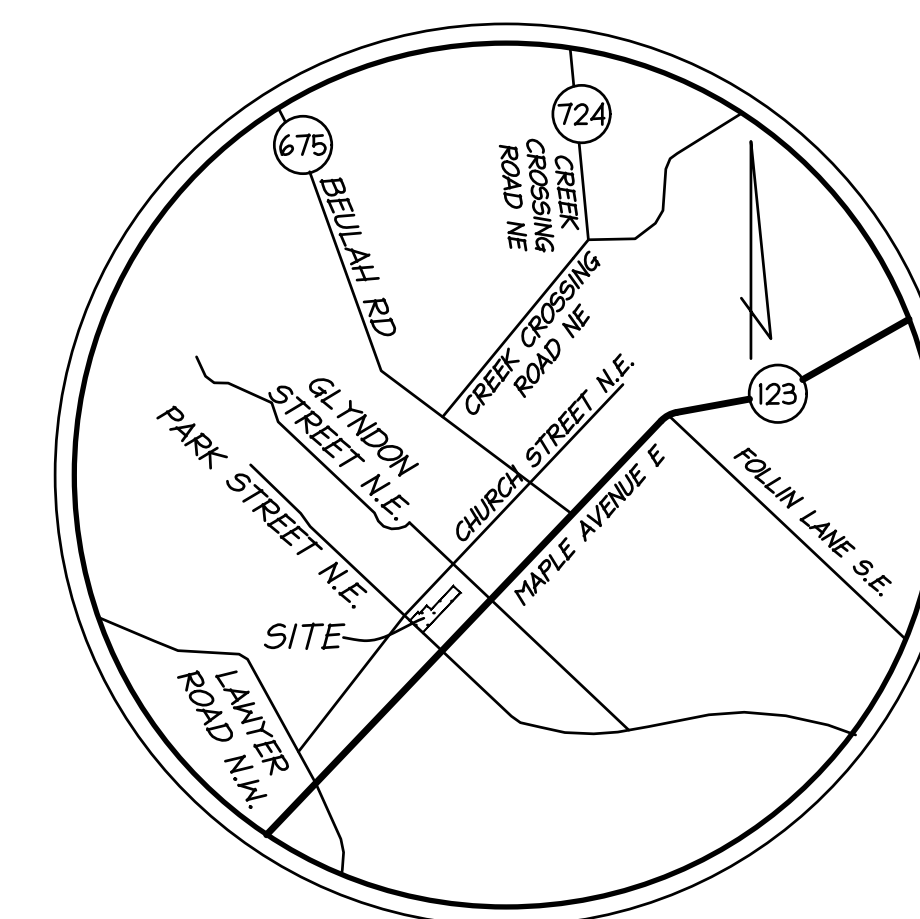
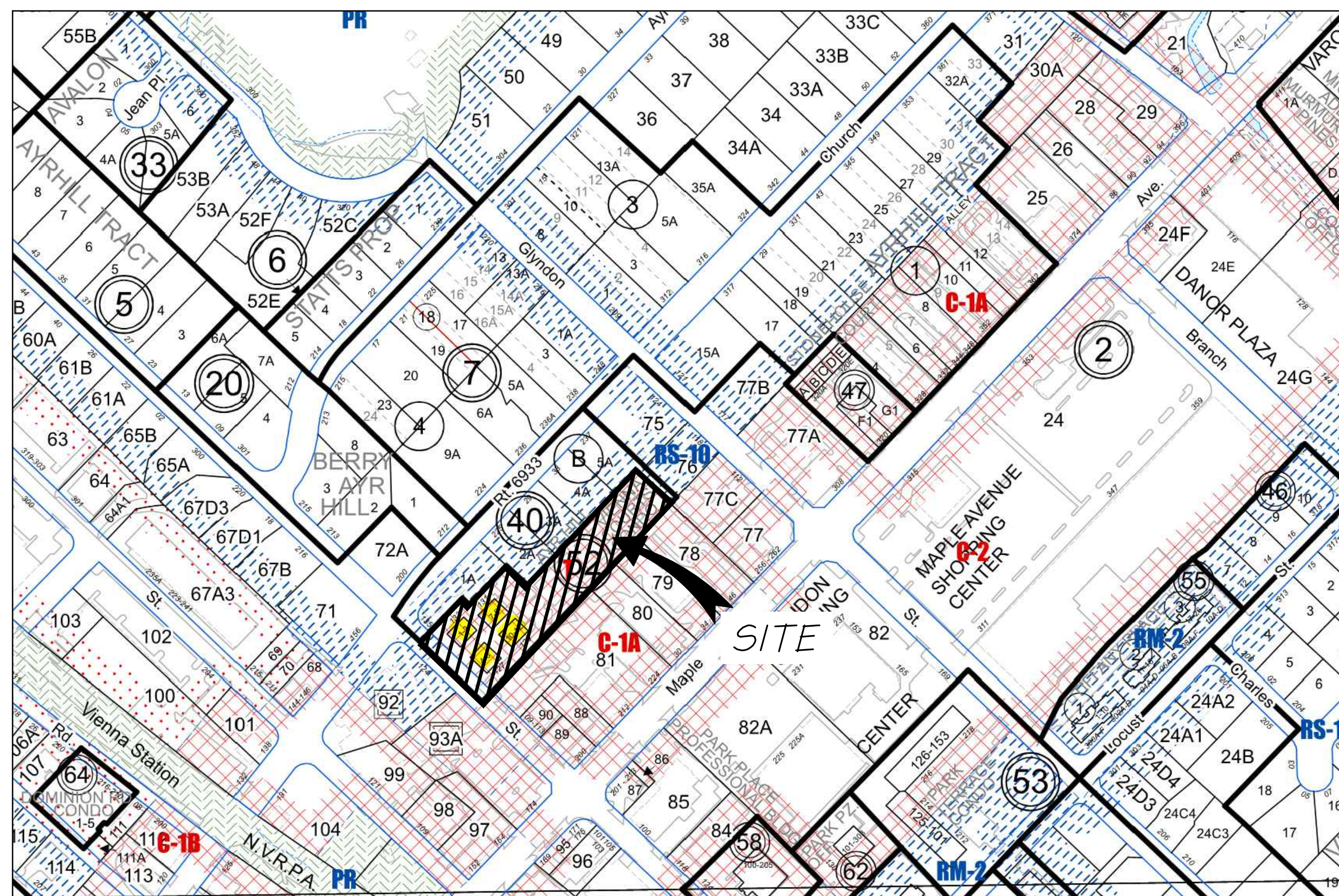


# REZONING OF 127-133 PARK ST, N.E. TOWN OF VIENNA, VIRGINIA



VICINITY MAP  
SCALE : 1" = 2,000'



ZONING MAP  
SCALE : 1" = 200'

SOIL INFORMATION

SOIL #	SOIL NAME	PROBLEM CLASS	FOUNDATION SUPPORT	DRAINAGE	EROSION POTENTIAL
95	URBAN LAND	IVB	N/A	N/A	N/A

SITE OVERVIEW:

SITE AREA: ..... 72,167# OR 1.65673 ACRES  
 EXISTING ZONE: ..... T (TRANSITIONAL)  
 PROPOSED ZONE: ..... RM-2

APPLICANT/CONTRACT OWNER:

BFR CONSTRUCTION COMPANY  
 921 GLYNDON ST., S.E.  
 VIENNA, VA 22180  
 SBUKONT@GMAIL.COM  
 (703)281-1054

PROPERTY OWNER(S):

THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON FAIRFAX COUNTY TAX MAP No. 0382-52-0001, 0002, 0003, 0004, 0005, 0006, 0007, 0008, 0009, 0010, 0011, AND 0012.

THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF TRUSTEES OF VIENNA PRESBYTERIAN CHURCH, BY DEED RECORDED IN DEED BOOK 5922 AT PAGE 1564. JOSEPH T. NOCERINO AND MARY ANN NOCERINO, TRUSTEES, BY DEED RECORDED IN DEED BOOK 23666 AT PAGE 1767 AND DEED BOOK 23666 AT PAGE 1771, EZRA PARTNERSHIP, BY DEED RECORDED IN DEED BOOK 19254 AT PAGE 532, DEED BOOK 5863 AT PAGE 365, DEED BOOK 6117 AT PAGE 1651, DEED BOOK 7699 AT PAGE 1031, AND DEED BOOK 19254 AT PAGE 532; MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVE AND FITTINGS INDUSTRY, INC. BY DEED RECORDED IN DEED BOOK 5921 AT PAGE 1069, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.

REZONING APPLICATION NOTE:

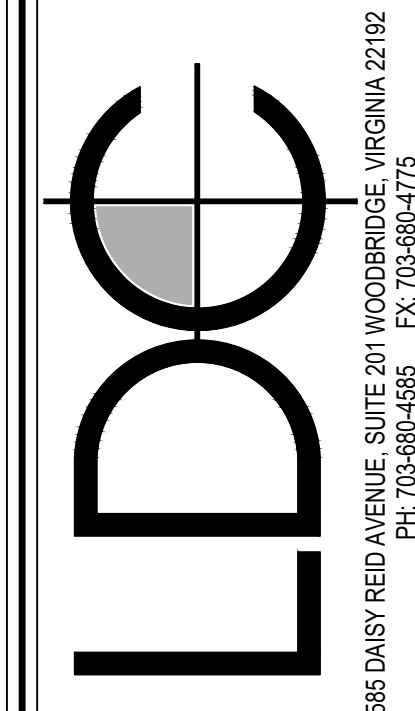
THIS REZONING APPLICATION IS CONCEPTUAL IN FORM AND DOES NOT CONSTITUTE AN ENGINEERING REVIEW. A FULL ENGINEERING REVIEW WILL BE CONDUCTED DURING SITE PLAN SUBMISSION UNDER SEPARATE COVER. APPROVAL OF THE REZONING DOES NOT MEAN THAT THE APPLICANT WILL NOT NEED TO ALTER THE CONCEPTUAL LAYOUT TO MEET CODES, REGULATIONS AND GOOD ENGINEERING PRACTICES. THE APPLICANT RESERVES THE RIGHT TO REQUEST FURTHER MODIFICATIONS OR WAIVERS TO SPECIFIC STANDARDS AS PART OF THE SITE PLAN REVIEW AND APPROVAL.

ZONING REQUEST:

THIS REZONING APPLICATION IS TO REZONE THE SUBJECT PROPERTY FROM T (TRANSITIONAL) TO RM-2 (LOW DENSITY, MULTI-FAMILY). THE PROPOSAL WILL DISSOLVE THE EXISTING CONDOMINIUM AND CONSOLIDATE THE LOT.

SHEET INDEX

- 1) ..... COVER SHEET
- 2) ..... BOUNDARY
- 3) ..... EXISTING CONDITIONS PLAN
- 4) ..... CONCEPT PLAN
- 4A) ..... CONCEPT LANDSCAPE PLAN
- 4B) ..... FIRE MARSHAL PLAN
- 5) ..... VRRM
- 6) ..... ARCHITECTURAL FRONT ELEVATIONS
- 7) ..... ARCHITECTURAL REAR ELEVATION AND BUILDING SECTION



COVER SHEET

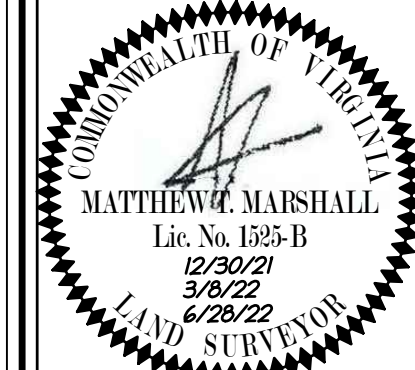
VIENNA COURTS

4555 DASH FRED AVENUE SUITE 201 WOODBRIDGE, VIRGINIA 22192  
 PH: 703-686-4555 FAX: 703-686-4713

TOWN OF VIENNA, VIRGINIA

NO.	DATE	DESCRIPTION	REVISION APPROVED BY:	APPROVED DATE
1				
2				

I HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.



