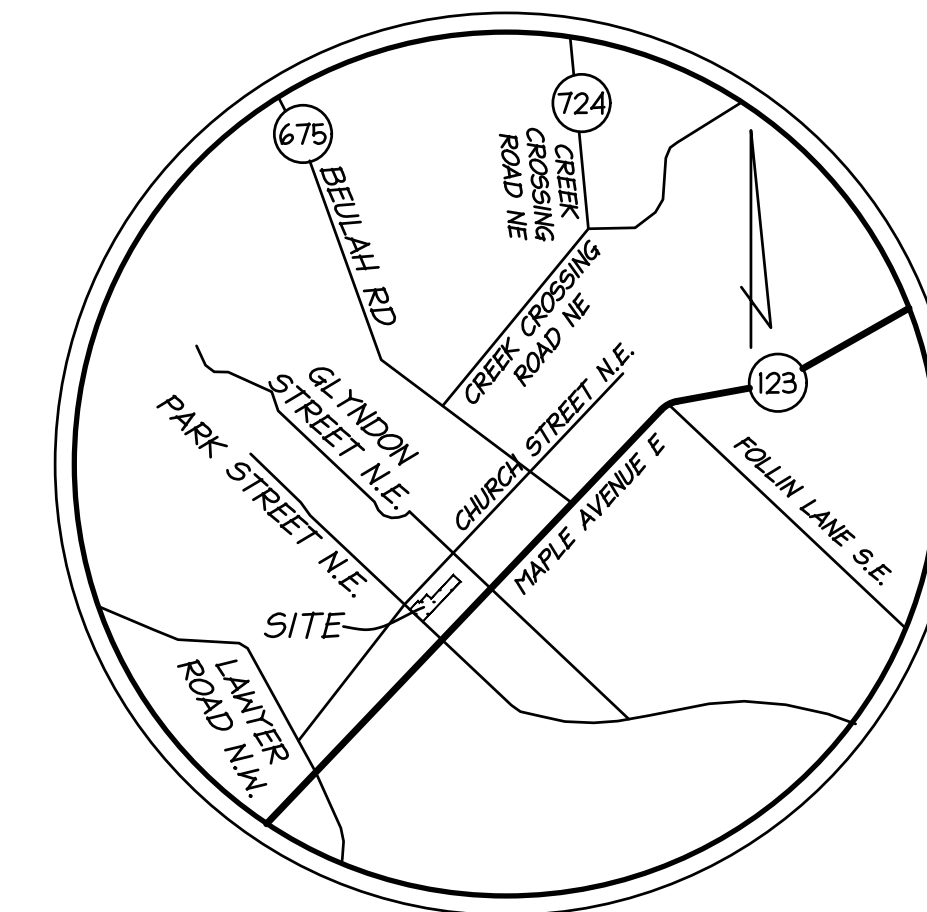
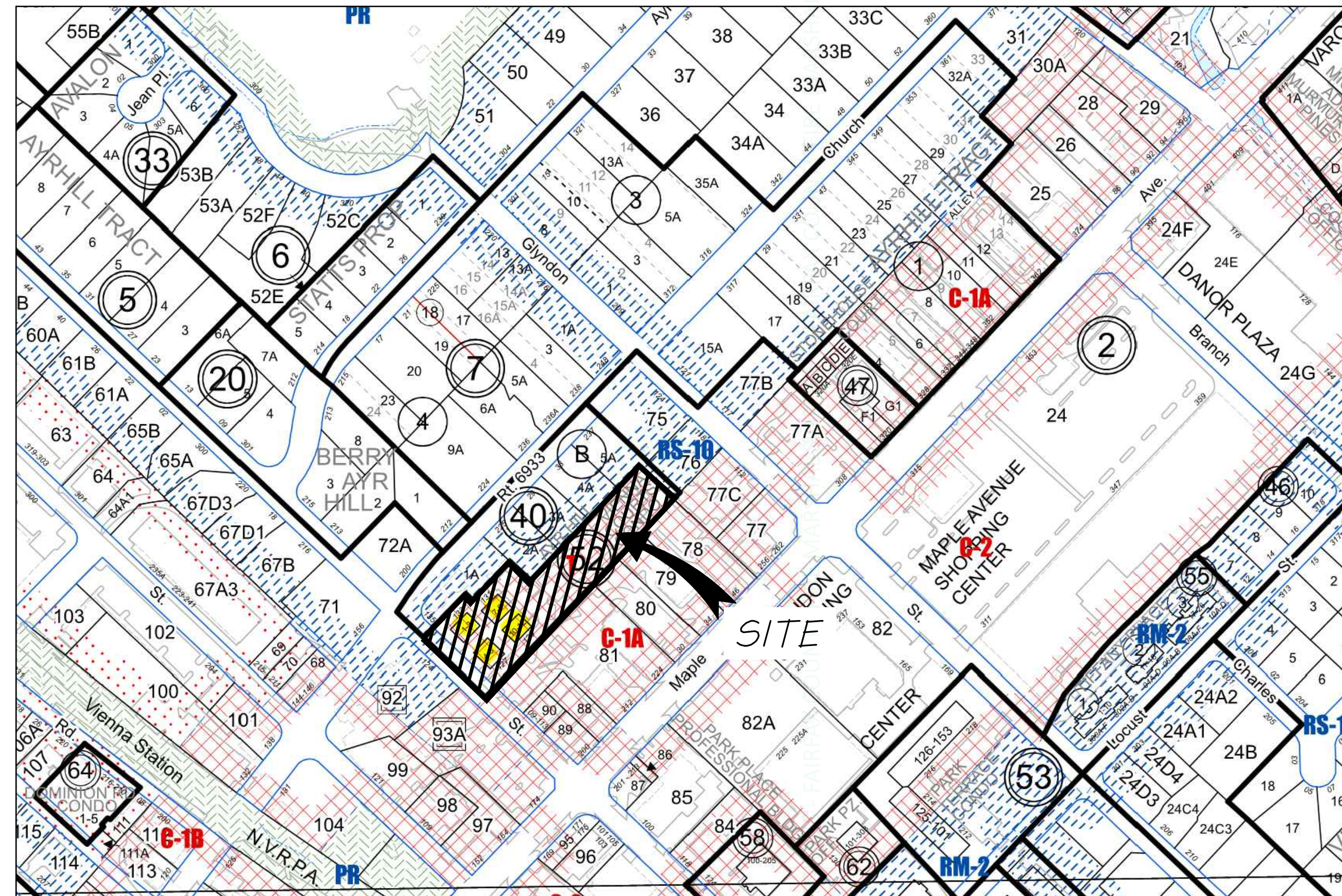


# REZONING OF 127-133 PARK ST, N.E. TOWN OF VIENNA, VIRGINIA



VICINITY MAP  
SCALE: 1" = 2,000'



ZONING MAP  
SCALE: 1" = 200'

SOIL INFORMATION

SOIL #	SOIL NAME	PROBLEM CLASS	FOUNDATION SUPPORT	DRAINAGE	EROSION POTENTIAL
95	URBAN LAND	IVB	N/A	N/A	N/A

SITE OVERVIEW:

SITE AREA: ..... 72,167# OR 1.65673 ACRES  
EXISTING ZONE: ..... T (TRANSITIONAL)  
PROPOSED ZONE: ..... RM-2

APPLICANT/CONTRACT OWNER:

BFR CONSTRUCTION COMPANY  
921 GLYNDON ST., S.E.  
VIENNA, VA 22180  
SBUKONT@GMAIL.COM  
(703)281-1054

PROPERTY OWNER(S):

THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON FAIRFAX COUNTY TAX MAP No. 0382-52-0001, 0002, 0003, 0004, 0005, 0006, 0007, 0008, 0009, 0010, 0011, AND 0012.

THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF TRUSTEES OF VIENNA PRESBYTERIAN CHURCH, BY DEED RECORDED IN DEED BOOK 5922 AT PAGE 1564, JOSEPH T. NOCERINO AND MARY ANN NOCERINO, TRUSTEES, BY DEED RECORDED IN DEED BOOK 23666 AT PAGE 1767 AND DEED BOOK 23666 AT PAGE 1771, EZRA PARTNERSHIP, BY DEED RECORDED IN DEED BOOK 19254 AT PAGE 532, DEED BOOK 5863 AT PAGE 365, DEED BOOK 6117 AT PAGE 1651, DEED BOOK 7699 AT PAGE 1031, AND DEED BOOK 19254 AT PAGE 532, MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVE AND FITTINGS INDUSTRY, INC. BY DEED RECORDED IN DEED BOOK 5921 AT PAGE 1069, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.

REZONING APPLICATION NOTE:

THIS REZONING APPLICATION IS CONCEPTUAL IN FORM AND DOES NOT CONSTITUTE AN ENGINEERING REVIEW. A FULL ENGINEERING REVIEW WILL BE CONDUCTED DURING SITE PLAN SUBMISSION UNDER SEPARATE COVER. APPROVAL OF THE REZONING DOES NOT MEAN THAT THE APPLICANT WILL NOT NEED TO ALTER THE CONCEPTUAL LAYOUT TO MEET CODES, REGULATIONS AND GOOD ENGINEERING PRACTICES. THE APPLICANT RESERVES THE RIGHT TO REQUEST FURTHER MODIFICATIONS OR WAIVERS TO SPECIFIC STANDARDS AS PART OF THE SITE PLAN REVIEW AND APPROVAL.

ZONING REQUEST:

THIS REZONING APPLICATION IS TO REZONE THE SUBJECT PROPERTY FROM T (TRANSITIONAL) TO RM-2 (LOW DENSITY, MULTI-FAMILY). THE PROPOSAL WILL DISSOLVE THE EXISTING CONDOMINIUM AND CONSOLIDATE THE LOT.

SHEET INDEX

- 1) ..... COVER SHEET
- 2) ..... BOUNDARY
- 3) ..... EXISTING CONDITIONS PLAN
- 4) ..... CONCEPT PLAN
- 4A) ..... CONCEPT LANDSCAPE PLAN
- 4B) ..... FIRE MARSHAL PLAN
- 5) ..... VRRM
- 6) ..... ARCHITECTURAL FRONT ELEVATIONS
- 7) ..... ARCHITECTURAL REAR ELEVATION AND BUILDING SECTION



**PLANS APPROVED BY  
FIRE MARSHAL**

--- ZONING APPROVAL ONLY ---

**DATE: 06/15/2022**

**REVIEWER: M. PARUTI**

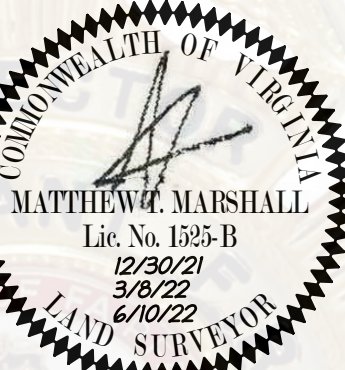
**REVIEW ID: 80519**

**FM REVIEWER COORDINATED EXTENSIVELY WITH APPLICANT REGARDING PROPOSED LAYOUT IN ORDER TO ATTAIN AT LEAST MINIMAL COMPLIANCE WITH THE FAIRFAX COUNTY PFM AND VIRGINIA BUILDING AND FIRE CODES RELATIVE TO FD ACCESS.**

**MINIMAL CODE COMPLIANCE HAS BEEN ACHIEVED; HOWEVER, THIS PROPOSED LAYOUT IS FAR FROM IDEAL AND THE DELETION OF ANY STRUCTURES WOULD BE WELCOMED. ALSO, EACH OF THE STRUCTURES WILL MORE THAN LIKELY NEED TO BE SPRINKLERED VIA CODE MODIFICATION DUE TO INSUFFICIENT AVAILABLE FIRE FLOW.**

NO.	DATE	DESCRIPTION	REVISION APPROVED BY:	REVIEW BY:	APPROVED DATE
1					
2					

I HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.



