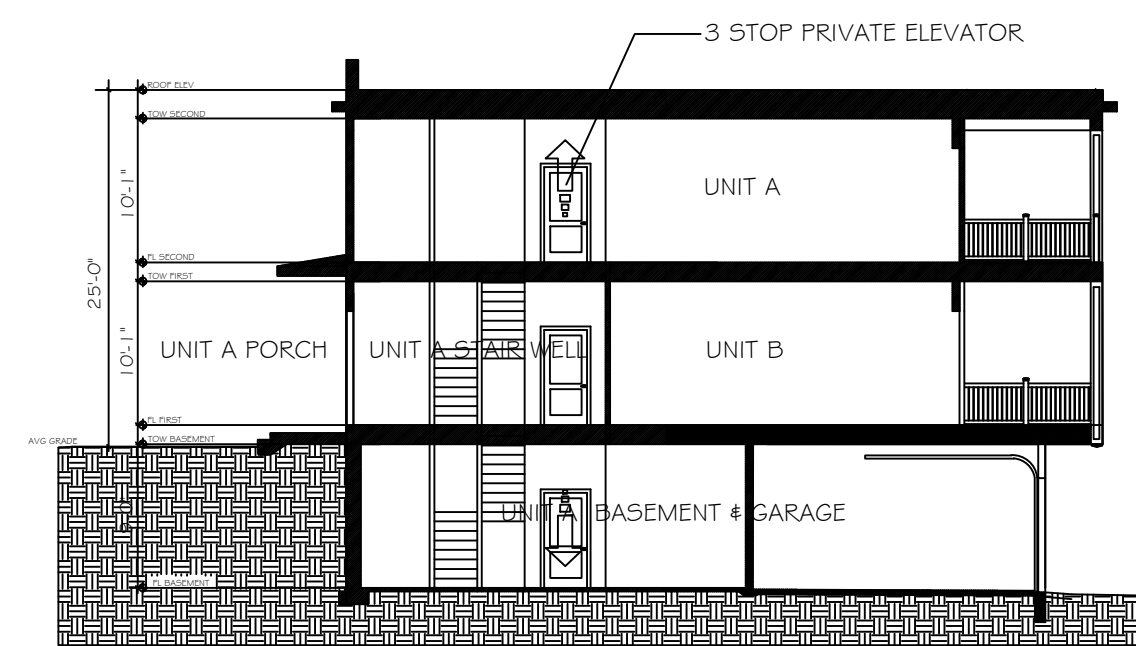
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FRONT ELEVATIONS



"E" TYPICAL BUILDING SECTION

scale 1:150



"F" TYPICAL BUILDING SECTION

scale 1:150



"B" TYPICAL REAR ELEVATION

scale 1:150

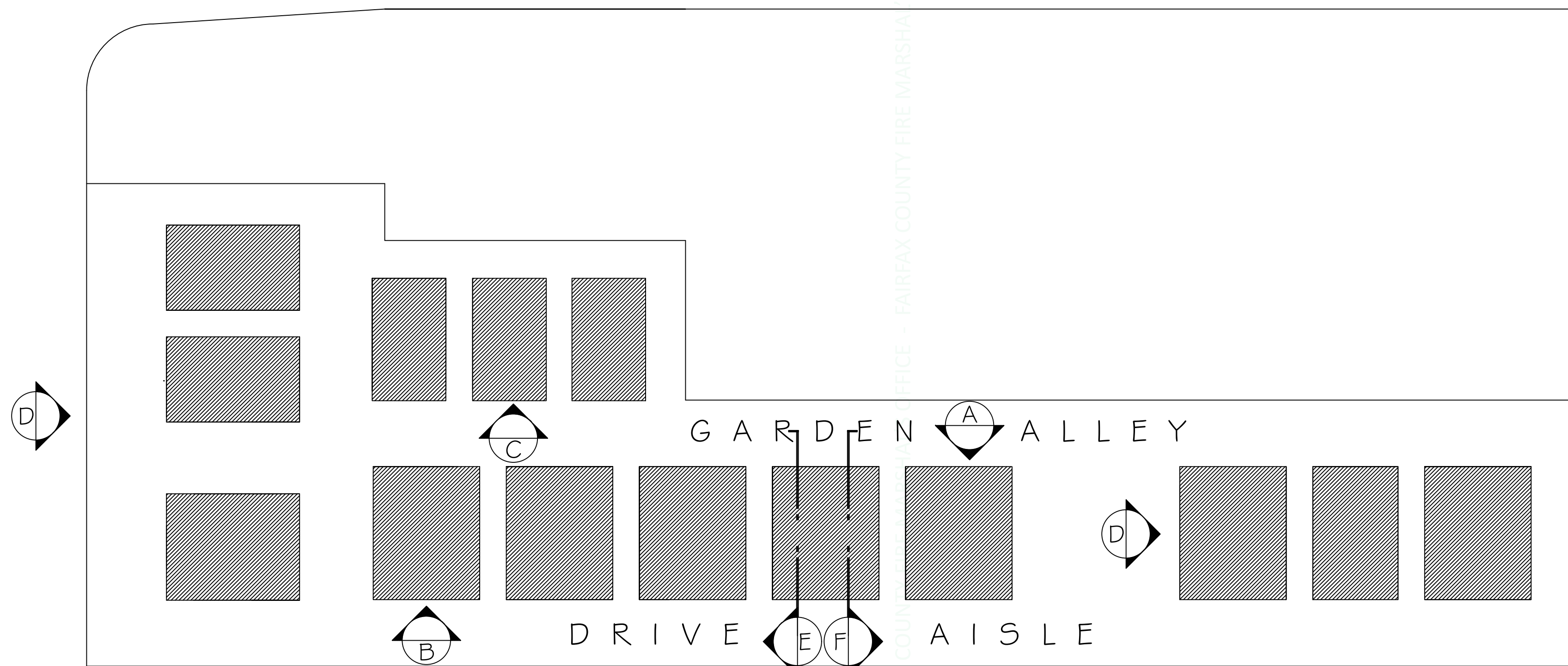


"G" TYPICAL SIDE ELEVATION

scale 1:150

CHURCH ST NE

PARK ST NE



ELEVATION AND SECTION PLAN KEY