SCALE:  
AS SHOWN

SHEET 1 OF 7

DATE: DECEMBER, 2021  
 DRAFT: JCM CHECK: MM  
 FILE NUMBER: 20268-2-0  
 TOV # \_\_\_\_\_ PF-

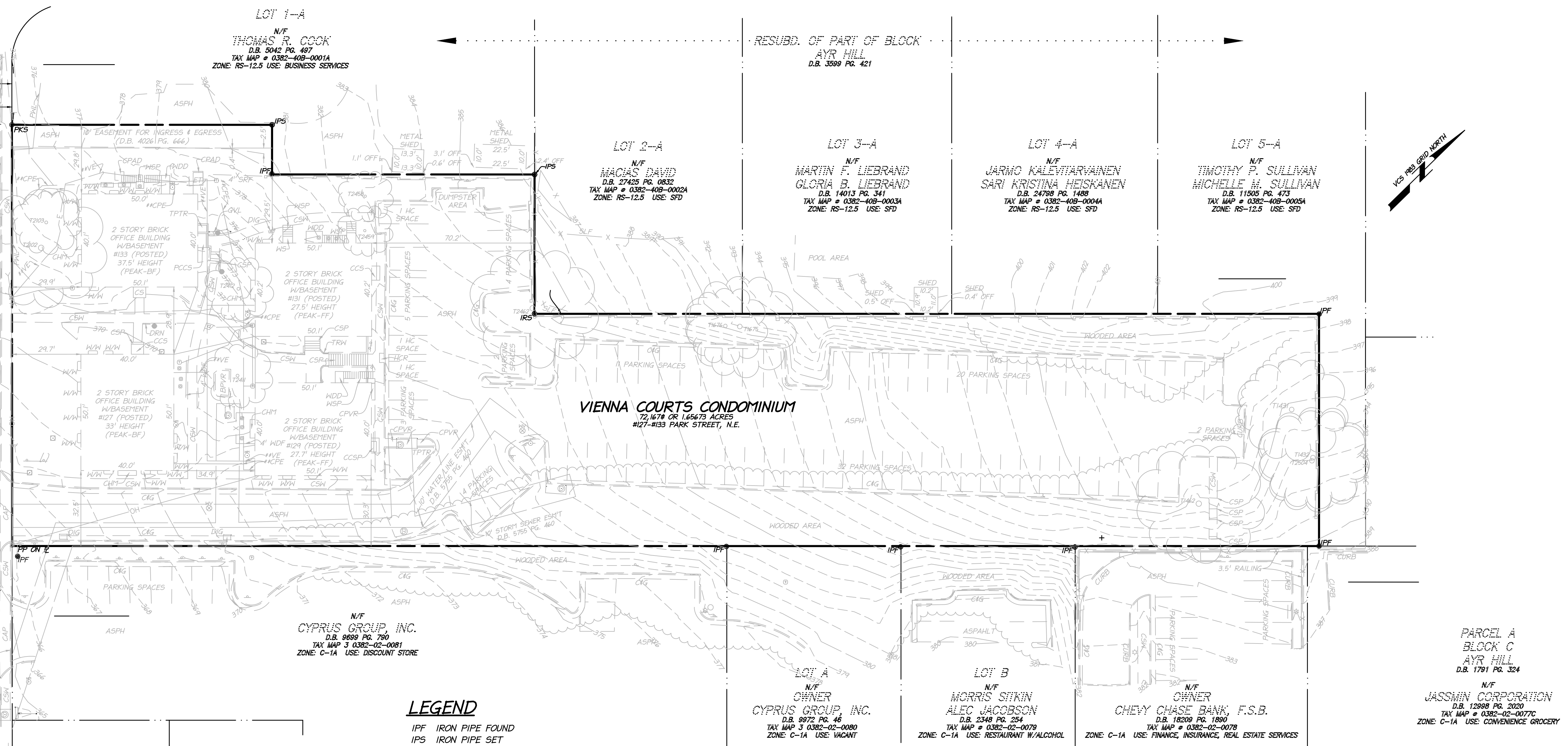






CHURCH STREET N.E.  
(60' R/W)  
ROUTE # 6933

PARK STREET, N.E.  
(60' R/W)  
ROUTE #6274



**AS-BUILT INFORMATION**

**SANITARY SEWER**

- 1. EX. SANITARY MANHOLE TOP=365.12'  
EX. INV. IN=357.92' (8" SAN. SEWER PIPE FROM NORTHEAST)  
EX. INV. OUT=356.77' (8" SAN. SEWER PIPE TO SOUTHEAST)
- 2. 237.12' - 8" SAN. SEWER PIPE - @ 0.48%
- 3. EX. SANITARY MANHOLE TOP=365.83'  
EX. INV. IN=355.68' (8" SAN. SEWER PIPE FROM SOUTHWEST)  
EX. INV. IN=355.63' (8" SAN. SEWER PIPE FROM A)  
EX. INV. IN=355.63' (8" SAN. SEWER PIPE FROM NORTHEAST)  
EX. INV. OUT=355.58' (8" SAN. SEWER PIPE TO SOUTHEAST)

**STORM SEWER**

- 4. EX. CONCRETE HEADWALL  
EX. INV. OUT=362.62' (15" RCP TO 2)
- 5. 3.38' - 15" RCP - @ 0.30%
- 6. EX. STORM CURB INLET TOP=364.42'  
EX. INV. IN=362.61' (15" RCP FROM 2)  
EX. INV. IN=363.01' (15" RCP FROM 3)  
EX. INV. OUT=361.07' (15" RCP TO SOUTHEAST)
- 7. 78.21' - 15" RCP - @ 0.96%
- 8. EX. DROP INLET GRATE TOP=366.66'  
EX. INV. IN=363.86' (15" RCP FROM 4)  
EX. INV. OUT=363.76' (15" RCP TO 1)
- 9. 70.53' - 15" RCP - @ 1.52%

- 10. EX. DROP INLET GRATE TOP=371.08'  
EX. INV. IN=365.03' (15" RCP FROM 5)  
EX. INV. IN=364.98' (15" RCP FROM 7)  
EX. INV. OUT=364.93' (15" RCP TO 3)
- 11. 76.17' - 15" RCP - @ 3.78%
- 12. EX. STORM MANHOLE TOP=376.31'  
EX. INV. IN=372.25' (15" RCP FROM 8)  
EX. INV. IN=372.25' (15" RCP FROM 6)  
EX. INV. OUT=367.91' (15" RCP TO 4)
- 13. 63.85' - 15" RCP - @ 2.47%
- 14. EX. STORM CURB INLET TOP=381.83'  
EX. INV. OUT=373.83' (15" RCP TO 5)
- 15. EX. STORM CURB INLET TOP=378.68'  
EX. INV. OUT=372.94' (15" RCP TO 6)
- 16. 37.29' - 15" RCP - @ 1.85%
- 17. EX. STORM INLET TOP=368.68'  
EX. INV. OUT=365.93' (15" RCP TO 5)
- 18. 52.30' - 15" RCP - @ 1.82%

**LEGEND**

- IPF IRON PIPE FOUND
- IPS IRON PIPE SET
- IRS IRON ROD SET
- PKS PK NAIL SET
- ASPH ASPHALT
- BRW BRICK RETAINING WALL
- BWL BRICK WALL
- CGG CURB & GUTTER
- CL CENTERLINE
- CAP CONCRETE APRON
- CCS COVERED CONCRETE STOOP
- CCSP COVERED CONCRETE STEPS
- CHM CHIMNEY
- CPAD CONCRETE PAD
- CRW CONCRETE RETAINING WALL
- CS CONCRETE STOOP
- CSP CONCRETE STEPS
- CSH CONCRETE SIDEWALK
- CURB HEADER CURB
- CPVR CONCRETE PAVEMENT
- DIG DROP INLET GRATE
- DRN STORM DRAIN
- PCCP PARTIALLY COVERED CONCRETE PORCH
- PL PROPERTY LINE
- PP POWER POLE
- PWL PAINTED WHITE LINE
- RCP REINFORCED CONCRETE PIPE
- TRW TIMBER RETAINING WALL
- TPTR TIMBER PLANTER
- W/W WINDOW WELL
- WDD WOOD DECK
- WSP WOOD STEPS
- AC AIR CONDITIONING UNIT
- CO CLEAN OUT
- ET ELECTRIC TRANSFORMER
- FH FIRE HYDRANT
- GV GAS VALVE
- GW GUY WIRE
- PWL POWER POLE WITHOUT LIGHT
- PWL POWER POLE WITH LIGHT
- SM SANITARY MANHOLE
- SG SIGN
- DM STORM MANHOLE

- DI STORM CURB INLET
- TE TELEPHONE PEDESTAL
- WM WATER METER
- WV WATER VALVE
- TREE
- OH OVERHEAD UTILITY
- S SANITARY LINE
- E UNDERGROUND ELECTRIC LINE (PAINTED RED LINE)
- T UNDERGROUND TELEPHONE LINE (PAINTED ORANGE LINE)
- SRE SPLIT RAIL FENCE
- WDF WOOD FENCE
- TL TREE LINE
- ACPE APPROXIMATE LOCATION & CAP TEL. CO. R/W D.B. 3888 PG. 698
- AV APPROXIMATE LOCATION & VEPCO R/W D.B. 3979 PG. 573

**TREE TABLE**

T1431	24" TREE
T1432	24" TREE
T1462	28" TREE
T1675	24" TREE
T1676	18" TREE
T2102	28" TREE
T2103	15" TREE
T2411	15" MAGNOLIA
T2412	15" MAGNOLIA
T2458	12" TREE
T2459	12" TREE
T2462	28" TREE
T2504	24" OAK

**NOTES**

- THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON FAIRFAX COUNTY TAX MAP NO. 0382-52-0001, 0002, 0003, 0004, 0005, 0006, 0007, 0008, 0009, 0010, 0011, AND 0012, AND IS CURRENTLY ZONED T.
- THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF TRUSTEES OF VIENNA PRESBYTERIAN CHURCH, BY DEED RECORDED IN DEED BOOK 5922 AT PAGE 1569, JOSEPH T. NOCERINO AND MARY ANN NOCERINO, TRUSTEES, BY DEED RECORDED IN DEED BOOK 23666 AT PAGE 1767 AND DEED BOOK 23666 AT PAGE 1771, EZRA PARTNERSHIP, BY DEED RECORDED IN DEED BOOK 19254 AT PAGE 532, DEED BOOK 5863 AT PAGE 365, DEED BOOK 6117 AT PAGE 1651, DEED BOOK 7699 AT PAGE 1031, AND DEED BOOK 19284 AT PAGE 532, MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVE AND FITTINGS INDUSTRY, INC. BY DEED RECORDED IN DEED BOOK 5921 AT PAGE 1069, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.
- TITLE REPORT FURNISHED BY ROUND TABLE TITLE, INC., FILE NO. RTT2020-17099A,B,C AND D, DATED OCTOBER 1, 2020.
- THE PROPERTY SHOWN HEREON LIES WITHIN A ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DELINEATED ON FLOOD INSURANCE RATE MAP NO. 5109C0145E, PANEL 145 OF 450, WITH AN EFFECTIVE DATE OF SEPTEMBER 17, 2010.
- THE PLAT OF THE PROPERTY SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS CONTROLLED FROM A FIELD SURVEY WHICH TIES THIS BOUNDARY TO NATIONAL GEODETIC SURVEY PID 148750. THE COMBINED GRID AND ELEVATION FACTOR IS 0.99994768.
- THERE ARE NO KNOWN GRAVES OR BURIAL SITES ON THE PROPERTY.
- EXCEPT AS SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS OBSERVED ON THE SURVEYED PROPERTY.