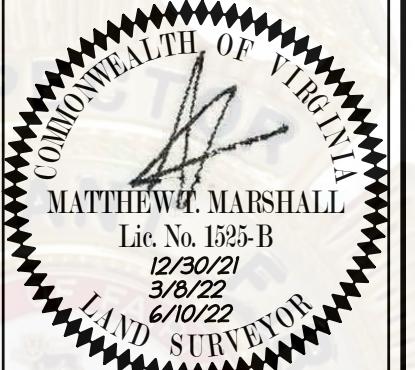
SCALE:  
AS SHOWN

SHEET 1 OF 7  
DATE: DECEMBER, 2021  
DRAFT: JCM CHECK: MM  
FILE NUMBER: 2020-2-0  
TOV # \_\_\_\_\_



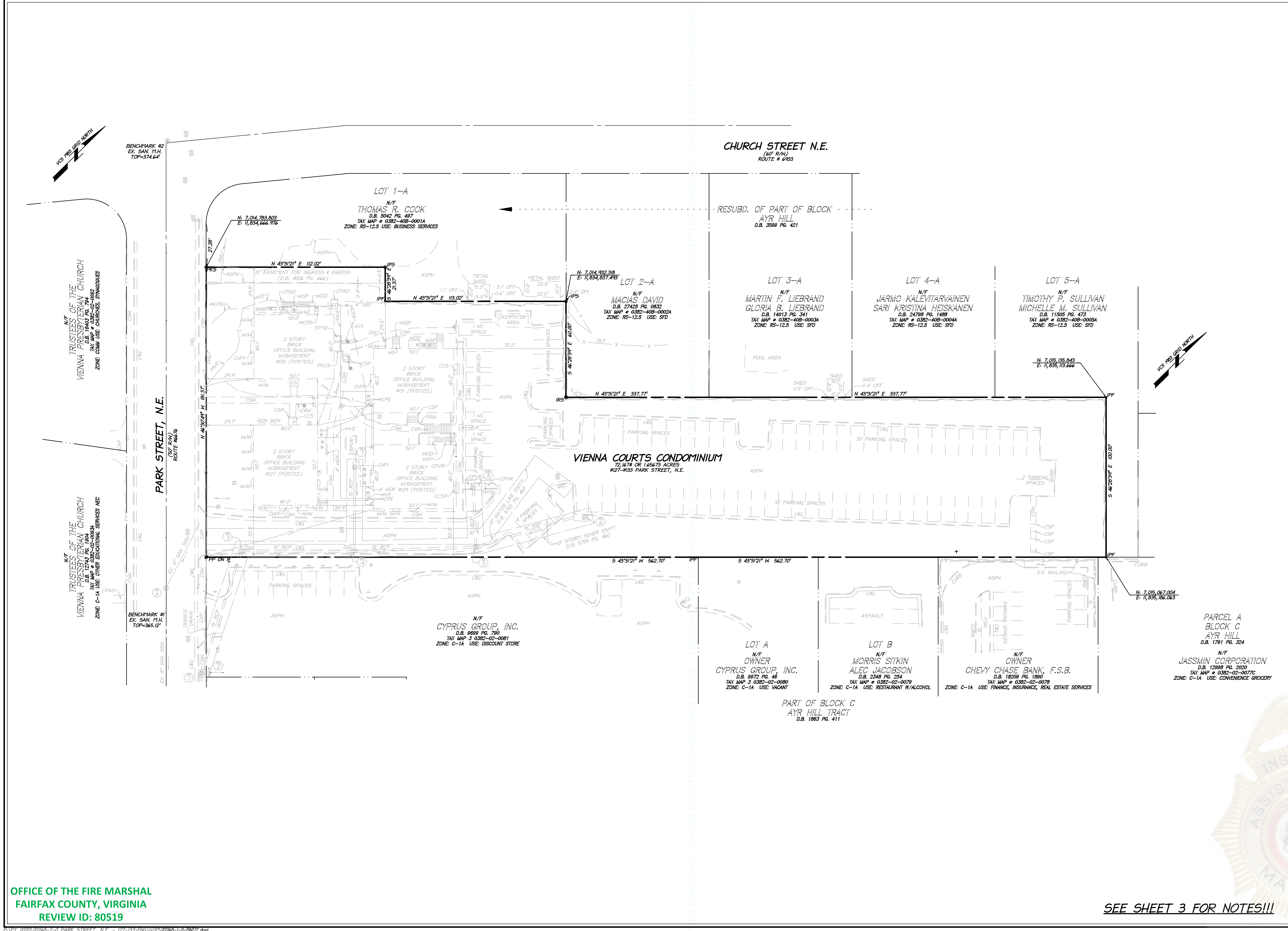
NO.	DATE	DESCRIPTION	REVISION APPROVED BY:	APPROVED DATE
1	12/22/2021	TAX CORRECTIONS		
2	12/22/2021	TAX CORRECTIONS		

I HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.



SCALE:  
 1" = 25'

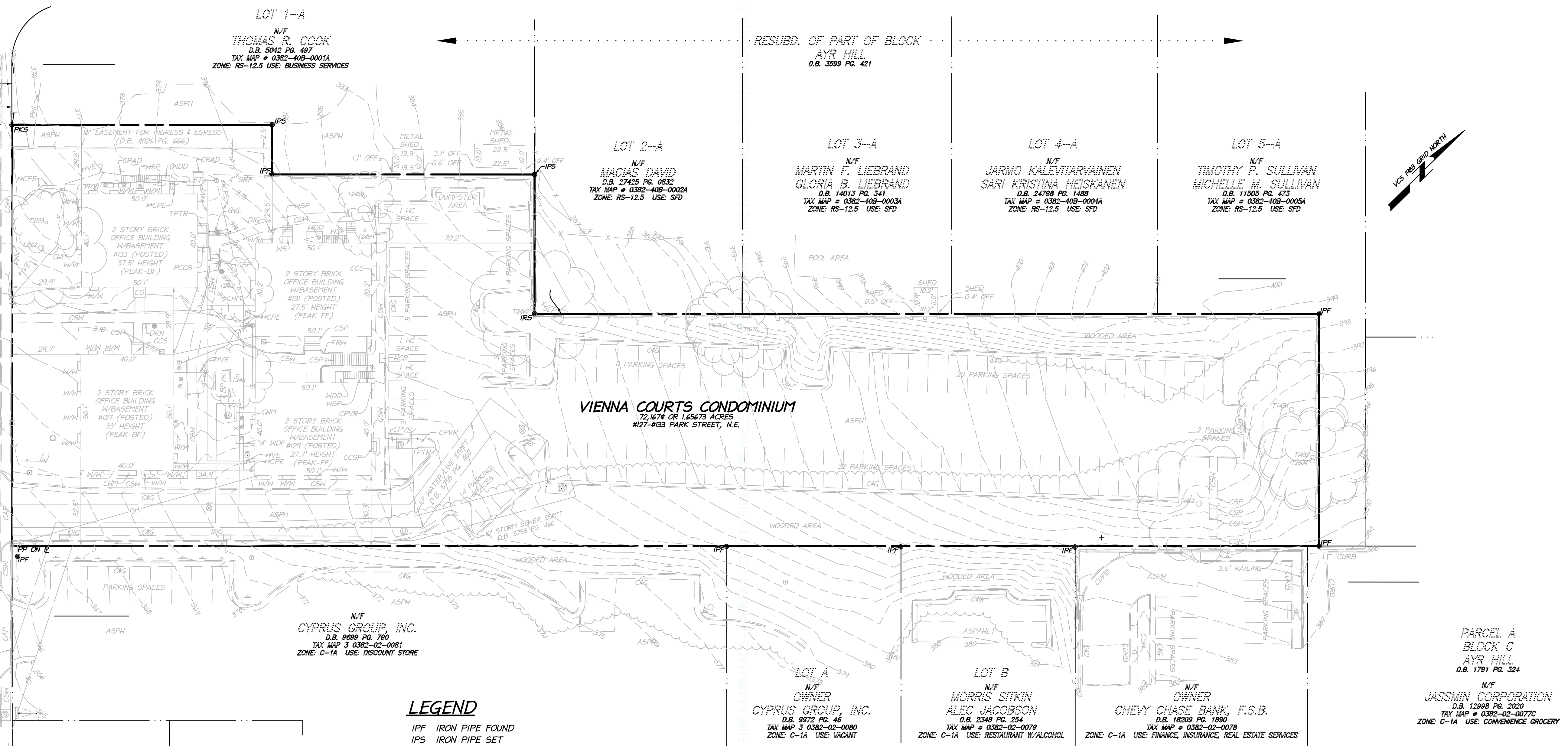
SHEET 2 OF 7  
 DATE: DECEMBER, 2021  
 DRAFT: JCM CHECK: MM  
 FILE NUMBER: 20268-2-0  
 TOV # \_\_\_\_\_





CHURCH STREET N.E.  
(60' R/W)  
ROUTE # 6933

PARK STREET, N.E.  
(60' R/W)  
ROUTE #6274



**AS-BUILT INFORMATION**

**SANITARY SEWER**

- EX. SANITARY MANHOLE TOP=365.12'  
EX. INV. IN=357.92' (8" SAN. SEWER PIPE FROM NORTHEAST)  
EX. INV. OUT=356.77' (8" SAN. SEWER PIPE TO SOUTHEAST)
- 237.12' - 8" SAN. SEWER PIPE - @ 0.48%
- EX. SANITARY MANHOLE TOP=365.83'  
EX. INV. IN=355.68' (8" SAN. SEWER PIPE FROM SOUTHWEST)  
EX. INV. IN=355.63' (8" SAN. SEWER PIPE FROM A)  
EX. INV. IN=355.63' (8" SAN. SEWER PIPE FROM NORTHEAST)  
EX. INV. OUT=355.58' (8" SAN. SEWER PIPE TO SOUTHEAST)

**STORM SEWER**

- EX. CONCRETE HEADWALL  
EX. INV. OUT=362.62' (15" RCP TO 2)
- 3.38' - 15" RCP - @ 0.30%
- EX. STORM CURB INLET TOP=364.42'  
EX. INV. IN=362.61' (15" RCP FROM 2)  
EX. INV. IN=363.01' (15" RCP FROM 3)  
EX. INV. OUT=361.07' (15" RCP TO SOUTHEAST)
- 78.21' - 15" RCP - @ 0.96%
- EX. DROP INLET GRATE TOP=366.66'  
EX. INV. IN=363.86' (15" RCP FROM 4)  
EX. INV. OUT=363.76' (15" RCP TO 1)
- 70.53' - 15" RCP - @ 1.52%

- EX. DROP INLET GRATE TOP=371.08'  
EX. INV. IN=365.03' (15" RCP FROM 5)  
EX. INV. IN=364.98' (15" RCP FROM 7)  
EX. INV. OUT=364.93' (15" RCP TO 3)
- 76.17' - 15" RCP - @ 3.78%
- EX. STORM MANHOLE TOP=376.31'  
EX. INV. IN=372.25' (15" RCP FROM 8)  
EX. INV. IN=372.25' (15" RCP FROM 6)  
EX. INV. OUT=367.91' (15" RCP TO 4)
- 63.85' - 15" RCP - @ 2.47%
- EX. STORM CURB INLET TOP=381.83'  
EX. INV. OUT=373.83' (15" RCP TO 5)
- EX. STORM CURB INLET TOP=378.68'  
EX. INV. OUT=372.94' (15" RCP TO 6)
- 37.29' - 15" RCP - @ 1.85%
- EX. STORM INLET TOP=368.68'  
EX. INV. OUT=365.93' (15" RCP TO 5)
- 52.30' - 15" RCP - @ 1.82%

**LEGEND**

- IPF IRON PIPE FOUND
- IPS IRON PIPE SET
- IRS IRON ROD SET
- PKS PK NAIL SET
- ASPH ASPHALT
- BRW BRICK RETAINING WALL
- BWL BRICK WALL
- CGG CURB & GUTTER
- CL CENTERLINE
- CAP CONCRETE APRON
- CCS COVERED CONCRETE STOOP
- CCSP COVERED CONCRETE STEPS
- CHM CHIMNEY
- CPAD CONCRETE PAD
- CRW CONCRETE RETAINING WALL
- CS CONCRETE STOOP
- CSP CONCRETE STEPS
- CSH CONCRETE SIDEWALK
- CURB HEADER CURB
- CPVR CONCRETE PAVEMENT
- DIG DROP INLET GRATE
- DRN STORM DRAIN
- PCCP PARTIALLY COVERED CONCRETE PORCH
- PL PROPERTY LINE
- PP POWER POLE
- PWL PAINTED WHITE LINE
- RCP REINFORCED CONCRETE PIPE
- TRW TIMBER RETAINING WALL
- TPTR TIMBER PLANTER
- W/W WINDOW WELL
- WDD WOOD DECK
- WSP WOOD STEPS
- ACU AIR CONDITIONING UNIT
- CO CLEAN OUT
- ET ELECTRIC TRANSFORMER
- FH FIRE HYDRANT
- GV GAS VALVE
- GW GUY WIRE
- PWL POWER POLE WITHOUT LIGHT
- PWL POWER POLE WITH LIGHT
- SM SANITARY MANHOLE
- SG SIGN
- SMH STORM MANHOLE

- STORM CURB INLET
- TELEPHONE PEDESTAL
- WATER METER
- WATER VALVE
- TREE
- OH OVERHEAD UTILITY
- S SANITARY LINE
- E UNDERGROUND ELECTRIC LINE (PAINTED RED LINE)
- T UNDERGROUND TELEPHONE LINE (PAINTED ORANGE LINE)
- SRE SPLIT RAIL FENCE
- WDF WOOD FENCE
- TL TREE LINE
- \*CPE APPROXIMATE LOCATION & CAP TEL. CO. R/W D.B. 3888 PG. 698
- \*AVE APPROXIMATE LOCATION & VEPCO R/W D.B. 3979 PG. 573

**TREE TABLE**

- T1431 24" TREE
- T1432 24" TREE
- T1462 28" TREE
- T1675 24" TREE
- T1676 18" TREE
- T2102 28" TREE
- T2103 15" TREE
- T2411 15" MAGNOLIA
- T2412 15" MAGNOLIA
- T2458 12" TREE
- T2459 12" TREE
- T2462 28" TREE
- T2504 24" OAK

**NOTES**

1. THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON FAIRFAX COUNTY TAX MAP No. 0382-52-0001, 0002, 0003, 0004, 0005, 0006, 0007, 0008, 0009, 0010, 0011, AND 0012, AND IS CURRENTLY ZONED T.
2. THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF TRUSTEES OF VIENNA PRESBYTERIAN CHURCH, BY DEED RECORDED IN DEED BOOK 5922 AT PAGE 1569, JOSEPH T. NOCERINO AND MARY ANN NOCERINO, TRUSTEES, BY DEED RECORDED IN DEED BOOK 23666 AT PAGE 1767 AND DEED BOOK 23666 AT PAGE 1771, EZRA PARTNERSHIP, BY DEED RECORDED IN DEED BOOK 19254 AT PAGE 532, DEED BOOK 5863 AT PAGE 365, DEED BOOK 6117 AT PAGE 1651, DEED BOOK 7699 AT PAGE 1031, AND DEED BOOK 19284 AT PAGE 532, MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVE AND FITTINGS INDUSTRY, INC. BY DEED RECORDED IN DEED BOOK 5921 AT PAGE 1069, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.
3. TITLE REPORT FURNISHED BY ROUND TABLE TITLE, INC., FILE NO. RTT2020-17099A,B,C AND D, DATED OCTOBER 1, 2020.
4. THE PROPERTY SHOWN HEREON LIES WITHIN A ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DELINEATED ON FLOOD INSURANCE RATE MAP NO. 51089C0145E, PANEL 145 OF 450, WITH AN EFFECTIVE DATE OF SEPTEMBER 17, 2010.
5. THE PLAT OF THE PROPERTY SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD SURVEY WHICH TIES THIS BOUNDARY TO NATIONAL GEODETIC SURVEY PID 148750. THE COMBINED GRID AND ELEVATION FACTOR IS 0.99994768.
6. THERE ARE NO KNOWN GRAVES OR BURIAL SITES ON THE PROPERTY.
7. EXCEPT AS SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS OBSERVED ON THE SURVEYED PROPERTY.