DATE	DESCRIPTION	REVISION	APPROVED BY:
1/27/22	TAX COMMENTS		
1/27/22	TAX COMMENTS		

HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.

MATTHEW MARSHALL  
Lic. No. 155-B  
2/2022  
3/8/22  
6/28/22  
LAND SURVEYOR

SCALE:  
1" = 25'

SHEET 3 OF 7

DATE: DECEMBER, 2021  
DRAFT: JCM CHECK: MM  
FILE NUMBER: 20268-2-0  
TOV # \_\_\_\_\_



**CHURCH STREET N.E.**  
(60' R/W)  
ROUTE # 6933

**STATEMENT OF IMPROVEMENTS**

**STORM SEWER**

CLOSED CONDUIT STORM SEWER WILL BE CONSTRUCTED THROUGHOUT THE SITE AS GENERALLY DEPICTED HEREIN. SAID SYSTEM WILL CONVEY OFFSITE DRAINAGE THROUGH THE SITE AND COLLECT ONSITE RUNOFF AND ROUTE IT THROUGH AN UNDERGROUND (UG) STORMWATER (SWM) SYSTEM (CHAMBER OR VAULT SYSTEM). ALL ONSITE STORM SEWER SHALL BE PRIVATELY OWNED AND MAINTAINED.

THE UG SWM, IN COMBINATION WITH PLANTERS BOXES, SHALL BE IMPLEMENTED TO PROVIDED WATER QUALITY AND QUANTITY CONTROL. POST DEVELOPMENT RUNOFF SHALL BE DISCHARGED INTO THE EXISTING ONSITE STORM SEWER SYSTEM AND DRAIN TO THE SOUTH TOWARD MAPLE AVE. APPLICANT TO PROVIDE CCTV INSPECTION OF RECEIVING PIPE TO DEMONSTRATE THAT IT IS IN GOOD CONDITION SO THAT IT MAY BE RE-USED. OFF-SITE EASEMENT REQUIRED TO FACILITATE STORM SEWER CONNECTION. ALTERNATE STORM LAYOUT PROVIDED IN EVENT EASEMENT CANNOT BE SECURED.

**SANITARY SEWER**

PRIVATE SANITARY SEWER IS PROPOSED TO PROVIDE SERVICE TO THE SITE. PROPOSED SEWER SHALL CONNECT TO EXISTING SANITARY SEWER IN PARK ST. APPLICANT TO PROVIDE CCTV INSPECTION OF RECEIVING PIPE TO DEMONSTRATE THAT IT IS IN GOOD CONDITION SO THAT IT MAY BE RE-USED.

**WATERLINE**

A COMBINATION OF PUBLIC AND PRIVATE WATERLINE IS PROPOSED TO PROVIDE WATER SERVICE AND FIRE COVERAGE TO THE SITE.

**TRANSPORTATION**

FRONTAGE IMPROVEMENTS (SIDEWALK, ENTRANCE, REPLACEMENT C&G) TO BE PROVIDED AS GENERALLY DEPICTED. A NEW SITE ENTRANCE (CG-13) WILL BE CONSTRUCTED AND TRAVELWAYS/PARKING AREAS PROVIDED THROUGHOUT THE SITE AS SHOWN.

**FIRE**

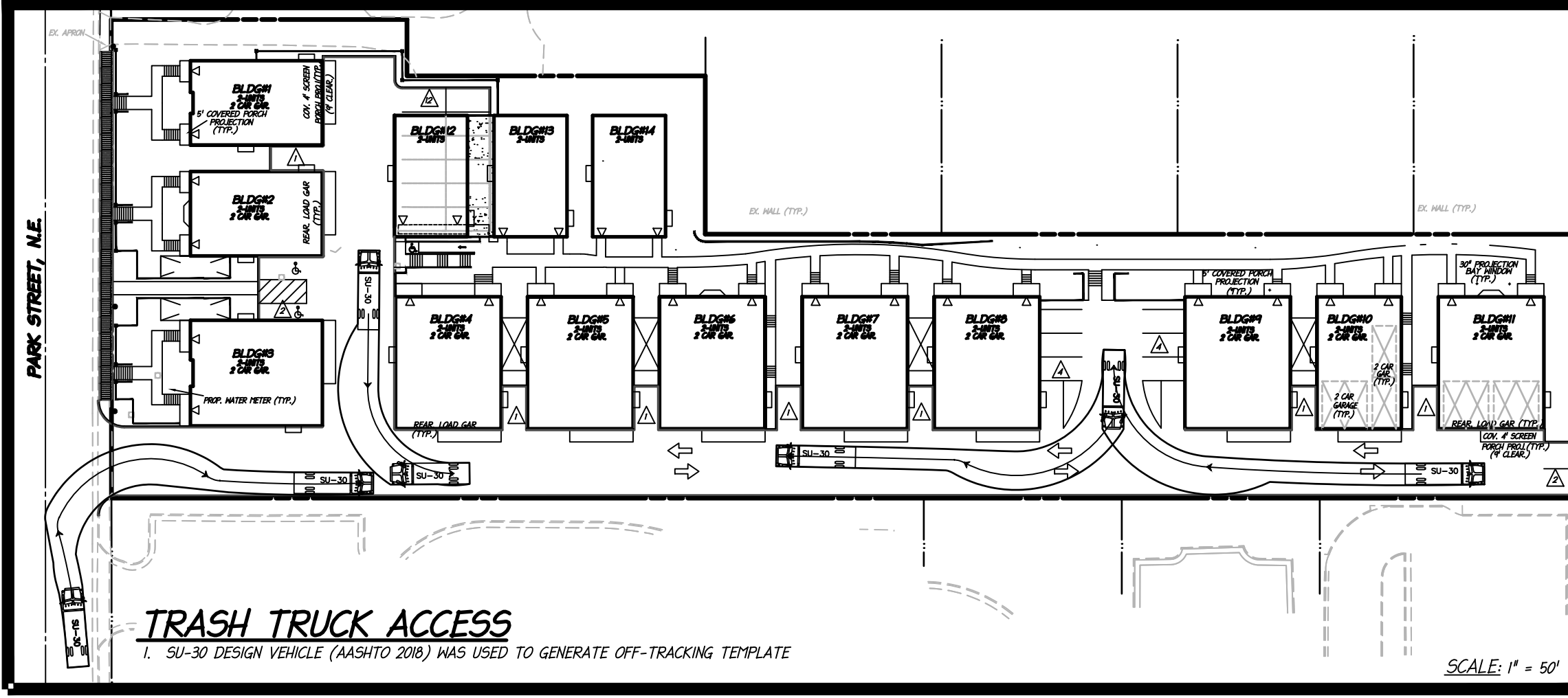
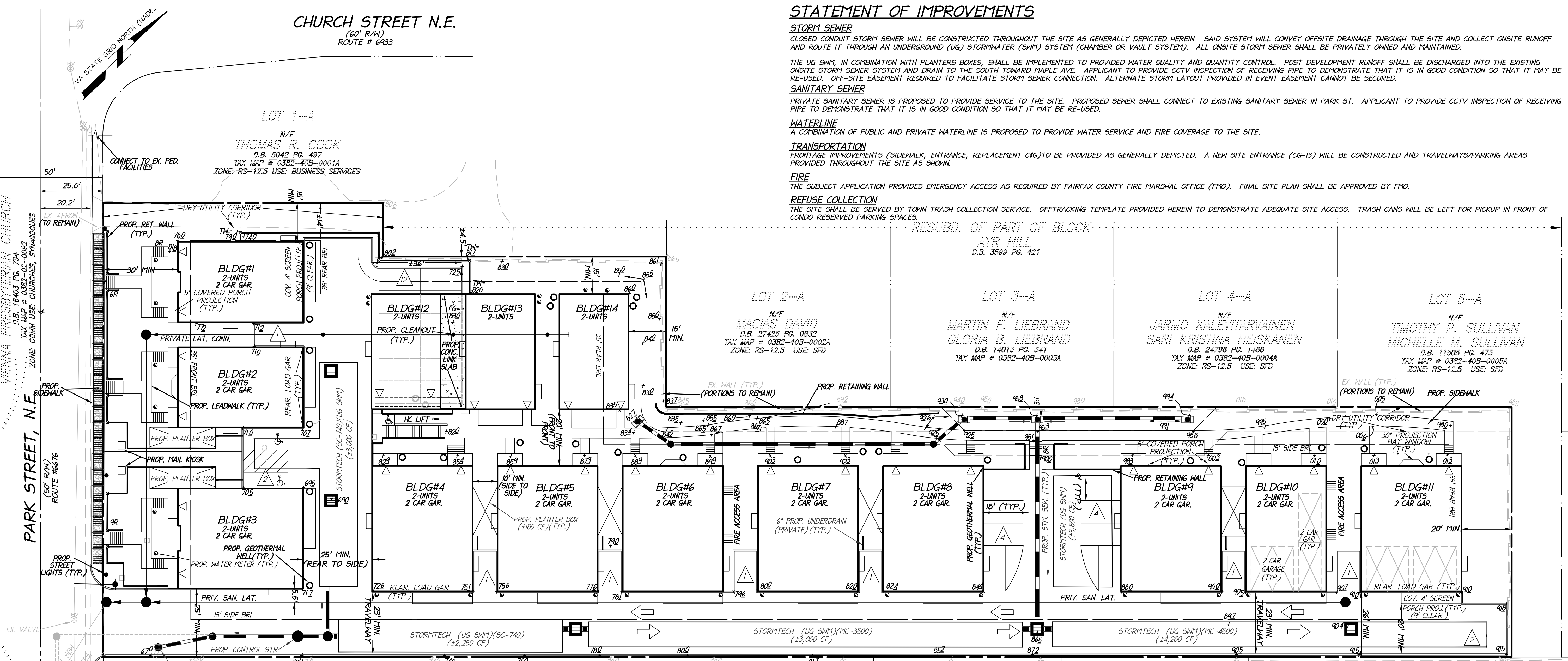
THE SUBJECT APPLICATION PROVIDES EMERGENCY ACCESS AS REQUIRED BY FAIRFAX COUNTY FIRE MARSHAL OFFICE (FMO). FINAL SITE PLAN SHALL BE APPROVED BY FMO.

**REFUSE COLLECTION**

THE SITE SHALL BE SERVED BY TOWN TRASH COLLECTION SERVICE. OFFTRACKING TEMPLATE PROVIDED HEREIN TO DEMONSTRATE ADEQUATE SITE ACCESS. TRASH CANS WILL BE LEFT FOR PICKUP IN FRONT OF CONDO RESERVED PARKING SPACES.