OFFICE OF THE FIRE MARSHAL  
FAIRFAX COUNTY, VIRGINIA  
REVIEW ID: 80519

DATE	DESCRIPTION	REVISION	APPROVED BY:
1/27/21	TOT COMMENTS		
2/2/21	TOT COMMENTS		

DATE DESIGN NO. \_\_\_\_\_  
ENGINEER \_\_\_\_\_

HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.

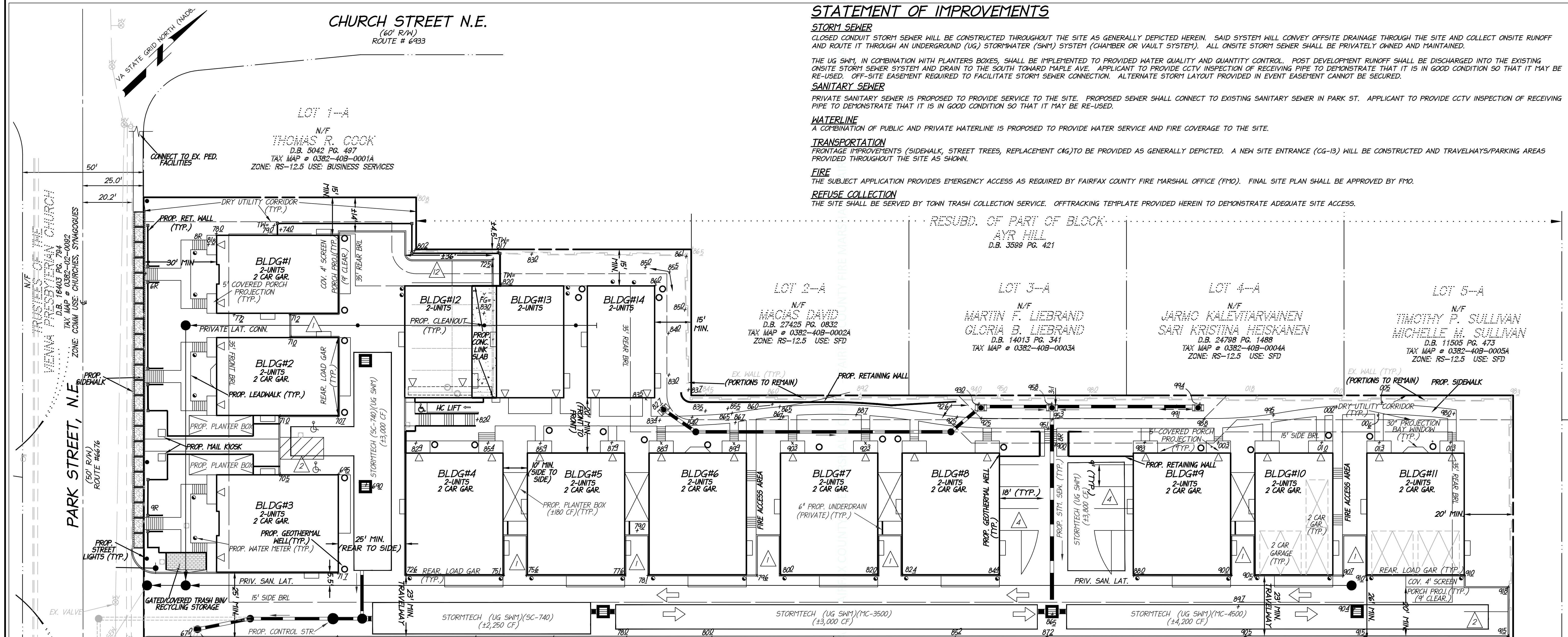
MATTHEW MARSHALL  
Lic. No. 195-B  
2/20/21  
3/8/22  
5/10/22  
LAND SURVEYOR

SCALE:  
1" = 25'

SHEET 3 OF 7

DATE: DECEMBER, 2021  
DRAFT: JCM MM  
FILE NUMBER: 20268-2-0  
TOV # \_\_\_\_\_





**STATEMENT OF IMPROVEMENTS**

**STORM SEWER**  
CLOSED CONDUIT STORM SEWER WILL BE CONSTRUCTED THROUGHOUT THE SITE AS GENERALLY DEPICTED HEREIN. SAID SYSTEM WILL CONVEY OFFSITE DRAINAGE THROUGH THE SITE AND COLLECT ONSITE RUNOFF AND ROUTE IT THROUGH AN UNDERGROUND (UG) STORMWATER (SWM) SYSTEM (CHAMBER OR VAULT SYSTEM). ALL ONSITE STORM SEWER SHALL BE PRIVATELY OWNED AND MAINTAINED.

THE UG SWM, IN COMBINATION WITH PLANTERS BOXES, SHALL BE IMPLEMENTED TO PROVIDED WATER QUALITY AND QUANTITY CONTROL. POST DEVELOPMENT RUNOFF SHALL BE DISCHARGED INTO THE EXISTING ONSITE STORM SEWER SYSTEM AND DRAIN TO THE SOUTH TOWARD MAPLE AVE. APPLICANT TO PROVIDE CCTV INSPECTION OF RECEIVING PIPE TO DEMONSTRATE THAT IT IS IN GOOD CONDITION SO THAT IT MAY BE RE-USED. OFF-SITE EASEMENT REQUIRED TO FACILITATE STORM SEWER CONNECTION. ALTERNATE STORM LAYOUT PROVIDED IN EVENT EASEMENT CANNOT BE SECURED.

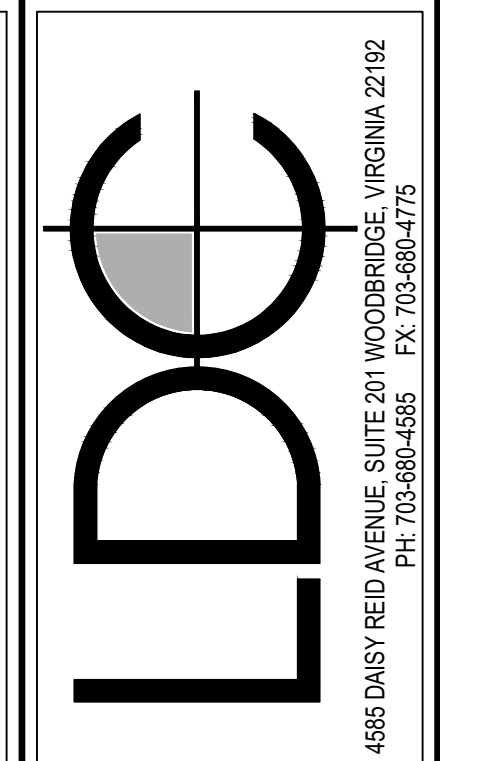
**SANITARY SEWER**  
PRIVATE SANITARY SEWER IS PROPOSED TO PROVIDE SERVICE TO THE SITE. PROPOSED SEWER SHALL CONNECT TO EXISTING SANITARY SEWER IN PARK ST. APPLICANT TO PROVIDE CCTV INSPECTION OF RECEIVING PIPE TO DEMONSTRATE THAT IT IS IN GOOD CONDITION SO THAT IT MAY BE RE-USED.

**WATERLINE**  
A COMBINATION OF PUBLIC AND PRIVATE WATERLINE IS PROPOSED TO PROVIDE WATER SERVICE AND FIRE COVERAGE TO THE SITE.

**TRANSPORTATION**  
FRONTAGE IMPROVEMENTS (SIDEWALK, STREET TREES, REPLACEMENT C&G) TO BE PROVIDED AS GENERALLY DEPICTED. A NEW SITE ENTRANCE (CG-13) WILL BE CONSTRUCTED AND TRAVELWAYS/PARKING AREAS PROVIDED THROUGHOUT THE SITE AS SHOWN.

**FIRE**  
THE SUBJECT APPLICATION PROVIDES EMERGENCY ACCESS AS REQUIRED BY FAIRFAX COUNTY FIRE MARSHAL OFFICE (FMO). FINAL SITE PLAN SHALL BE APPROVED BY FMO.

**REFUSE COLLECTION**  
THE SITE SHALL BE SERVED BY TOWN TRASH COLLECTION SERVICE. OFFTRACKING TEMPLATE PROVIDED HEREIN TO DEMONSTRATE ADEQUATE SITE ACCESS.



4855 DUNS FRED AVENUE SUITE 201 WOODBRIDGE, VIRGINIA 22192  
PH: 703-868-4555 FAX: 703-868-4775

CONCEPT PLAN  
VIENNA COURTS

**MODIFICATION REQUEST LETTER**

**BFR CONSTRUCTION**  
921 GLYNDON ST. SE  
VIENNA, VIRGINIA 22180

December 14, 2021

Michael Gallagher  
Director of Public Works - Town of Vienna  
127 Center St S  
Vienna, VA, 22180

RE: Site Plan Modifications for Vienna Courts at 127-131 Park St NE  
Mr Gallagher,

In conjunction with the rezoning of the property at 127-133 Park St NE, from T-zone to RM2, we respectfully request the following modifications for your consideration.

**Front Yard Modification Requested:**  
Required: 35' from front property line (18-58.D)  
Requested: 30' from the front property line for main building, 25' from the front property line for porches.  
Rationale: The front yards will not be used for driveways eliminating street cuts for the units along Park Street NE. The garage entry and parking will be accessed through a common drive aisle. This request is less than previously approved modifications for RM-2 projects.

**Rear Yard Modification Requested:**  
Required: 35' from the rear property line (18-58.F)  
Requested: 20' from the rear property.  
Rationale: The rear property line abuts an unusual jog in the residential lot along church street. This segment is approximately 15' wide and current and foreseeable use is unmanaged forestry. Similar modifications have been granted in recent years on RM2 projects when the required yard does not serve its intended purpose.

**Lot Coverage Modification Requested:**  
Required: 25% (18-58.I)  
Requested: 70% Shown as 68% on the plan set.  
Rationale: This is a similar request to previously approved RM-2 projects. It was indicated at a work session that council members appreciated additional guest parking spaces. This request exceeds the amount shown on the plan set to accommodate changes in future site engineering, parking configuration or inclusion of outdoor amenity space.

**Lot Size Modification Requested:**  
Required: Section 18-58.A.2 states "all two-family dwellings for the purposes of computing area requirements shall be considered as occupying one lot and shall adhere to the area requirement as specified for the RS-10 zone except the area need not exceed 8,000 square feet."  
Requested: All 14 two-family units will occupy approximately 72,167 sqft.  
Rationale: This is a similar request to a recent RM-2 rezoning application. Our modification will have less impact as to traffic than the existing use and we are reducing the impact to the neighbors by limiting the building height to 30' and providing enhanced street improvements per the proffered conditions from the rezoning.

Thank you for your consideration,  
Steve Bukont- President of BFR Construction

**SITE ANALYSIS**

**PROPOSED ZONING** RY-2  
**SEC 18-58 - AREA REQUIREMENTS**  
A. GENERAL REQUIREMENTS:  
1. ALL SINGLE-FAMILY DETACHED DWELLINGS SHALL ADHERE TO THE AREA REQUIREMENTS AS SPECIFIED FOR THE RS-10 ZONE (SEE SECTION 18-33).  
2. ALL TWO-FAMILY DWELLINGS FOR PURPOSES OF COMPUTING AREA REQUIREMENTS SHALL BE CONSIDERED AS OCCUPYING ONE LOT AND EACH SUCH LOT SHALL ADHERE TO THE AREA REQUIREMENTS AS SPECIFIED FOR THE RS-10 ZONE EXCEPT THE AREA NEED NOT EXCEED 8,000 SQUARE FEET.

**B. LOT AREA:** EVERY LOT SHALL HAVE A MINIMUM AREA OF 8,000 SQUARE FEET. THE MINIMUM LOT AREA PER DWELLING UNIT FOR MULTIFAMILY DWELLINGS, INCLUDING RESIDENT EMPLOYEES' DWELLING UNITS, SHALL BE 2,000 SQUARE FEET.

**C. LOT WIDTH:** LOT WIDTHS SHALL BE A MINIMUM OF 70 FEET. THE MINIMUM WIDTH AT THE STREET LINE SHALL BE 40 FEET.

**D. FRONT YARD:** FRONT YARDS SHALL BE THE SAME AS THOSE SPECIFIED FOR THE RS-16 ZONE.

**E. SIDE YARD:** SIDE YARDS SHALL BE A MINIMUM OF 15 FEET EACH IN WIDTH. BUILDINGS OTHER THAN DWELLINGS AND THEIR ACCESSORY BUILDINGS SHALL HAVE A SIDE YARD ON EACH SIDE OF THE BUILDING OF NOT LESS THAN 25 FEET IN WIDTH. CORNER LOTS SHALL HAVE A SIDE YARD ALONG THE STREET SIDE OF AT LEAST 25 FEET IN WIDTH.

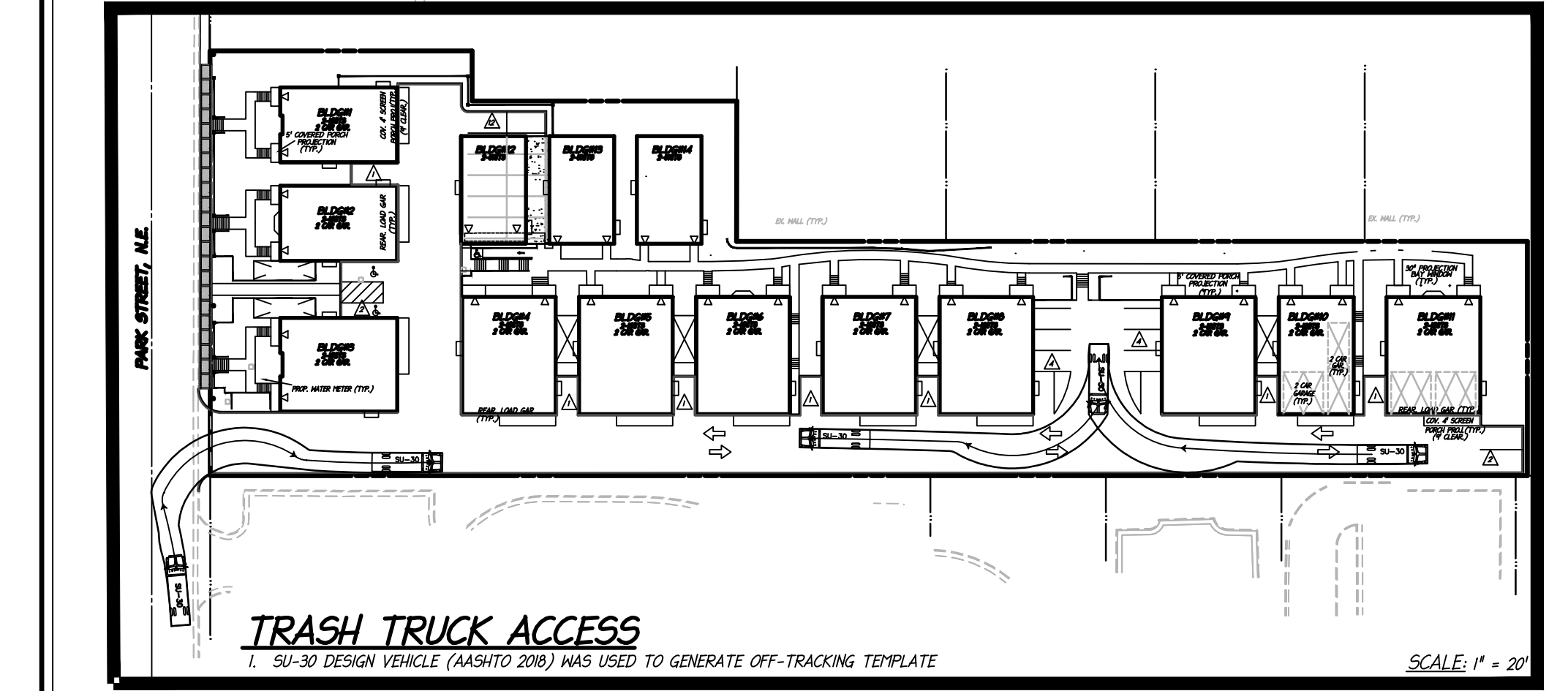
**F. REAR YARD:** REAR YARDS SHALL BE A MINIMUM OF 35 FEET IN DEPTH.

**G. COURT REQUIREMENTS:** NO COURT SHALL BE ENCLOSED BY WALLS ON ALL FOUR SIDES. A COURT SHALL HAVE A WIDTH EQUAL TO OR GREATER THAN THE HEIGHT OF THE ADJOINING BUILDING BUT IN NO CASE SHALL SAID WIDTH BE LESS THAN 20 FEET. THE DEPTH OF THE COURT SHALL NOT BE MORE THAN 1.5 TIMES ITS WIDTH.

**H. MULTIPLE-FAMILY DWELLINGS:** FOR THOSE PROJECTS OF MORE THAN ONE BUILDING, THE FRONT, SIDE, AND REAR YARD REQUIREMENTS FOR THIS SECTION SHALL APPLY ALONG THE BOUNDARY LINES OF THE PROJECT. THE MINIMUM DISTANCES BETWEEN THE PRINCIPAL BUILDINGS WITHIN THE PROJECT AREA SHALL BE AS FOLLOWS:  
1. WHERE BUILDINGS ARE FRONT TO FRONT, OR FRONT TO REAR, TWO TIMES THE HEIGHT OF THE TALLER BUILDING, BUT NOT LESS THAN 70 FEET;  
2. WHERE BUILDINGS ARE SIDE TO SIDE, ONE TIMES THE HEIGHT OF THE TALLER BUILDING, BUT NOT LESS THAN 20 FEET; AND  
3. WHERE BUILDINGS ARE FRONT TO SIDE, REAR TO REAR, 1.5 TIMES THE HEIGHT OF THE TALLER BUILDING BUT NOT LESS THAN 55 FEET, PROVIDED THAT WHERE ROADWAYS ARE LOCATED BETWEEN SAID BUILDINGS, THE WIDTH OF SUCH ROADWAY SHALL BE IN ADDITION TO THE ABOVE MINIMUM DISTANCES BETWEEN BUILDINGS.

PROPOSED DENSITY	1 UNIT PER 12,575 <sup>±</sup> (28 UNITS)
EXISTING USE	LIGHT OFFICE
PROPOSED USE	MULTI-FAMILY
ALLOWED BUILDING HEIGHT	35 FEET
PROPOSED MAXIMUM BUILDING HEIGHT	28 FEET
PROPOSED LOT COVERAGE	70% (MAXIMUM)
PROPOSED PARKING SPACES	77 SPACES (2 HANDICAP SPACES) 44 GARAGE SPACES (6 TANDEN) 12 SPACES @ BLDG#2 (ALL TANDEN) 21 VISITOR SPACES
TOTAL:	77 SPACES (2 HANDICAP SPACES)

**OFFICE OF THE FIRE MARSHAL**  
**FAIRFAX COUNTY, VIRGINIA**  
REVIEW ID: 80519



1. 50-FOOT DESIGN VEHICLE (AASHTO 200) WAS USED TO GENERATE OFF-TRACKING TEMPLATE

NO.	DATE	DESIGNER	REVISION	APPROVED BY
1	12/14/21	JCM	1	MM

I HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.

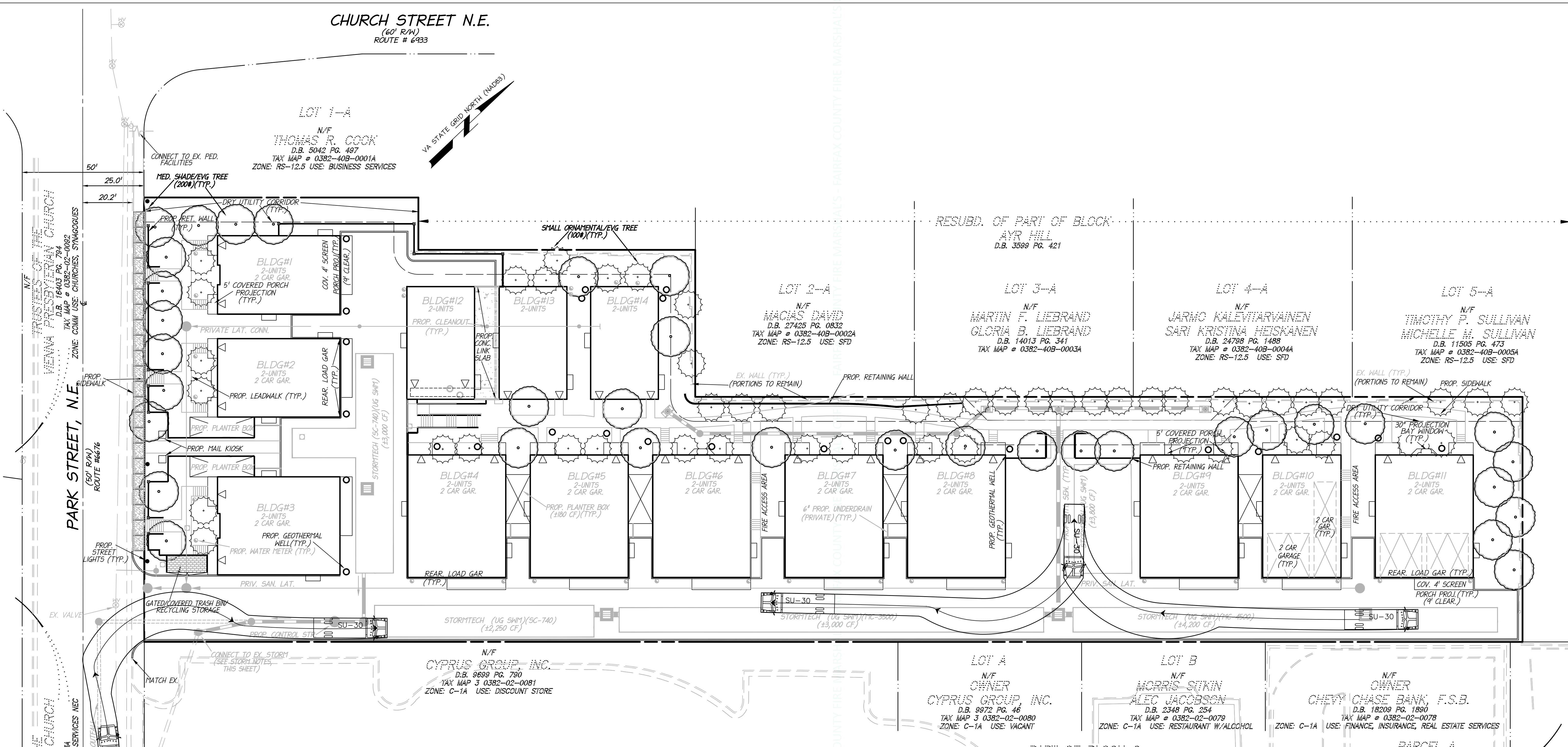
SCALE: 1" = 20'

SHEET 4 OF 7

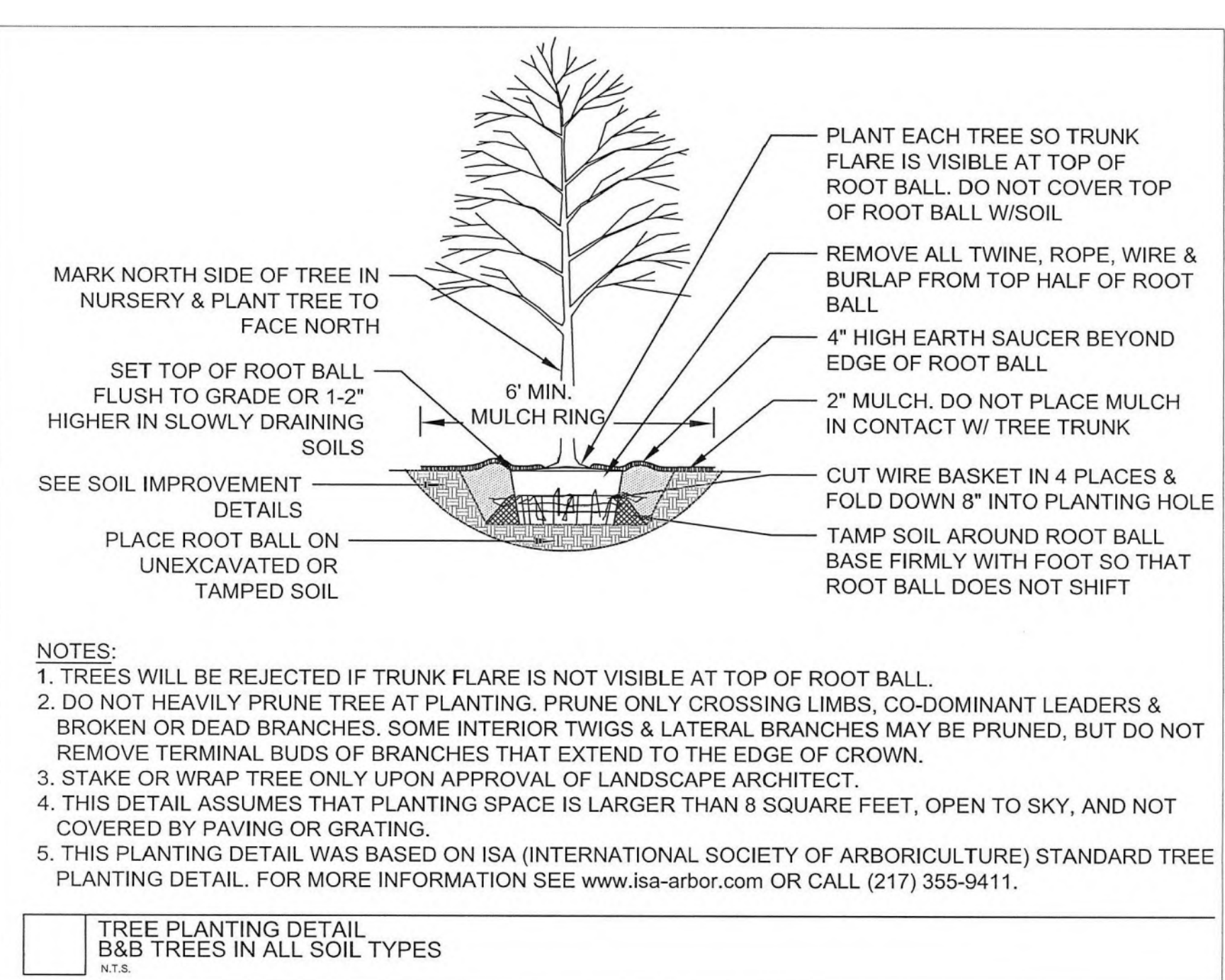
DATE: DECEMBER, 2021  
DRAFT: JCM CHECK: MM  
FILE NUMBER: 202068-2-0  
TOV # \_\_\_\_\_