**RESUBD. OF PART OF BLOCK**

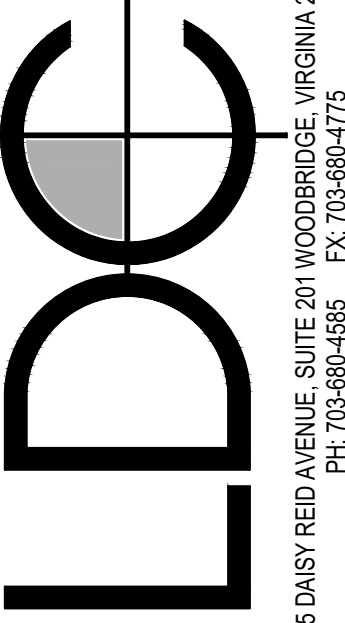
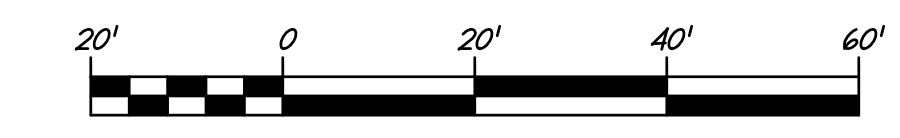
AYR HILL  
D.B. 3589 PG. 421



**SITE ANALYSIS**

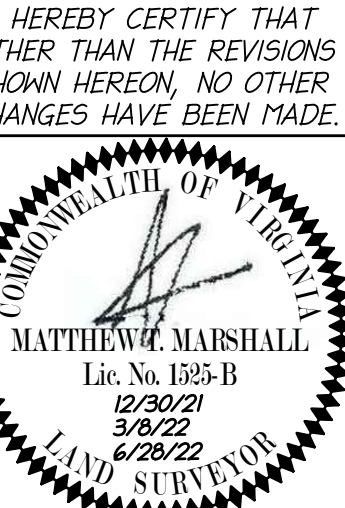
**PROPOSED ZONING**  
SEC 18-58 - AREA REQUIREMENTS  
A GENERAL REQUIREMENTS:  
1. ALL SINGLE-FAMILY DETACHED DWELLINGS SHALL ADHERE TO THE AREA REQUIREMENTS AS SPECIFIED FOR THE RS-10 ZONE (SEE SECTION 18-33).  
2. ALL TWO-FAMILY DWELLINGS FOR PURPOSES OF COMPUTING AREA REQUIREMENTS SHALL BE CONSIDERED AS OCCUPYING ONE LOT AND EACH SUCH LOT SHALL ADHERE TO THE AREA REQUIREMENTS AS SPECIFIED FOR THE RS-10 ZONE EXCEPT THE AREA NEED NOT EXCEED 8,000 SQUARE FEET.  
B. LOT AREA - EVERY LOT SHALL HAVE A MINIMUM AREA OF 8,000 SQUARE FEET. THE MINIMUM LOT AREA PER DWELLING UNIT FOR MULTIFAMILY DWELLINGS, INCLUDING RESIDENT EMPLOYEES' DWELLING UNITS, SHALL BE 2,000 SQUARE FEET.  
C. LOT WIDTH - LOT WIDTHS SHALL BE A MINIMUM OF 70 FEET. THE MINIMUM WIDTH AT THE STREET LINE SHALL BE 40 FEET.  
D. FRONT YARD - FRONT YARDS SHALL BE THE SAME AS THOSE SPECIFIED FOR THE RS-16 ZONE.  
E. SIDE YARD - SIDE YARDS SHALL BE A MINIMUM OF 15 FEET EACH IN WIDTH. BUILDINGS OTHER THAN DWELLINGS AND THEIR ACCESSORY BUILDINGS SHALL HAVE A SIDE YARD ON EACH SIDE OF THE BUILDING OF NOT LESS THAN 25 FEET IN WIDTH. CORNER LOTS SHALL HAVE A SIDE YARD ALONG THE STREET SIDE OF AT LEAST 25 FEET IN WIDTH.  
F. REAR YARD - REAR YARDS SHALL BE A MINIMUM OF 35 FEET IN DEPTH.  
G. COURT REQUIREMENTS - NO COURT SHALL BE ENCLOSED BY WALLS ON ALL FOUR SIDES. A COURT SHALL HAVE A WIDTH EQUAL TO OR GREATER THAN THE HEIGHT OF THE ADJOINING BUILDING BUT IN NO CASE SHALL SAID WIDTH BE LESS THAN 20 FEET. THE DEPTH OF THE COURT SHALL NOT BE MORE THAN 1.5 TIMES ITS WIDTH.  
H. MULTIPLE-FAMILY DWELLINGS - FOR THOSE PROJECTS OF MORE THAN ONE BUILDING, THE FRONT, SIDE, AND REAR YARD REQUIREMENTS FOR THIS SECTION SHALL APPLY ALONG THE BOUNDARY LINES OF THE PROJECT. THE MINIMUM DISTANCES BETWEEN THE PRINCIPAL BUILDINGS WITHIN THE PROJECT AREA SHALL BE AS FOLLOWS:  
1. WHERE BUILDINGS ARE FRONT TO FRONT, OR FRONT TO REAR, TWO TIMES THE HEIGHT OF THE TALLER BUILDING, BUT NOT LESS THAN 20 FEET;  
2. WHERE BUILDINGS ARE SIDE TO SIDE, ONE TIMES THE HEIGHT OF THE TALLER BUILDING, BUT NOT LESS THAN 20 FEET; AND  
3. WHERE BUILDINGS ARE FRONT TO SIDE, REAR TO REAR, 1.5 TIMES THE HEIGHT OF THE TALLER BUILDING BUT NOT LESS THAN 55 FEET, PROVIDED THAT WHERE ROADWAYS ARE LOCATED BETWEEN SAID BUILDINGS, THE WIDTH OF SUCH ROADWAY SHALL BE IN ADDITION TO THE ABOVE MINIMUM DISTANCES BETWEEN BUILDINGS.

PROPOSED DENSITY	1 UNIT PER 12,575 <sup>±</sup> (28 UNITS)
EXISTING USE	LIGHT OFFICE
PROPOSED USE	MULTI-FAMILY
ALLOWED BUILDING HEIGHT	35 FEET
PROPOSED MAXIMUM BUILDING HEIGHT	28 FEET
PROPOSED LOT COVERAGE	70% (MAXIMUM)
REQUIRED PARKING SPACES	62 SPACES (2 HANDICAP SPACES) (2 SPACES PER DWELLING (PLUS 1 SPACE PER 5 DWELLINGS FOR VISITOR PARKING))
PROPOSED PARKING SPACES	75 SPACES (2 HANDICAP SPACES) 44 GARAGE SPACES (6 TANDEM) 12 SPACES @ BLDG#2 (ALL TANDEM) 19 VISITOR SPACES
TOTAL	75 SPACES (2 HANDICAP SPACES)



**CONCEPT PLAN**  
**VIENNA COURTS**

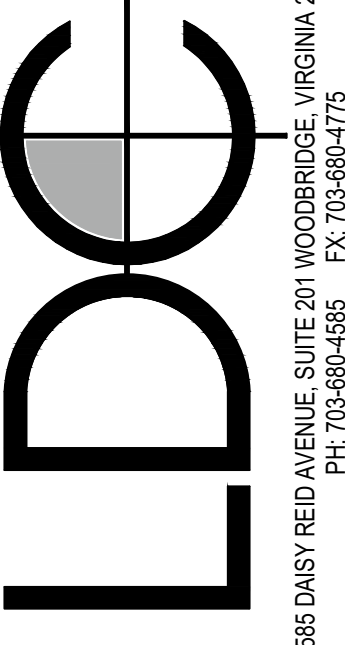
NO.	DATE	DESIGNER	REVISION	APPROVED BY
1	12/22/22	JCM		
2	12/22/22	JCM		



SCALE:  
1" = 20'  
SHEET 4 OF 7  
DATE: DECEMBER, 2021  
DRAFT: JCM CHECK: MM  
FILE NUMBER: 20268-2-0  
TOV # \_\_\_\_\_



CHURCH STREET N.E.  
(60' R/W)  
ROUTE # 6493



CONCEPT  
LANDSCAPE PLAN

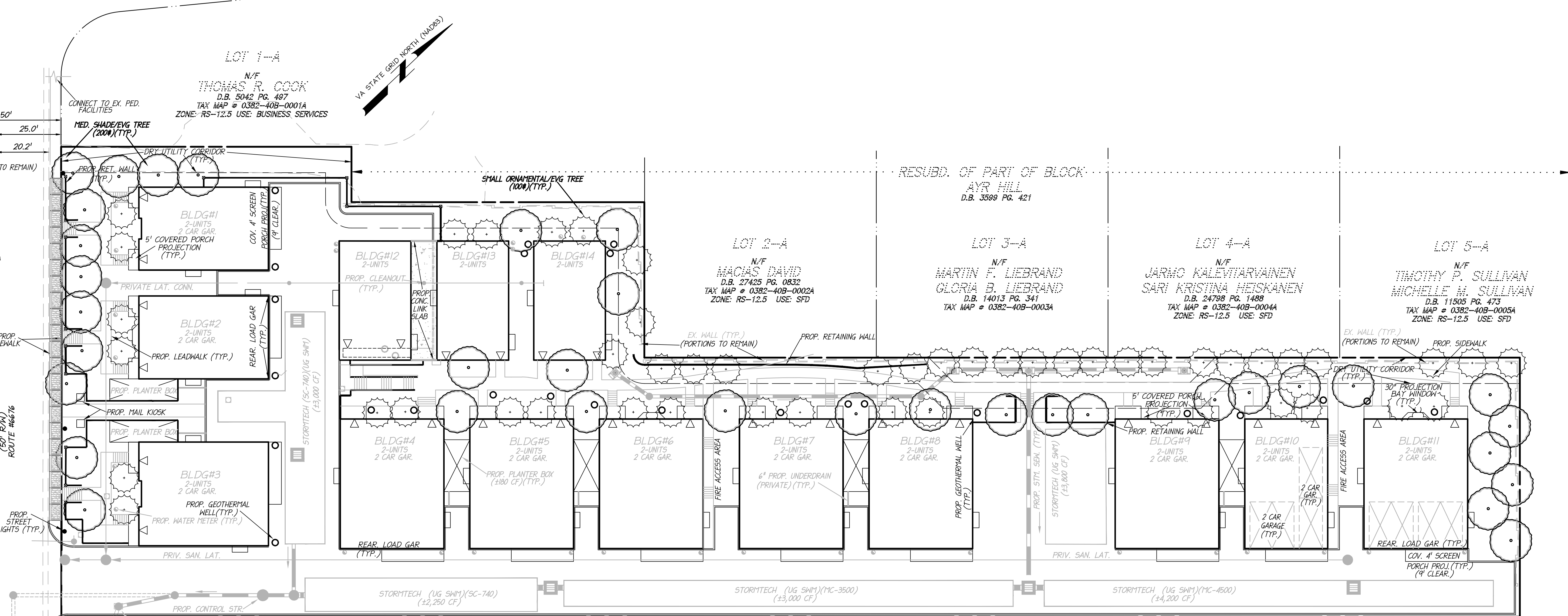
VIENNA COURTS

4555 DASH REID AVENUE SUITE 201 WOODBRIDGE, VIRGINIA 22192  
PH: 703-885-4555 FAX: 703-885-4775

TOWN OF VIENNA, VIRGINIA

N/F  
TRUSTEES OF THE  
VIENNA PRESBYTERIAN CHURCH  
D.B. 16403 PG. 794  
TAX MAP # 0382-02-0002  
ZONE: COMM USE: CHURCHES, SYNAGOGUES

N/F  
TRUSTEES OF THE  
VIENNA PRESBYTERIAN CHURCH  
D.B. 12743 PG. 1804  
TAX MAP # 0382-02-0003  
ZONE: C-1A USE: OTHER EDUCATIONAL SERVICES, NEC



N/F  
CYPRUS GROUP, INC.  
D.B. 9699 PG. 790  
TAX MAP 3 0382-02-0081  
ZONE: C-1A USE: DISCOUNT STORE

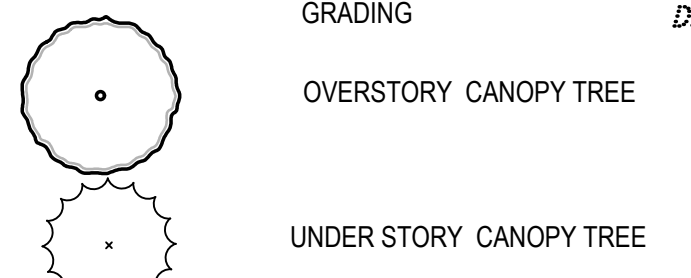
LOT A  
N/F  
OWNER  
CYPRUS GROUP, INC.  
D.B. 9972 PG. 46  
TAX MAP 3 0382-02-0080  
ZONE: C-1A USE: VACANT

LOT B  
N/F  
MORRIS SUKIN  
ALEX JACOBSON  
D.B. 2348 PG. 254  
TAX MAP # 0382-02-0079  
ZONE: C-1A USE: RESTAURANT W/ALCOHOL