CHURCH STREET N.E.  
(60' R/W)  
ROUTE # 6493



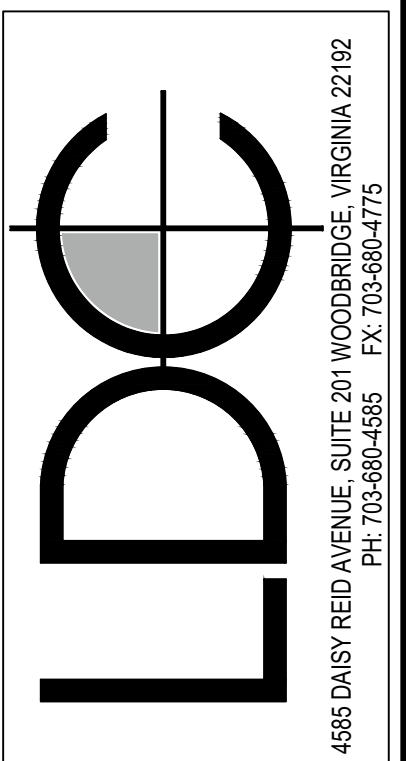
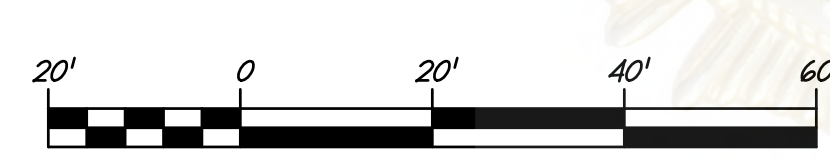
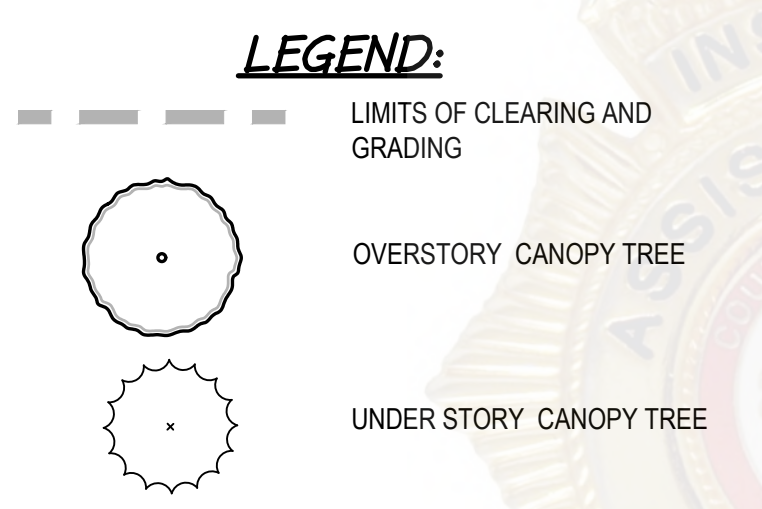
OFFICE OF THE FIRE MARSHAL  
FAIRFAX COUNTY, VIRGINIA  
REVIEW ID: 80519



PRELIM. CANOPY COVER - VIENNA COURTS

Symbol	Species (Common name)	Quantity	Planting Size	Type	Spacing	20 Year Canopy Coverage (sq. ft.)	20 Year Credit total	Comments
	Overstory Canopy Tree	30	2-2.5" Cal.	B&B	As Shown	200	6000	Full, single stem
<b>Total</b>		<b>30</b>						
	Understory Canopy Tree	50		B&B	As Shown	100	5000	
<b>Total</b>		<b>50</b>						
	<b>Plants</b>						<b>11000</b>	
	<b>Site Area</b>	<b>1.66</b>		<b>% Cover</b>		<b>15%</b>		

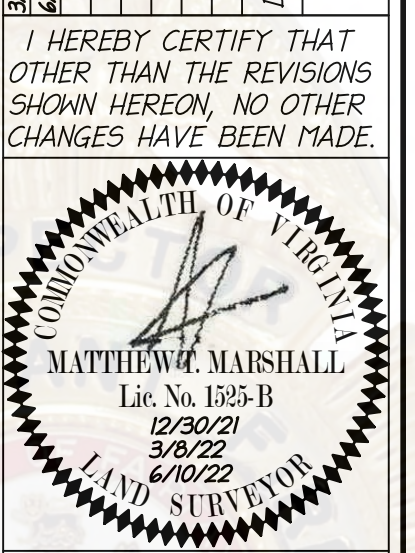
NOTE: PLANT SELECTION WILL BE DETAILED DURING THE SITE PLAN AND BAR APPROVAL PROCESS. THE APPLICANT WILL SELECT PLANTS AS APPROPRIATE AND IN CONSULTATION WITH THE TOWN ARBORIST. THE APPLICANT INTENDS TO USE A VARIETY OF TREES (OVER STORY, UNDERSTORY, DECIDUOUS AND EVERGREENS). ADDITIONAL PLANTINGS OF SHRUBS, SEASONAL COLOR, GROUND COVERS AND OTHER PLANTS WILL BE INCLUDED. PLANT SELECTION WILL BE OF A NATIVE VARIETY WHERE APPROPRIATE.



CONCEPT LANDSCAPE PLAN

VIENNA COURTS

DATE	DESCRIPTION	REVIEW BY	APPROVED DATE



SCALE:  
1" = 20'

SHEET 4A OF 7

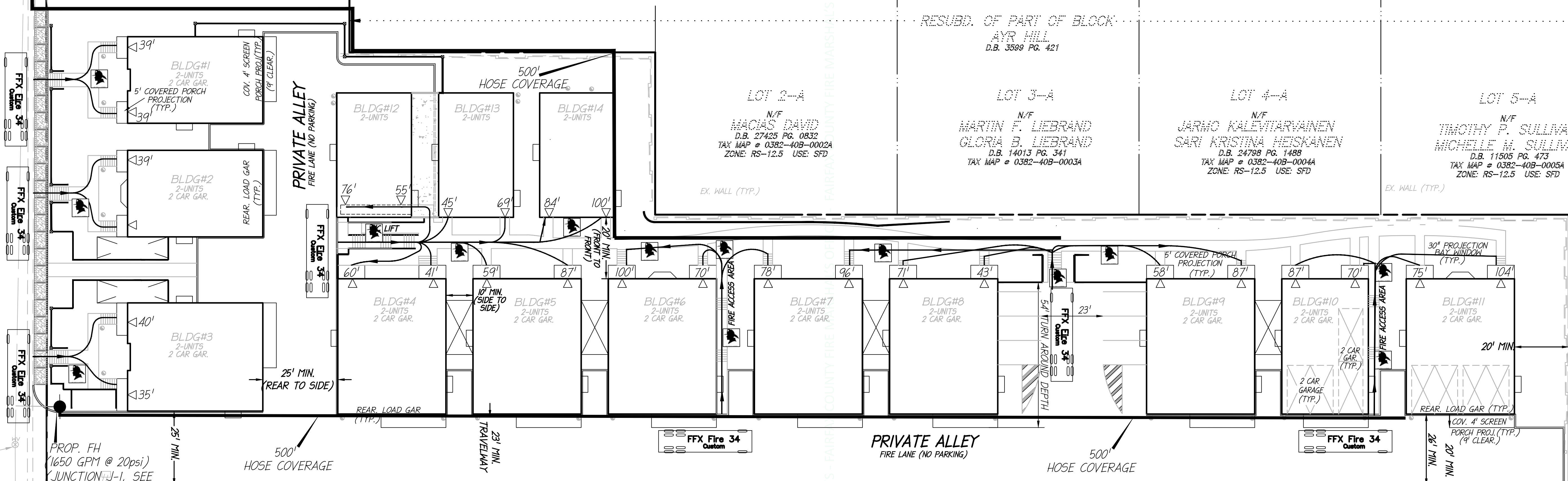
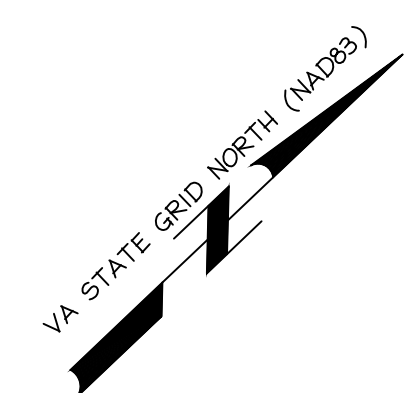
DATE: DECEMBER, 2021  
DRAFT: JCM CHECK: MM  
FILE NUMBER: 20268-2-G  
TOV # \_\_\_\_\_



CHURCH STREET N.E.

LOT 1-A

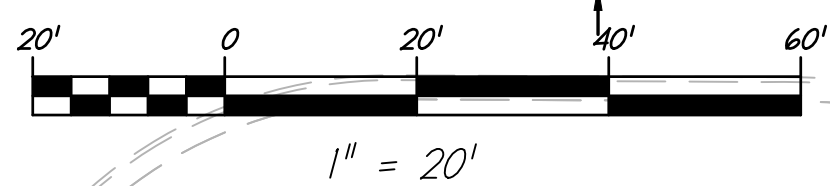
N/F  
THOMAS R. COOK  
D.B. 5042 PG. 497  
TAX MAP # 0382-40B-0001A  
ZONE: RS-12.5 USE: BUSINESS SERVICES



PROP. FH  
(1650 GPM @ 20psi)  
JUNCTION: J-1, SEE  
FIRE FLOW RESULTS  
BELOW

**PROPOSED FIRE FLOW**  
PER PROPOSED HYDRAULIC MODEL COMPLETED 5-31-22

Label	Elevation (ft)	Demand (gpm)	Hydraulic Grade (ft)	Pressure (psi)
J-1	367.00	1,650	412.86	20



**FIRE MARSHAL NOTES**

AVAILABLE FIRE FLOW 1,650 GPM AVAILABLE (GAL./MIN.)  
 SOURCE OF FIRE FLOW INFO: TOWN OF VIENNA (4/25/22)  
 TYPE OF CONSTRUCTION - USBC VB  
 USE GROUP CLASSIFICATION - USBC R5  
 PROPOSED BUILDING HEIGHT 35' (FT.)  
 BUILDING TO BE FULLY SPRINKLERED  YES  NO  
 IF YES, CHECK APPROPRIATE STANDARD: NFPA 13  ; NFPA 13D  ; NFPA 13R   
 (TO BE DETERMINED WITH FINAL SITE/ARCHITECTURAL DESIGN)  
 PROPOSED NUMBER OF FLOORS 3

**NOTES**

- UPON DETAILED REVIEW OF FINAL SITE PLAN BY FIRE MARSHAL'S OFFICE (FMO) A MODIFICATION FOR FIRE FLOW MAY BE REQUIRED.
- FIRE LINES AND FDC LOCATIONS SHALL BE ACCURATELY DEPICTED ON FINAL SITE PLAN PURSUANT TO FINAL REQUEST FROM FMO.

**SYMBOLS**

- DENOTES FIREFIGHTER ACCESS PATH
- DENOTES HOSE PATH
- DENOTES PRINCIPAL ENTRANCE

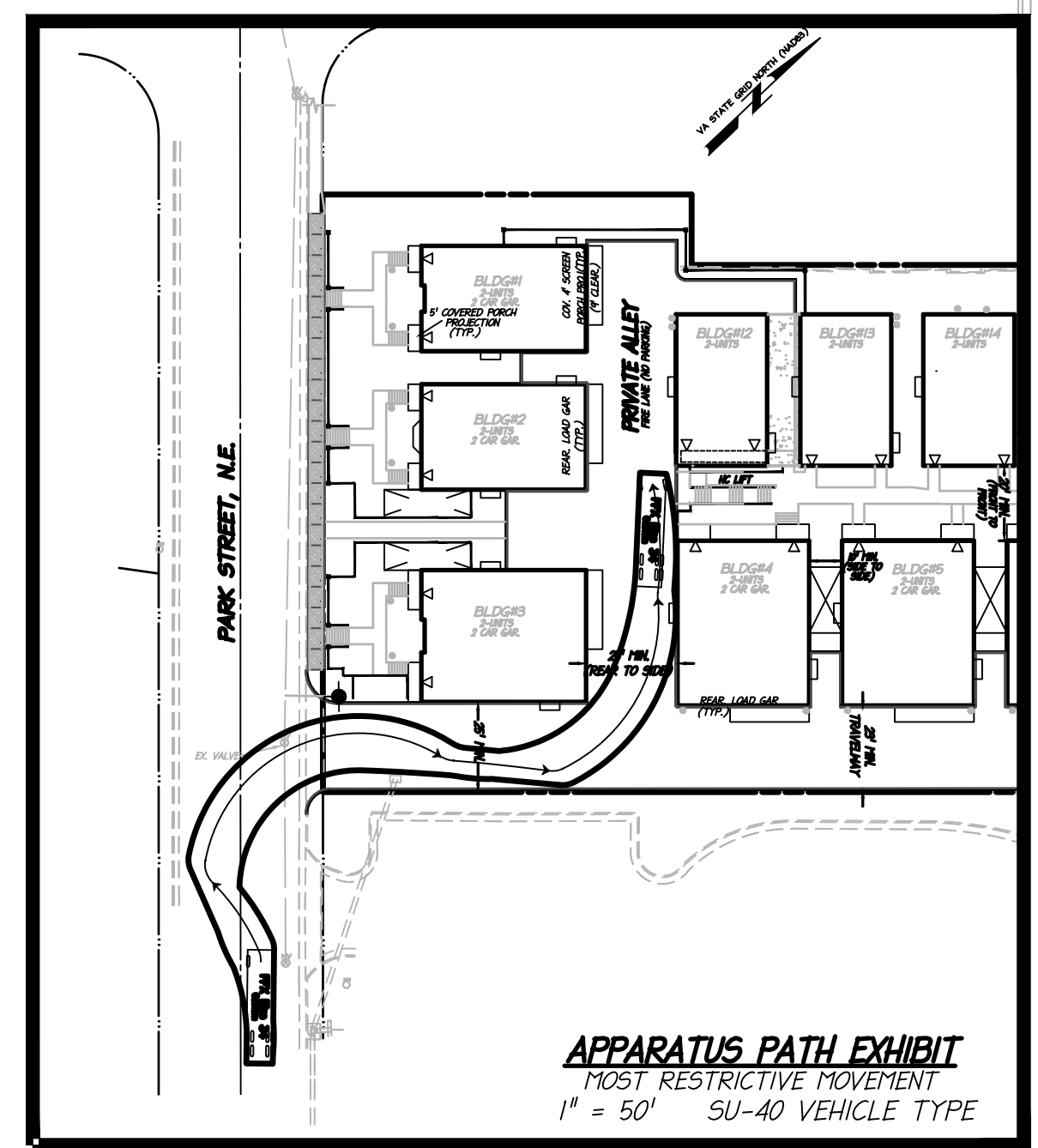
N/F  
CYPRUS GROUP, INC.  
D.B. 9699 PG. 790  
TAX MAP 3 0382-02-0081  
ZONE: C-1A USE: DISCOUNT STORE

LOT A  
N/F  
OWNER  
CYPRUS GROUP, INC.  
D.B. 9972 PG. 46  
TAX MAP 3 0382-02-0080  
ZONE: C-1A USE: VACANT

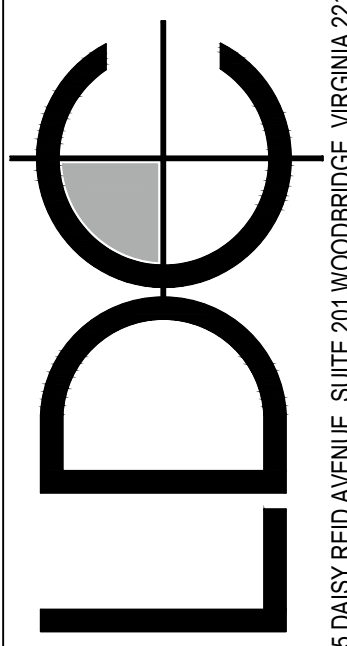
LOT B  
N/F  
MORRIS SITKIN  
ALEC JACOBSON  
D.B. 2348 PG. 254  
TAX MAP # 0382-02-0079  
ZONE: C-1A USE: RESTAURANT W/ALCOHOL

N/F  
OWNER  
CHEVY CHASE BANK, F.S.B.  
D.B. 18208 PG. 1890  
TAX MAP # 0382-02-0078  
ZONE: C-1A USE: FINANCE, INSURANCE, REAL ESTATE SERVICES

PARCEL A  
BLOCK C  
AYR HILL  
D.B. 1791 PG. 324  
N/F  
JASSMIN CORPORATION  
D.B. 12998 PG. 2020  
TAX MAP # 0382-02-0077C  
ZONE: C-1A USE: CONVENIENCE GROCERY



**APPARATUS PATH EXHIBIT**  
MOST RESTRICTIVE MOVEMENT  
1" = 50' 50-40 VEHICLE TYPE



FIRE MARSHAL  
PLAN

VIENNA COURTS

4595 DASH REED AVENUE SUITE 201 WOODBRIDGE, VIRGINIA 22192  
PH: 703-864-5555 FAX: 703-864-7175

TOWN OF VIENNA, VIRGINIA

NO.	DATE	DESCRIPTION	REVISION	APPROVED BY:
1	3/8/22	TOT COMMENTS		
2	3/8/22	FMO COMMENTS		
3	3/8/22	FMO COMMENTS		

HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.



SCALE:  
AS NOTED

SHEET AB  
OF 7

DATE: DECEMBER, 2021  
DRAFT: JCM CHECK: MM  
FILE NUMBER: 20268-2-C  
TOV # \_\_\_\_\_



Virginia Runoff Reduction Method ReDevelopment Worksheet - v2.8 - June 2014

To be used w/ 2011 BMP Standards and Specifications  
Site Data

Project Name: Vienna Courts	
Date: November 19, 2021	
data input cells	
calculation cells	
constant values	

Post-ReDevelopment Project & Land Cover Information Total Disturbed Acreage 1.66

Constants	
Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Phosphorus EMC (mg/L)	0.26
Target Phosphorus Target Load (lb/acre/yr)	0.41
Pj	0.90
Nitrogen EMC (mg/L)	1.86

Pre-ReDevelopment Land Cover (acres)					
	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.66	0.66
Impervious Cover (acres)	0.00	0.00	0.00	1.00	1.00
<b>Total</b>					<b>1.66</b>

Post-ReDevelopment Land Cover (acres)					
	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.27	0.27
Impervious Cover (acres)	0.00	0.00	0.00	1.39	1.39
<b>Total</b>					<b>1.66</b>

Area Check				
Okay	Okay	Okay	Check Areas	

Rv Coefficients	
Forest/Open Space	0.02
Managed Turf	0.15
Impervious Cover	0.95

Land Cover Summary		Land Cover Summary	
Pre-Development	Adjusted <sup>1</sup>	Pre-Development	Adjusted <sup>1</sup>
Forest/Open Space Cover (acres)	0.00	Forest/Open Space Cover (acres)	0.00
Composite Rv(forest)	0.00	Composite Rv(forest)	0.00
% Forest	0%	% Forest	0%
Managed Turf Cover (acres)	0.66	Managed Turf Cover (acres)	0.27
Composite Rv(turf)	0.25	Composite Rv(turf)	0.25
% Managed Turf	40%	% Managed Turf	21%
Impervious Cover (acres)	1.00	Impervious Cover (acres)	1.00
Rv(impervious)	0.95	Rv(impervious)	0.95
% Impervious	60%	% Impervious	79%
<b>Total Site Area (acres)</b>	<b>1.66</b>	<b>Total ReDev. Site Area (acres)</b>	<b>1.27</b>
<b>Site Rv</b>	<b>0.67</b>	<b>ReDev. Site Rv</b>	<b>0.80</b>

Pre-Development Treatment Volume (acre-ft)		0.0928	0.0848
Pre-Development Treatment Volume (cubic feet)		4,044	3,694
Pre-Development Load (TP) (lb/yr)		2.54	2.32
Post-Development Treatment Volume (acre-ft)			
Post-Development Treatment Volume (cubic feet)			
Post-Development Load (TP) (lb/yr)			

Maximum % Reduction Required Below Pre-ReDevelopment Load	20%
TP Load Reduction Required for Redeveloped Area (lb/yr)	0.46
Total Load Reduction Required (lb/yr)	1.15
Pre-Development Load (TN) (lb/yr)	18.18
Post-Development Load (TN) (lb/yr)	22.69

<sup>1</sup>Adjusted Land Cover Summary reflects the pre redevelopment land cover minus the previous land cover (forest/open space or managed turf) acreage proposed for new impervious cover. The adjusted total acreage is consistent with the Post Redevelopment acreage (minus the acreage of new impervious cover). The load reduction requirement for the new impervious cover to meet the new development load limit is computed in Column I.

OFFICE OF THE FIRE MARSHAL  
FAIRFAX COUNTY, VIRGINIA  
REVIEW ID: 80519

Drainage Area A

Drainage Area A Land Cover (acres)						
	A soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.09	0.09	0.25
Impervious Cover (acres)	0.00	0.00	0.00	1.24	1.24	0.95
<b>Total</b>					<b>1.33</b>	

Drainage Area B

Drainage Area B Land Cover (acres)						
	A soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.09	0.09	0.25
Impervious Cover (acres)	0.00	0.00	0.00	0.15	0.15	0.95
<b>Total</b>					<b>0.24</b>	

Apply Runoff Reduction Practices to Reduce Treatment Volume & Post-Development Load in Drainage Area A

Credit	Unit	Description of Credit	Credit	Credit Area (acres)	Volume from Upstream RR Practices (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practices (lbs)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
2.i. To Stormwater Planter (Urban Bioretention) (Spec #9, Appendix A)	impervious acres disconnected	40% runoff volume reduction for treated area	0.40	0.47	0	648	972	25	0.00	1.02	0.56	0.46	14. Manufactured Device
<b>TOTAL IMPERVIOUS COVER TREATED (ac)</b>					<b>0.47</b>								
<b>TOTAL TURF AREA TREATED (ac)</b>					<b>0.00</b>								
<b>AREA CHECK OK.</b>													
<b>TOTAL PHOSPHOROUS REMOVAL REQUIRED ON SITE (lb/yr)</b>					<b>1.15</b>								
<b>TOTAL RUNOFF REDUCTION IN D.A. A (cf)</b>					<b>648</b>								
<b>PHOSPHORUS REMOVAL FROM RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr)</b>					<b>0.56</b>								