N/F  
OWNER  
CHEVY CHASE BANK, F.S.B.  
D.B. 18209 PG. 1890  
TAX MAP # 0382-02-0078  
ZONE: C-1A USE: FINANCE, INSURANCE, REAL ESTATE SERVICES

PARCEL A  
BLOCK C  
AYR HILL  
D.B. 1791 PG. 324  
N/F  
JASMINE CORPORATION  
D.B. 12998 PG. 2020  
TAX MAP # 0382-02-0077C  
ZONE: C-1A USE: CONVENIENCE GROCERY

LEGEND: PART OF BLOCK C  
AYR HILL TRACT  
D.B. 1863 PG. 411

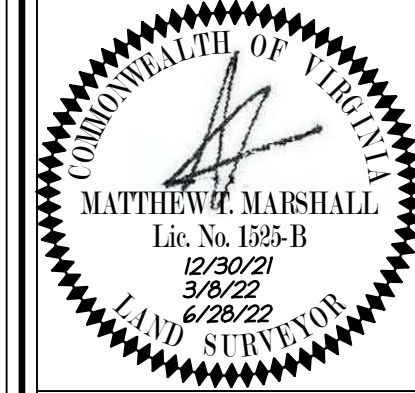


PRELIM. CANOPY COVER - VIENNA COURTS								
Symbol	Species (Common name)	Quantity	Planting Size	Type	Spacing	20 Year Canopy Coverage (sq. ft.)	20 Year Credit total	Comments
<b>Overstory Trees</b>								
	Overstory Canopy Tree	30	2-2.5" Cal.	B&B	As Shown	200	6000	Full, single stem
<b>Total</b>		<b>30</b>						
<b>Understory Trees</b>								
	Understory Canopy Tree	50		B&B	As Shown	100	5000	
<b>Total</b>		<b>50</b>						
<b>Plants</b>								
							<b>11000</b>	
<b>Site Area</b>		1.66	<b>% Cover</b>		15%			

NOTE: PLANT SELECTION WILL BE DETAILED DURING THE SITE PLAN AND BAR APPROVAL PROCESS. THE APPLICANT WILL SELECT PLANTS AS APPROPRIATE AND IN CONSULTATION WITH THE TOWN ARBORIST. THE APPLICANT INTENDS TO USE A VARIETY OF TREES (OVER STORY, UNDERSTORY, DECIDUOUS AND EVERGREENS). ADDITIONAL PLANTINGS OF SHRUBS, SEASONAL COLOR, GROUND COVERS AND OTHER PLANTS WILL BE INCLUDED. PLANT SELECTION WILL BE OF A NATIVE VARIETY WHERE APPROPRIATE.

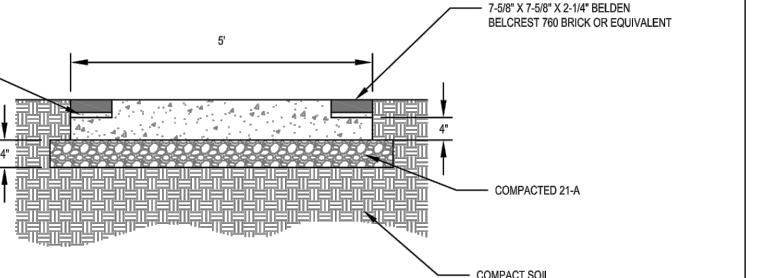
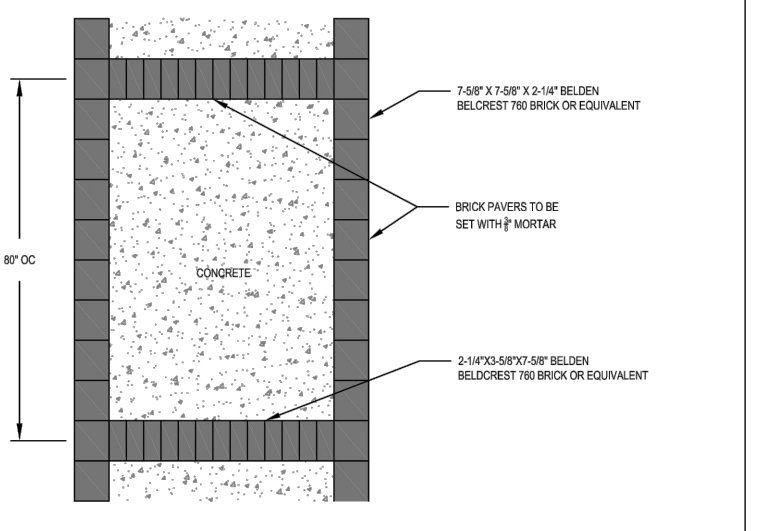
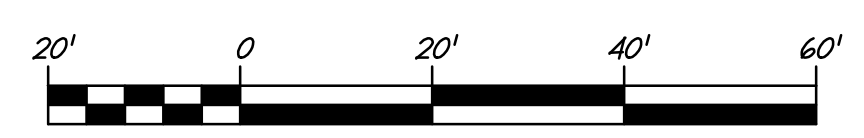
DATE	DESCRIPTION	REVISION	APPROVED BY:

I HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.

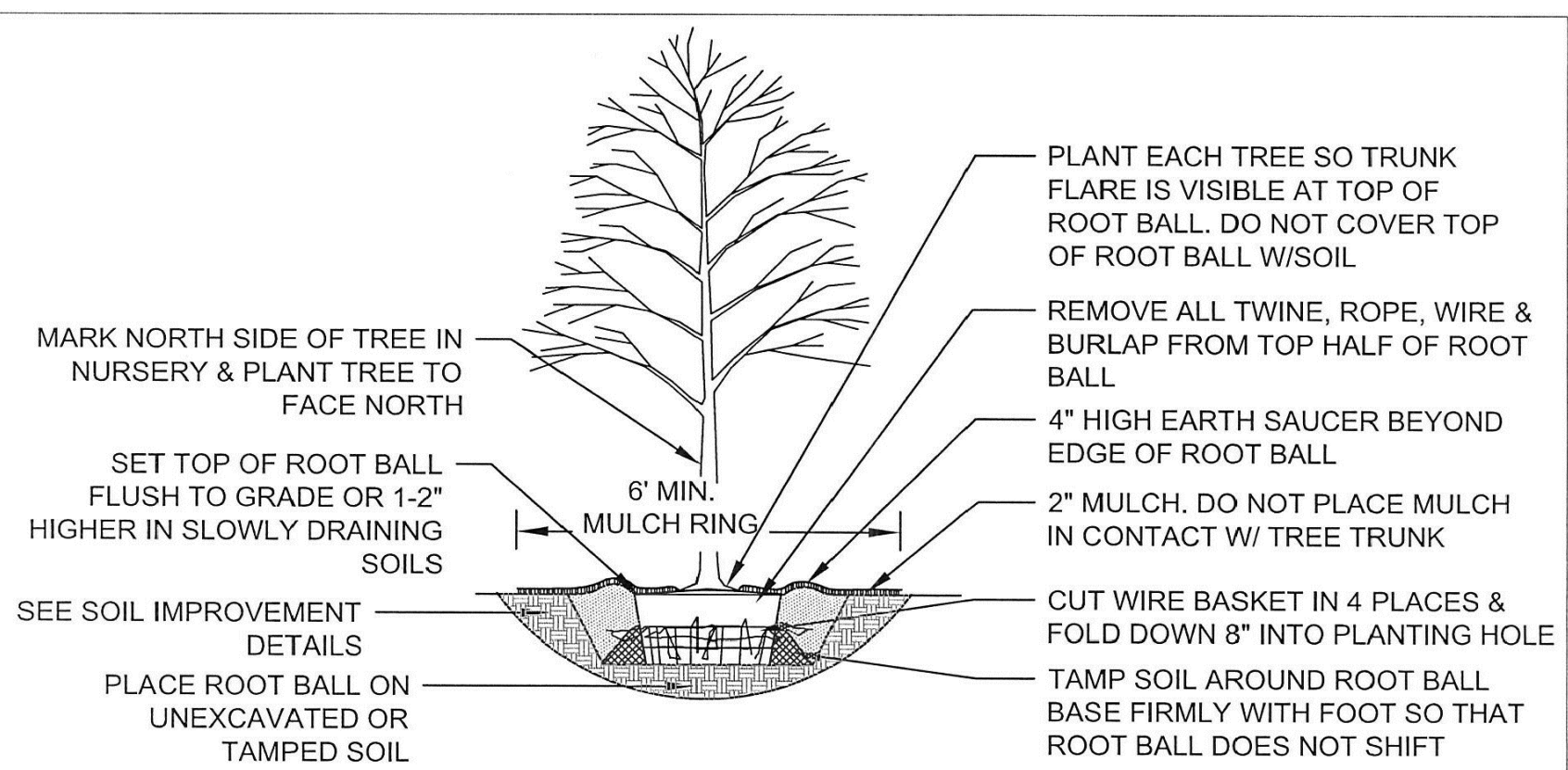


SCALE:  
1" = 20'

SHEET 4A  
OF 7  
DATE: DECEMBER, 2021  
DRAFT: JCM CHECK: MM  
FILE NUMBER: 20268-2-0  
TOV # \_\_\_\_\_



BRICK BANDED SIDEWALK



- NOTES:
- TREES WILL BE REJECTED IF TRUNK FLARE IS NOT VISIBLE AT TOP OF ROOT BALL.
  - DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED, BUT DO NOT REMOVE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF CROWN.
  - STAKE OR WRAP TREE ONLY UPON APPROVAL OF LANDSCAPE ARCHITECT.
  - THIS DETAIL ASSUMES THAT PLANTING SPACE IS LARGER THAN 8 SQUARE FEET, OPEN TO SKY, AND NOT COVERED BY PAVING OR GRATING.
  - THIS PLANTING DETAIL WAS BASED ON ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) STANDARD TREE PLANTING DETAIL. FOR MORE INFORMATION SEE [www.isa-arbor.com](http://www.isa-arbor.com) OR CALL (217) 355-9411.

TREE PLANTING DETAIL  
B&B TREES IN ALL SOIL TYPES

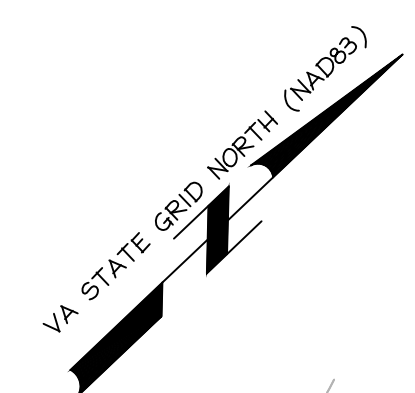
TOWN OF VIENNA, VIRGINIA  
DEPARTMENT OF PUBLIC WORKS



CHURCH STREET N.E.