Apply Practices that Remove Pollutants but Do Not Reduce Runoff Volume

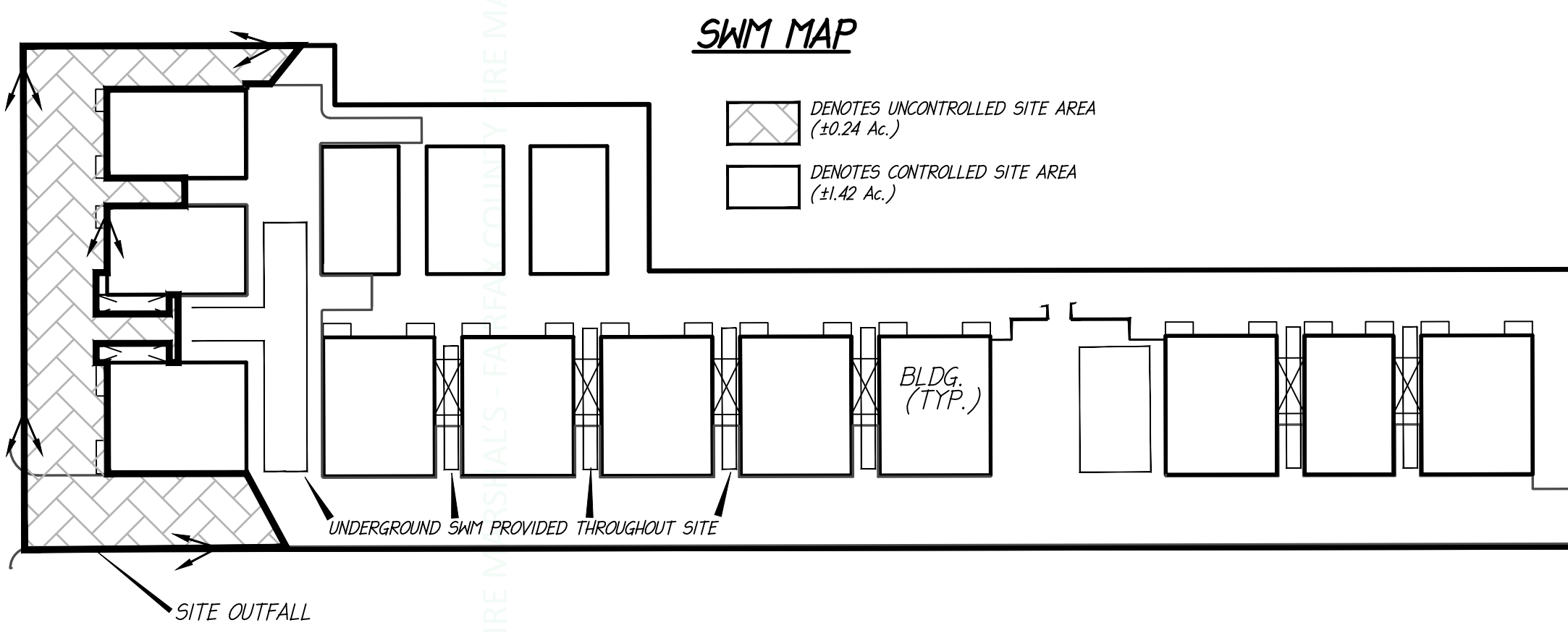
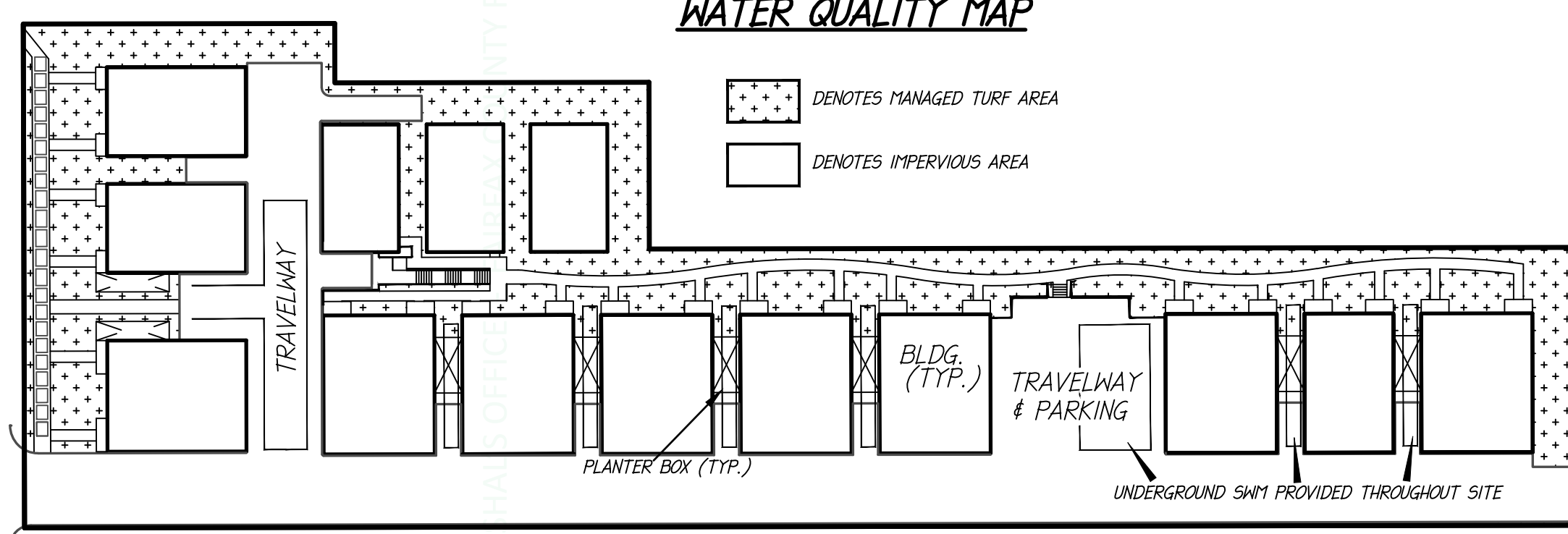
Practice	Unit	Description of Credit	Credit	Area (excluding areas treated by upstream practices)	Runoff from Upstream RR Practices (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practices (lbs)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
14. Manufactured BMP	impervious acres draining to device	0% runoff volume reduction	0.00	0.77	972.48	0	3628	50	0.46	1.67	1.06	1.06	
14. Insert Name of Device	turf acres draining to device	0% runoff volume reduction	0.00	0.09	0.00	0	310	0	0.00	0.05	0.00	0.05	
<b>TOTAL IMPERVIOUS COVER TREATED (ac)</b>					<b>1.24</b>								
<b>TOTAL TURF AREA TREATED (ac)</b>					<b>0.09</b>								
<b>AREA CHECK OK.</b>													
<b>PHOSPHORUS REMOVAL BY PRACTICES THAT DO NOT REDUCE RUNOFF VOLUME IN D.A. A</b>					<b>1.06</b>								
<b>TOTAL PHOSPHORUS REMOVAL IN D.A. A (lb/yr)</b>					<b>1.62</b>								

Site Results

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
IMPERVIOUS COVER	1.24	0.15	0.00	0.00	0.00	OK
IMPERVIOUS COVER TREATED	1.24	0.00	0.00	0.00	0.00	OK
TURF AREA	0.09	0.09	0.00	0.00	0.00	OK
TURF AREA TREATED	0.09	0.00	0.00	0.00	0.00	OK
AREA CHECK	OK	OK	OK	OK	OK	

Phosphorous

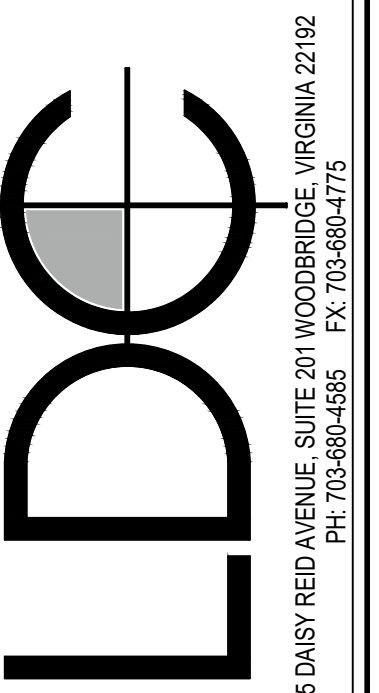
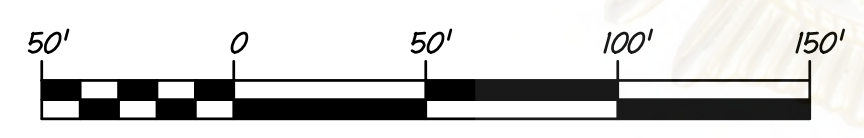
TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED (LB/YEAR)	1.15
RUNOFF REDUCTION (cf)	648
PHOSPHOROUS LOAD REDUCTION ACHIEVED (LB/YR)	1.62
ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD (TP) (lb/yr)	1.54
REMAINING PHOSPHOROUS LOAD REDUCTION (LB/YR) NEEDED	CONGRATULATIONS!! YOU EXCEEDED THE TARGET REDUCTION BY 0.5 LB/YEAR!!



SWM NARRATIVE

WATER QUANTITY AND QUALITY REQUIREMENTS WILL BE SATISFIED ONSITE THROUGH A COMBINATION OF PLANTER BOXES AND UG SWM. THE UG SWM IS AN ASSUMED MANUFACTURED TREATMENT DEVICE WITH A PHOSPHOROUS REMOVAL EFFICIENCY OF 50%. WATER QUALITY COMPLIANCE WAS BASED ON RE-DEVELOPMENT REQUIREMENTS. APPLICANT RESERVES THE RIGHT TO PURCHASE NUTRIENT CREDITS IN THE EVENT CRITERIA CANNOT BE MET ONSITE PURSUANT TO FINAL ENGINEERING AND DESIGN.

CHANNEL AND FLOOD PROTECTION ARE PROVIDED ONSITE AS WELL. FOR WATER QUANTITY PURPOSES, REQUIRED REDUCTIONS WERE BASED ON SITE RUNOFF GENERATED FROM SITE IN ITS CURRENT CONDITION; DEVELOPED WITH 4 BUILDINGS AND OVER 100 PARKING SPACES AND NOT FROM A GOOD, FORESTED CONDITION.



VRRM

VIENNA COURTS

NO.	DATE	DESCRIPTION	REVIEW BY	APPROVED DATE
1	10/22/21	TOV CORRECTIONS		
2	11/01/21	TOV CORRECTIONS		

I HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.

MATTHEW MARSHALL  
Lic. No. 195-B  
2/2021  
3/8/22  
6/10/22  
L-1-VIENNA COURTS

SCALE:  
1" = 50'