LOT 1-A

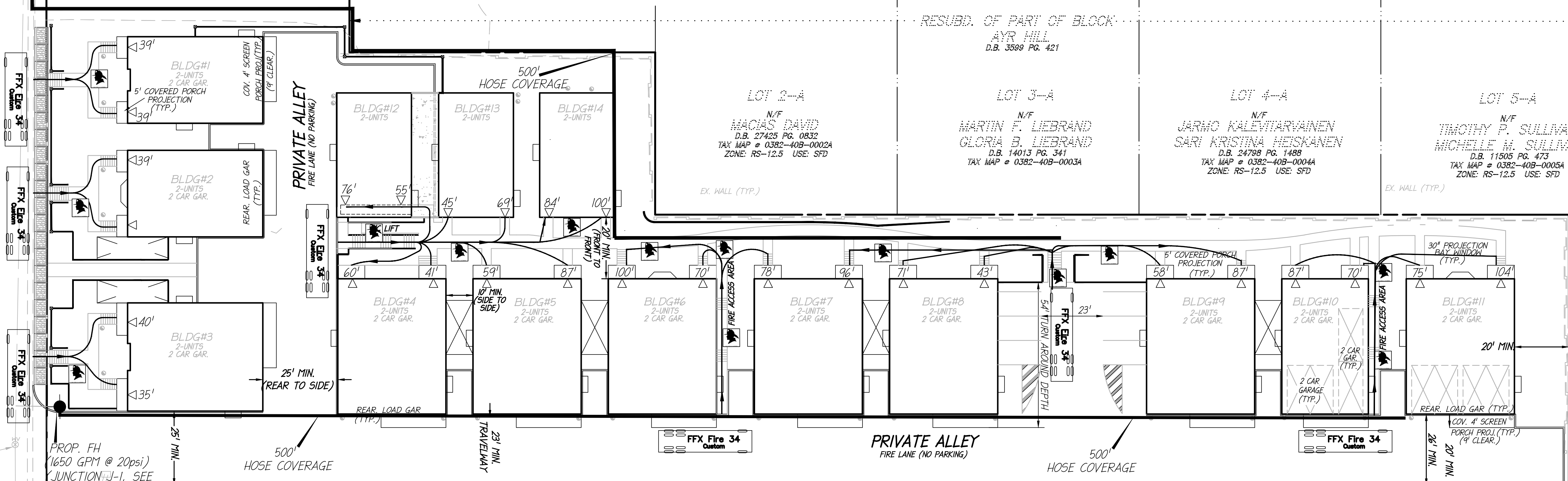
N/F  
THOMAS R. COOK  
D.B. 5042 PG. 497  
TAX MAP # 0382-40B-0001A  
ZONE: RS-12.5 USE: BUSINESS SERVICES



TRUSTEES OF THE  
VIENNA PRESBYTERIAN CHURCH  
D.B. 16403 PG. 794  
TAX MAP # 0382-02-0082  
ZONE: COMM USE: CHURCHES, SYNAGOGUES

PARK STREET, N.E.

TRUSTEES OF THE  
VIENNA PRESBYTERIAN CHURCH  
D.B. 12743 PG. 1804  
TAX MAP # 0382-02-0083A  
ZONE: C-1A USE: OTHER EDUCATIONAL SERVICES NEC



LOT 2-A  
N/F  
MACIAS DAVID  
D.B. 27425 PG. 0832  
TAX MAP # 0382-40B-0002A  
ZONE: RS-12.5 USE: SFD

LOT 3-A  
N/F  
MARTIN F. LIEBRAND  
OLGIA B. LIEBRAND  
D.B. 14013 PG. 341  
TAX MAP # 0382-40B-0003A

LOT 4-A  
N/F  
JARMO KALEVIARVAINEN  
SARI KRISTINA HEISKANEN  
D.B. 24798 PG. 1488  
TAX MAP # 0382-40B-0004A  
ZONE: RS-12.5 USE: SFD

LOT 5-A  
N/F  
TIMOTHY P. SULLIVAN  
MICHELLE M. SULLIVAN  
D.B. 11505 PG. 473  
TAX MAP # 0382-40B-0005A  
ZONE: RS-12.5 USE: SFD

RESUBD. OF PART OF BLOCK  
AYR HILL  
D.B. 3598 PG. 421

LOT A  
N/F  
OWNER  
CYPRUS GROUP, INC.  
D.B. 9872 PG. 46  
TAX MAP 3 0382-02-0080  
ZONE: C-1A USE: VACANT

LOT B  
N/F  
MORRIS SITKIN  
ALEC JACOBSON  
D.B. 2348 PG. 254  
TAX MAP # 0382-02-0079  
ZONE: C-1A USE: RESTAURANT W/ALCOHOL

PARCEL A  
BLOCK C  
AYR HILL  
D.B. 1791 PG. 324  
N/F  
OWNER  
CHEVY CHASE BANK, F.S.B.  
D.B. 18208 PG. 1890  
TAX MAP # 0382-02-0078  
ZONE: C-1A USE: FINANCE, INSURANCE, REAL ESTATE SERVICES

JASSMIN CORPORATION  
D.B. 12988 PG. 2020  
TAX MAP # 0382-02-0077C  
ZONE: C-1A USE: CONVENIENCE GROCERY

PART OF BLOCK C  
AYR HILL TRACT  
D.B. 1863 PG. 411

**PROPOSED FIRE FLOW**

PER PROPOSED HYDRAULIC MODEL COMPLETED 5-31-22

Label	Elevation (ft)	Demand (gpm)	Hydraulic Grade (ft)	Pressure (psi)
J-1	367.00	1,650	412.86	20

**FIRE MARSHAL NOTES**

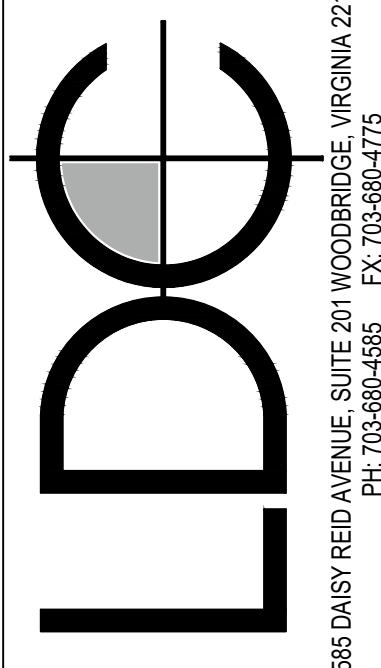
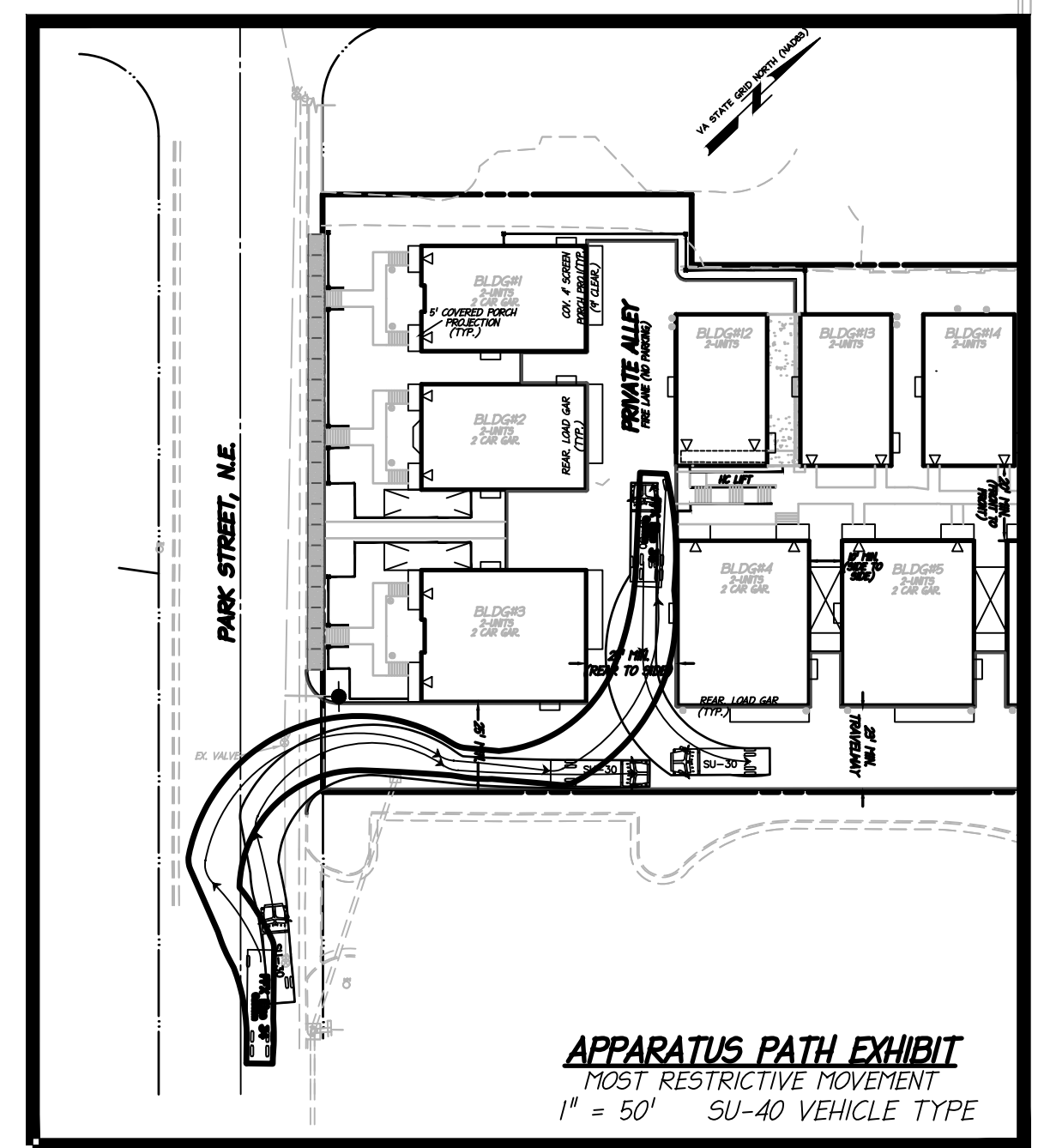
AVAILABLE FIRE FLOW 1,659 GPM AVAILABLE (GAL./MIN.)  
 SOURCE OF FIRE FLOW INFO. TOWN OF VIENNA (4/25/22)  
 TYPE OF CONSTRUCTION - USBC VB  
 USE GROUP CLASSIFICATION - USBC R5  
 PROPOSED BUILDING HEIGHT 35' (FT.)  
 BUILDING TO BE FULLY SPRINKLERED  YES  NO  
 IF YES, CHECK APPROPRIATE STANDARD: NFPA 13  ; NFPA 13D  ; NFPA 13R   
 (TO BE DETERMINED WITH FINAL SITE/ARCHITECTURAL DESIGN)  
 PROPOSED NUMBER OF FLOORS 3

**NOTES**

- UPON DETAILED REVIEW OF FINAL SITE PLAN BY FIRE MARSHAL'S OFFICE (FMO) A MODIFICATION FOR FIRE FLOW MAY BE REQUIRED.
- FIRE LINES AND FDC LOCATIONS SHALL BE ACCURATELY DEPICTED ON FINAL SITE PLAN PURSUANT TO FINAL REQUEST FROM FMO.

**SYMBOLS**

- DENOTES FIREFIGHTER ACCESS PATH
- DENOTES HOSE PATH
- DENOTES PRINCIPAL ENTRANCE



4595 DASHY REED AVENUE SUITE 201 WOODBRIDGE, VIRGINIA 22192  
 PH: 703-885-4555 FAX: 703-885-4715

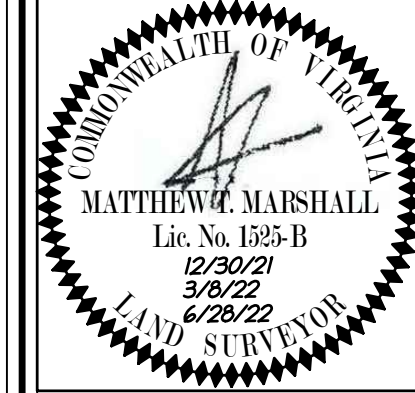
FIRE MARSHAL  
PLAN

VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

DATE	DESCRIPTION	REVISION	APPROVED BY:
1/22	1 TOV COMMENTS		
2/22	2 TOV COMMENTS		
4/22	3 FMO COMMENTS		

HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.



SCALE:  
AS NOTED

SHEET AB  
OF 7

DATE: DECEMBER, 2021  
 DRAFT: JCM CHECK: MM  
 FILE NUMBER: 20268-2-0  
 TOV # \_\_\_\_\_



Project Name: VIENNA COURTS  
Date: JUNE 28 2022

data input cells  
calculation cells  
constant values

Post-ReDevelopment Project & Land Cover Information Total Disturbed Acreage 1.66

Constants	
Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Phosphorus EMC (mg/L)	0.26
Target Phosphorus Target Load (lb/acre/yr)	0.41
P <sub>i</sub>	0.90
Nitrogen EMC (mg/L)	1.86

Pre-ReDevelopment Land Cover (acres)				
A soils	B Soils	C Soils	D Soils	Totals
0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.66	0.66
0.00	0.00	0.00	1.00	1.00
Total				1.66

Post-ReDevelopment Land Cover (acres)				
A soils	B Soils	C Soils	D Soils	Totals
0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.36	0.36
0.00	0.00	0.00	1.30	1.30
Total				1.66

Area Check Okay Okay Okay Okay

Rv Coefficients				
A soils	B Soils	C Soils	D Soils	
0.02	0.03	0.04	0.05	
0.15	0.20	0.22	0.25	
0.95	0.95	0.95	0.95	

Land Cover Summary		Land Cover Summary	
Listed	Adjusted <sup>1</sup>	Post-ReDevelopment	Post-ReDevelopment
Forest/Open Space Cover (acres)	0.00	0.00	0.00
Composite Rv(forest)	0.00	0.00	0.00
% Forest	0%	0%	0%
Managed Turf Cover (acres)	0.66	0.36	0.36
Composite Rv(turf)	0.25	0.25	0.25
% Managed Turf	40%	26%	26%
Impervious Cover (acres)	1.00	1.00	1.00
Rv(impervious)	0.95	0.95	0.95
% Impervious	60%	74%	74%
Total Site Area (acres)	1.66	1.36	1.36
Site Rv	0.67	0.76	0.76

Pre-Development Treatment Volume (acre-ft)	0.0929	0.0867
Pre-Development Treatment Volume (cubic feet)	4,047	3,775
Pre-Development Load (TP) (lb/yr)	2.54	2.37

Adjusted <sup>1</sup> Land Cover Summary reflects the pre redevelopment land cover minus the pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover. The adjusted total acreage is consistent with the Post Redevelopment acreage (minus the acreage of new impervious cover). The load reduction requirement for the new impervious cover to meet the new development load limit is computed in Column I.	Maximum % Reduction Required Below Pre-ReDevelopment Load	20%
	TP Load Reduction Required for Redeveloped Area (lb/yr)	0.47
	Total Load Reduction Required (lb/yr)	1.00
Pre-Development Load (TN) (lb/yr)	18.19	Post-Development Load (TN) (lb/yr) 21.62

Drainage Area A

Drainage Area A Land Cover (acres)						
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	A soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
0.00	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.36	0.36	0.25
Impervious Cover (acres)	0.00	0.00	0.00	1.30	1.30	0.95
Total					1.66	
Post Development Treatment Volume (cf)						4810

Apply Runoff Reduction Practices to Reduce Treatment Volume & Post-Development Load in Drainage Area A

Credit	Unit	Description of Credit	Credit	Credit Area (acres)	Volume from Upstream RR Practice (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practices (lbs)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
2. Rooftop Disconnection													
2.1. To Stormwater Planter (Urban Bioretention) (Spec #9, Appendix A)	impervious acres disconnected	40% runoff volume reduction for treated area	0.40	0.06	0	83	124	25	0.00	0.13	0.07	0.06	14. Manufactured Device
14. Manufactured BMP													
	impervious acres draining to device	0% runoff volume reduction	0.00	1.00	124.15	0	3573	40	0.06	2.16	0.89	1.33	
	turf acres draining to device	0% runoff volume reduction	0.00	0.29	0.00	0	1000	40	0.00	0.17	0.07	0.10	

TOTAL IMPERVIOUS COVER TREATED (ac)	1.06
TOTAL TURF AREA TREATED (ac)	0.29
AREA CHECK OK.	
PHOSPHORUS REMOVAL BY PRACTICES THAT DO NOT REDUCE RUNOFF VOLUME IN D.A. A	0.96
TOTAL PHOSPHORUS REMOVAL IN D.A. A (lb/yr)	1.03

Site Results

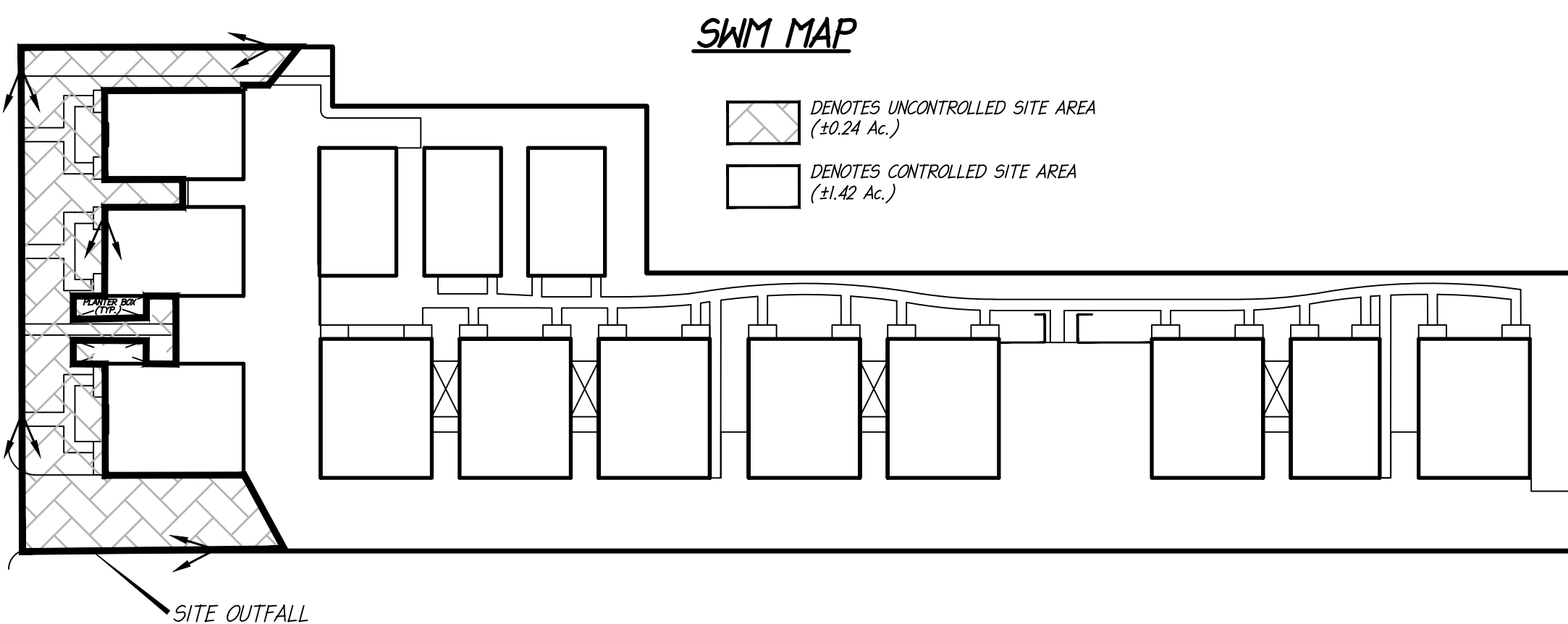
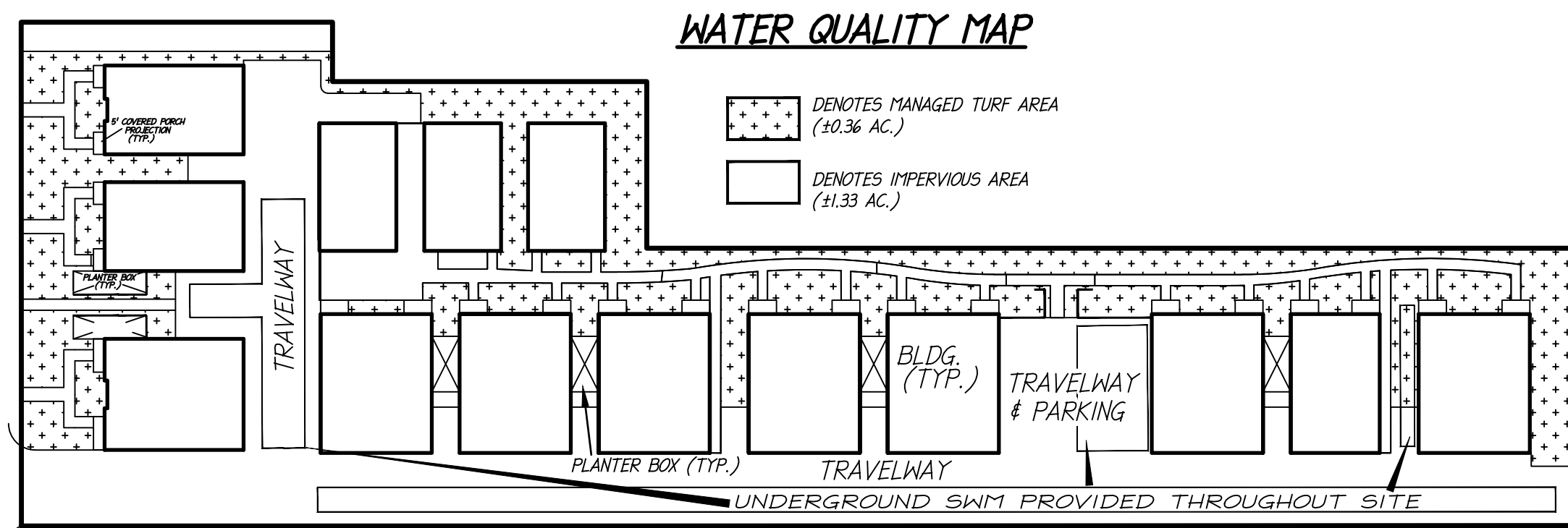
	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
IMPERVIOUS COVER	1.30	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER TREATED	1.06	0.00	0.00	0.00	0.00	OK.
TURF AREA	0.36	0.00	0.00	0.00	0.00	OK.
TURF AREA TREATED	0.29	0.00	0.00	0.00	0.00	OK.
AREA CHECK	OK.	OK.	OK.	OK.	OK.	

Phosphorous

TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED (LB/YEAR)	1.00
RUNOFF REDUCTION (cf)	83
PHOSPHOROUS LOAD REDUCTION ACHIEVED (LB/YR)	1.03
ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD (TP) (lb/yr)	2.00
REMAINING PHOSPHOROUS LOAD REDUCTION (LB/YR) NEEDED	CONGRATULATIONS!! YOU EXCEEDED THE TARGET REDUCTION BY 0 LB/YEAR!!

Based on the use of Runoff Reduction practices in the selected drainage areas, the spreadsheet calculates an adjusted Rv<sub>Developed</sub> and adjusted Curve Number.

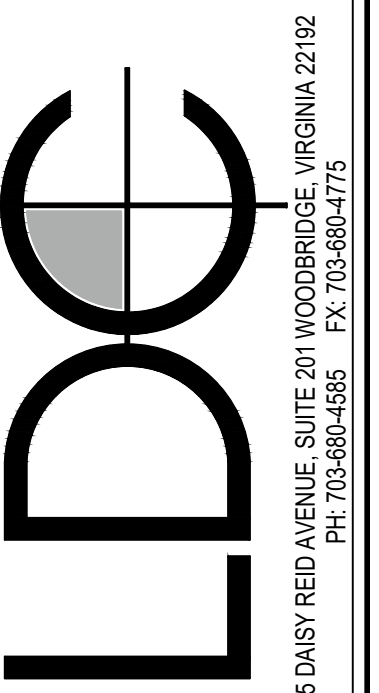
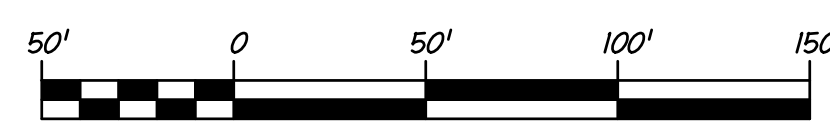
Drainage Area A					
Forest/Open Space -- undisturbed, protected forest/open space or reforested land	Area (acres)	A soils	B Soils	C Soils	D Soils
CN	30	55	70	77	
Managed Turf -- disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.00	0.00	0.00	0.36
CN	39	61	74	80	
Impervious Cover	Area (acres)	0.00	0.00	0.00	1.30
CN	98	98	98	98	
Weighted CN					S
					94
					0.64



SWM NARRATIVE

WATER QUANTITY AND QUALITY REQUIREMENTS WILL BE SATISFIED ONSITE THROUGH A COMBINATION OF PLANTER BOXES AND UG SWM. THE UG SWM IS AN ASSUMED MANUFACTURED TREATMENT DEVICE WITH A PHOSPHORUS REMOVAL EFFICIENCY OF 40%. WATER QUALITY COMPLIANCE HAS BEEN BASED ON RE-DEVELOPMENT REQUIREMENTS. APPLICANT RESERVES THE RIGHT TO PURCHASE NUTRIENT CREDITS IN THE EVENT CRITERIA CANNOT BE MET ONSITE PURSUANT TO FINAL ENGINEERING AND DESIGN.

CHANNEL AND FLOOD PROTECTION ARE PROVIDED ONSITE AS WELL. FOR WATER QUANTITY PURPOSES, REQUIRED REDUCTIONS WERE BASED ON SITE RUNOFF GENERATED FROM SITE IN ITS CURRENT CONDITION; DEVELOPED WITH 4 BUILDINGS AND OVER 100 PARKING SPACES AND NOT FROM A GOOD, FORESTED CONDITION.



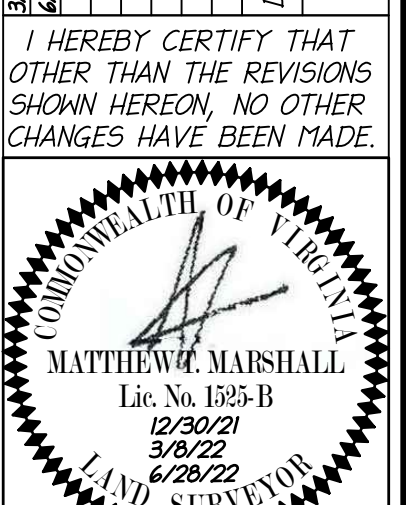
VRM

VIENNA COURTS

4555 DASH REID AVENUE, SUITE 201 WOODBRIDGE, VIRGINIA 22192  
PH: 703-686-4555 FAX: 703-686-4715

TOWN OF VIENNA, VIRGINIA

DATE	DESCRIPTION	REVISION	APPROVED BY:	APPROVED DATE
1/22/22	TOV CORRECTIONS	1		
1/27/22	TOV CORRECTIONS	2		



SCALE: 1" = 50'

SHEET 5 OF 7

DATE: DECEMBER, 2021

DRAFT: JCM CHECK: MM

FILE NUMBER: 20268-2-0

TOV # \_\_\_\_\_ PF-





"A" NORTH ELEVATION @ GARDEN ALLEY

scale 1:150



"C" SOUTH ELEVATION @ GARDEN ALLEY

scale 1:150

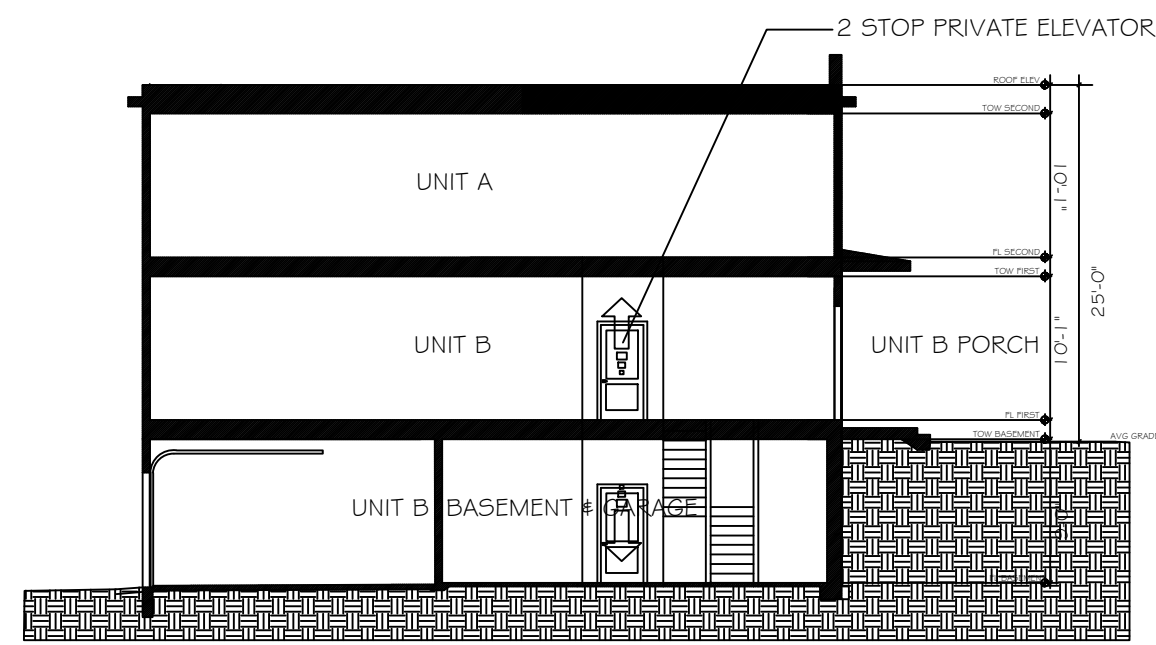


"D" ELEVATION @ PARK STREET NE

scale 1:150

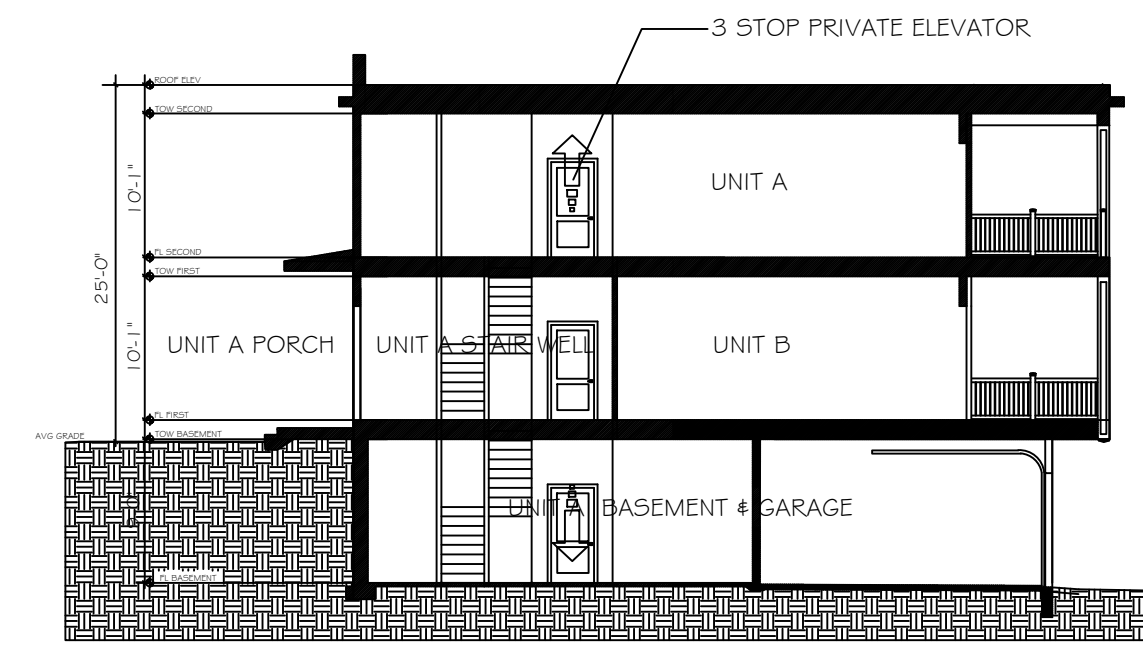
FRONT ELEVATIONS





"E" TYPICAL BUILDING SECTION

scale 1:150



"F" TYPICAL BUILDING SECTION

scale 1:150



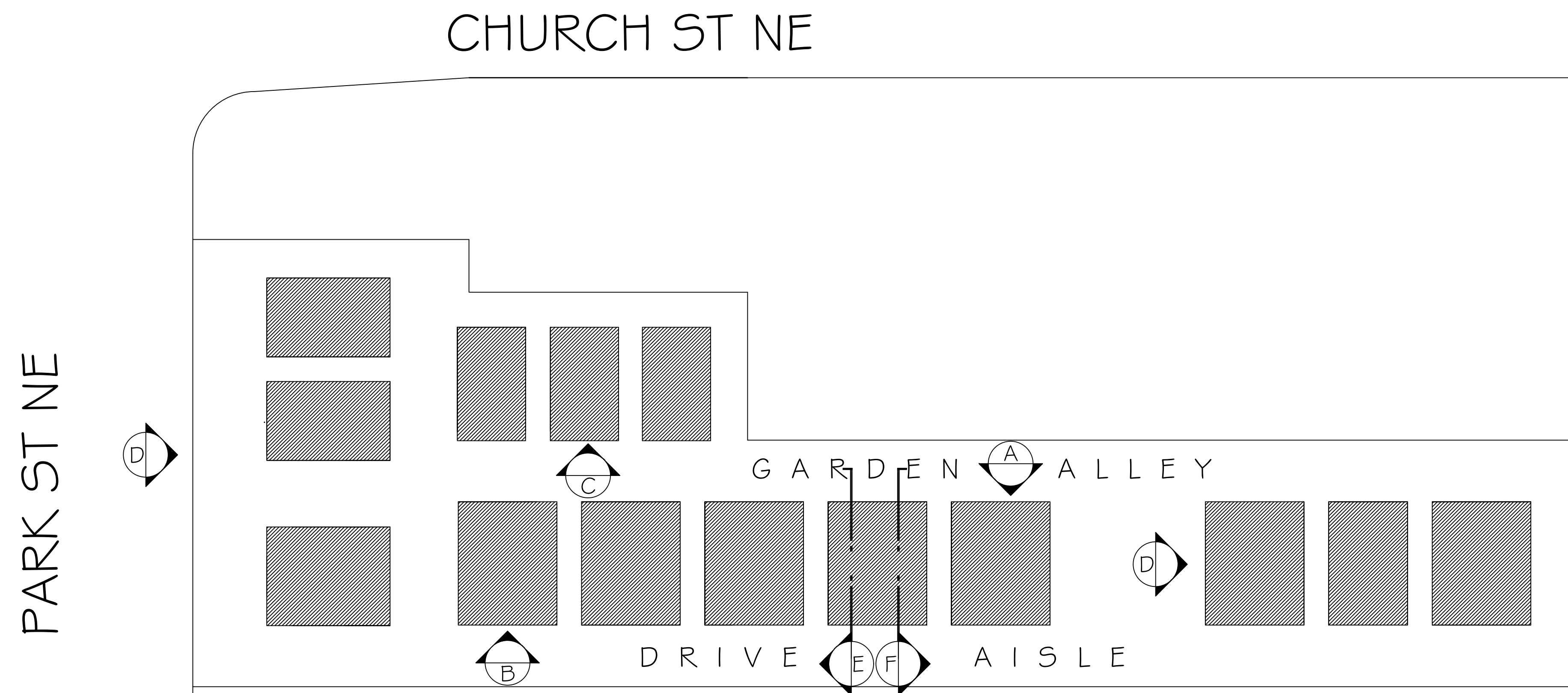
"B" TYPICAL REAR ELEVATION

scale 1:150



"G" TYPICAL SIDE ELEVATION

scale 1:150



ELEVATION AND SECTION PLAN KEY