SHEET 5 OF 7

DATE: DECEMBER, 2021

DRAFT: JCM CHECK: MM

FILE NUMBER: 20268-2-0

TOV # \_\_\_\_\_





"A" NORTH ELEVATION @ GARDEN ALLEY

scale 1:150



"C" SOUTH ELEVATION @ GARDEN ALLEY

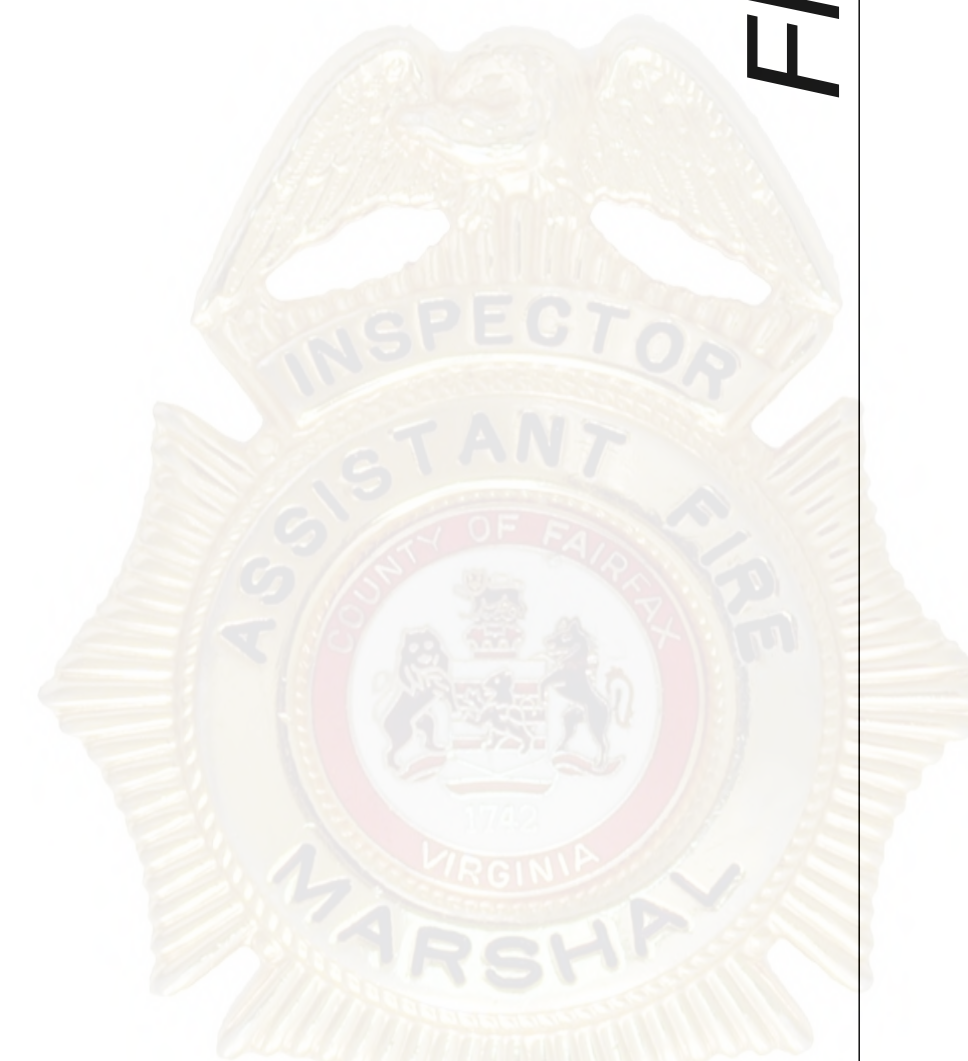
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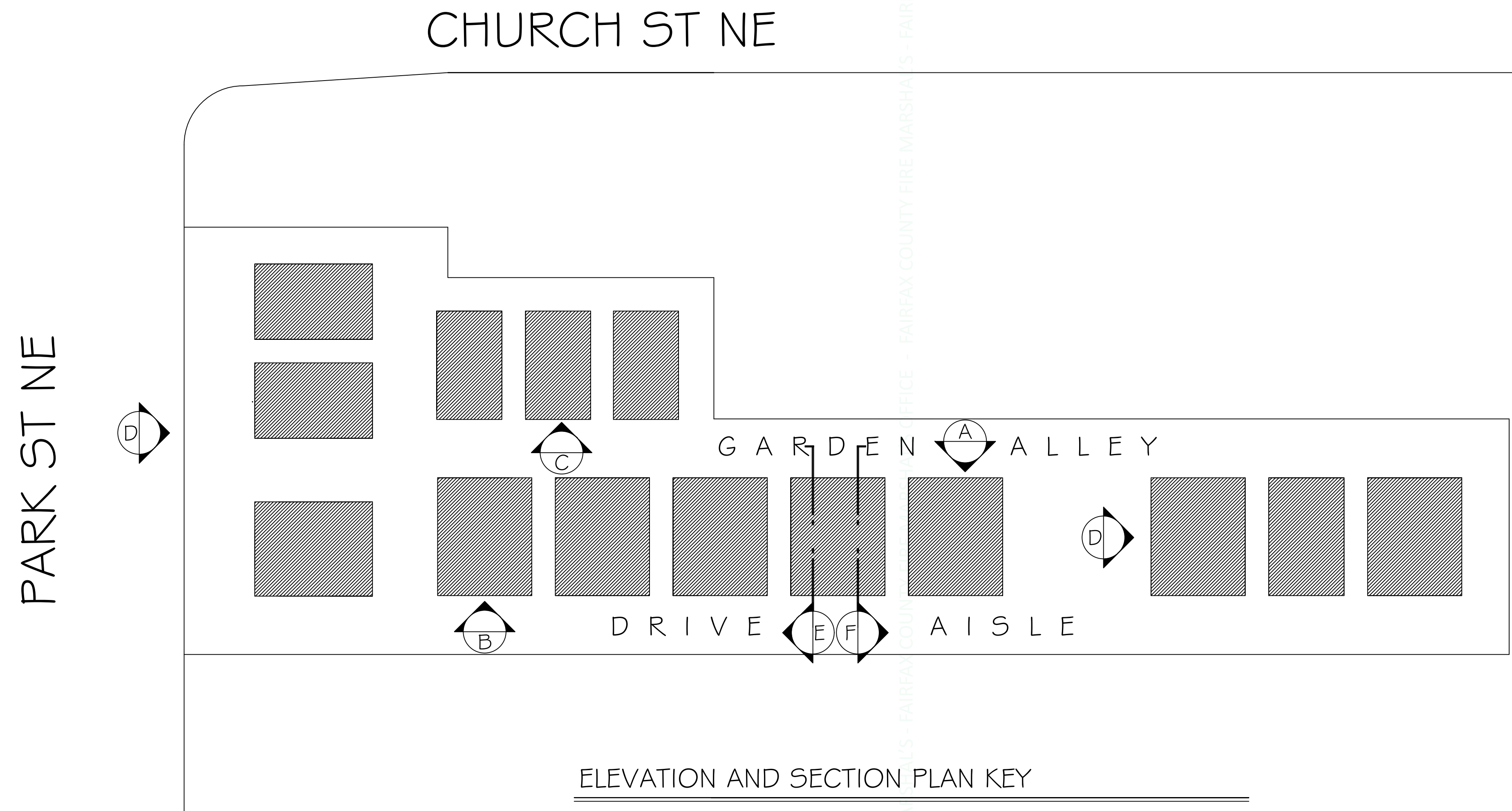
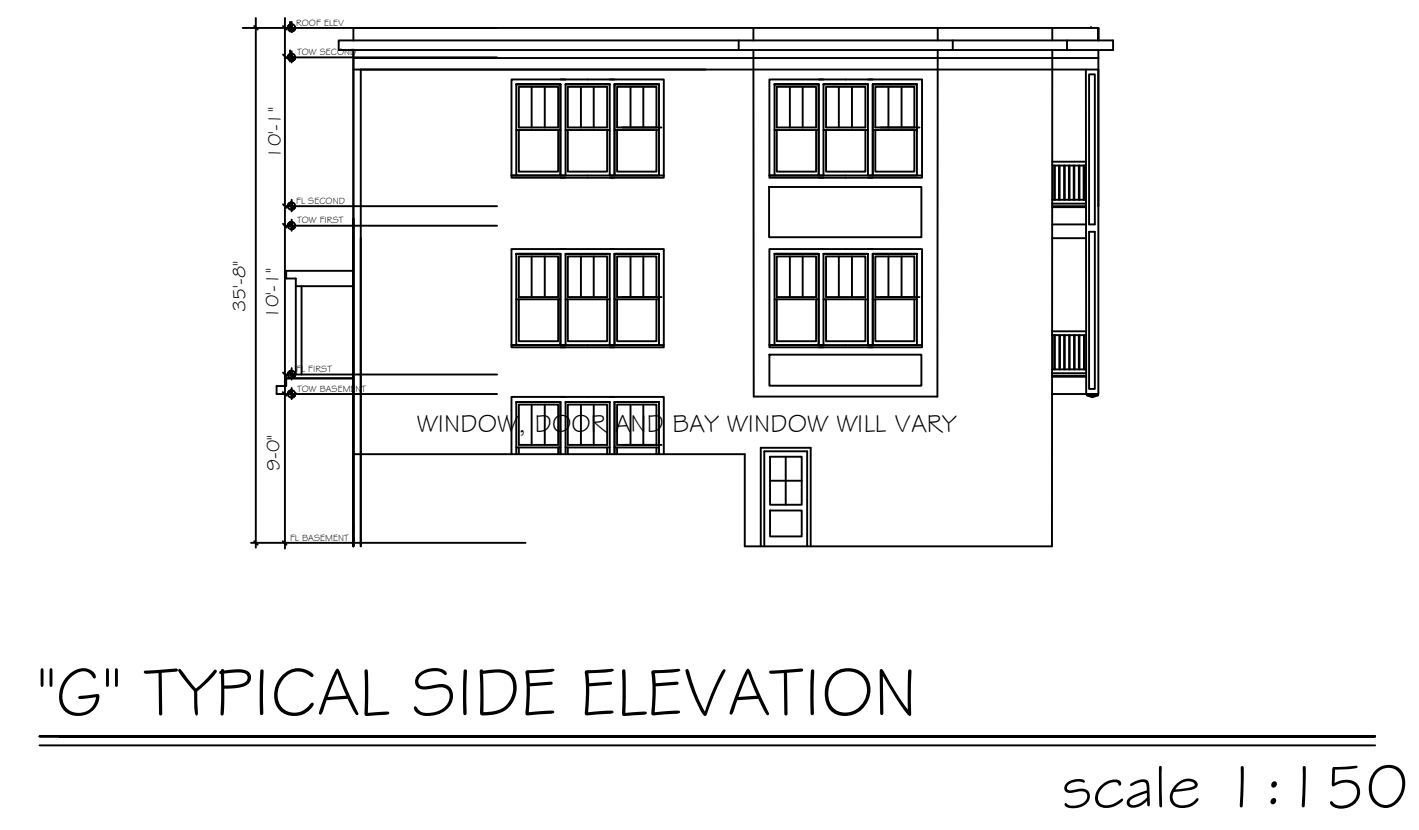
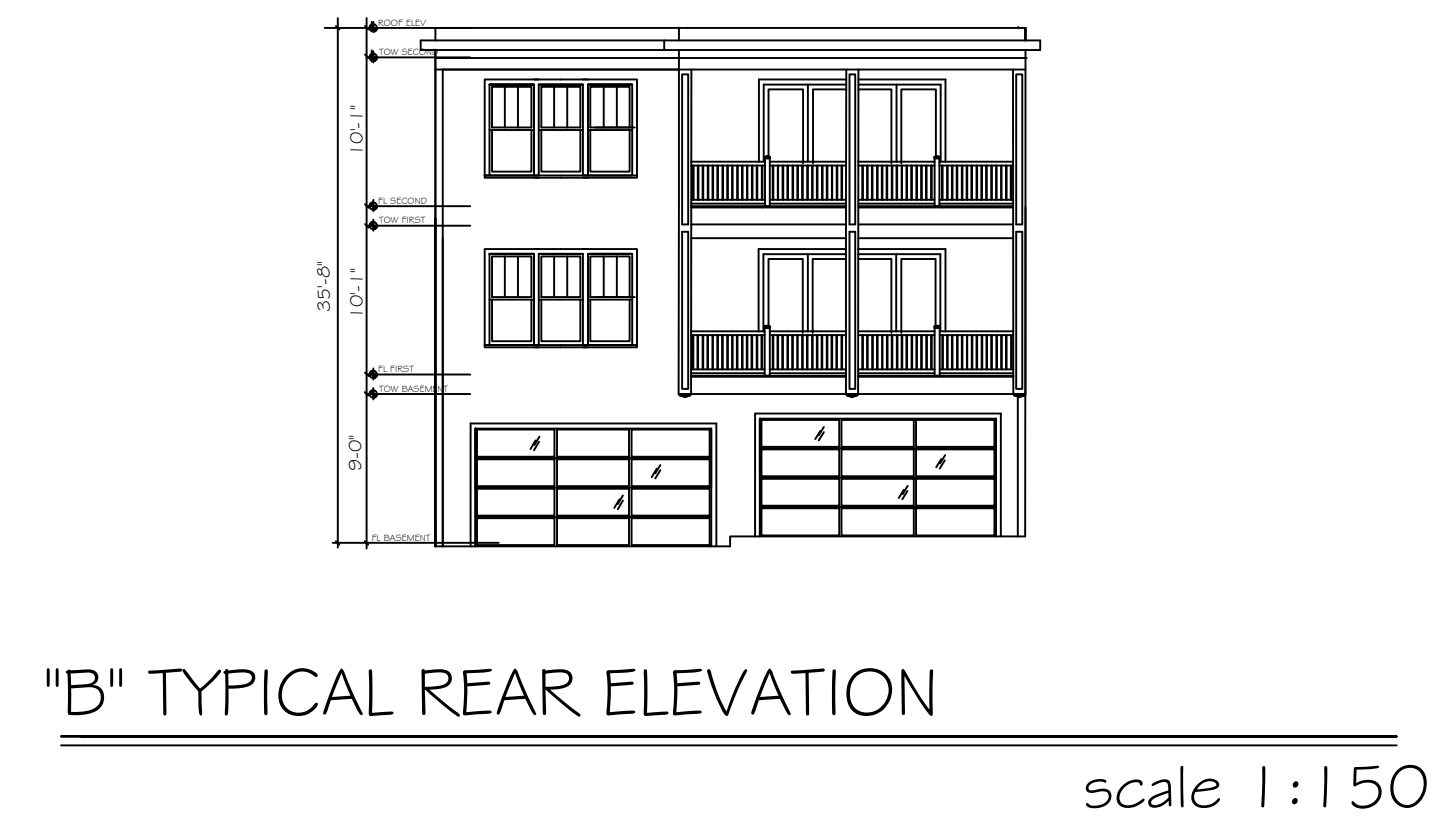
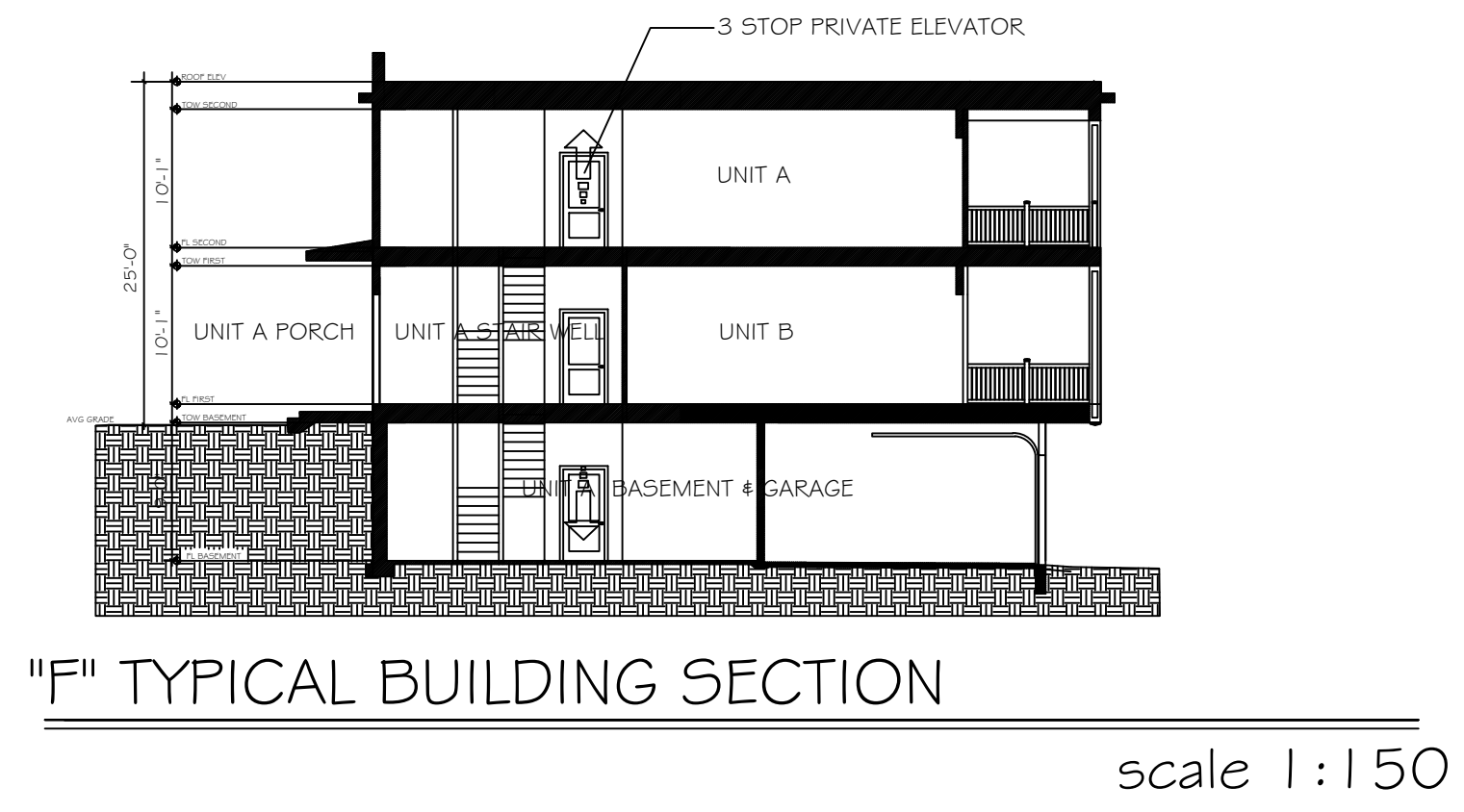
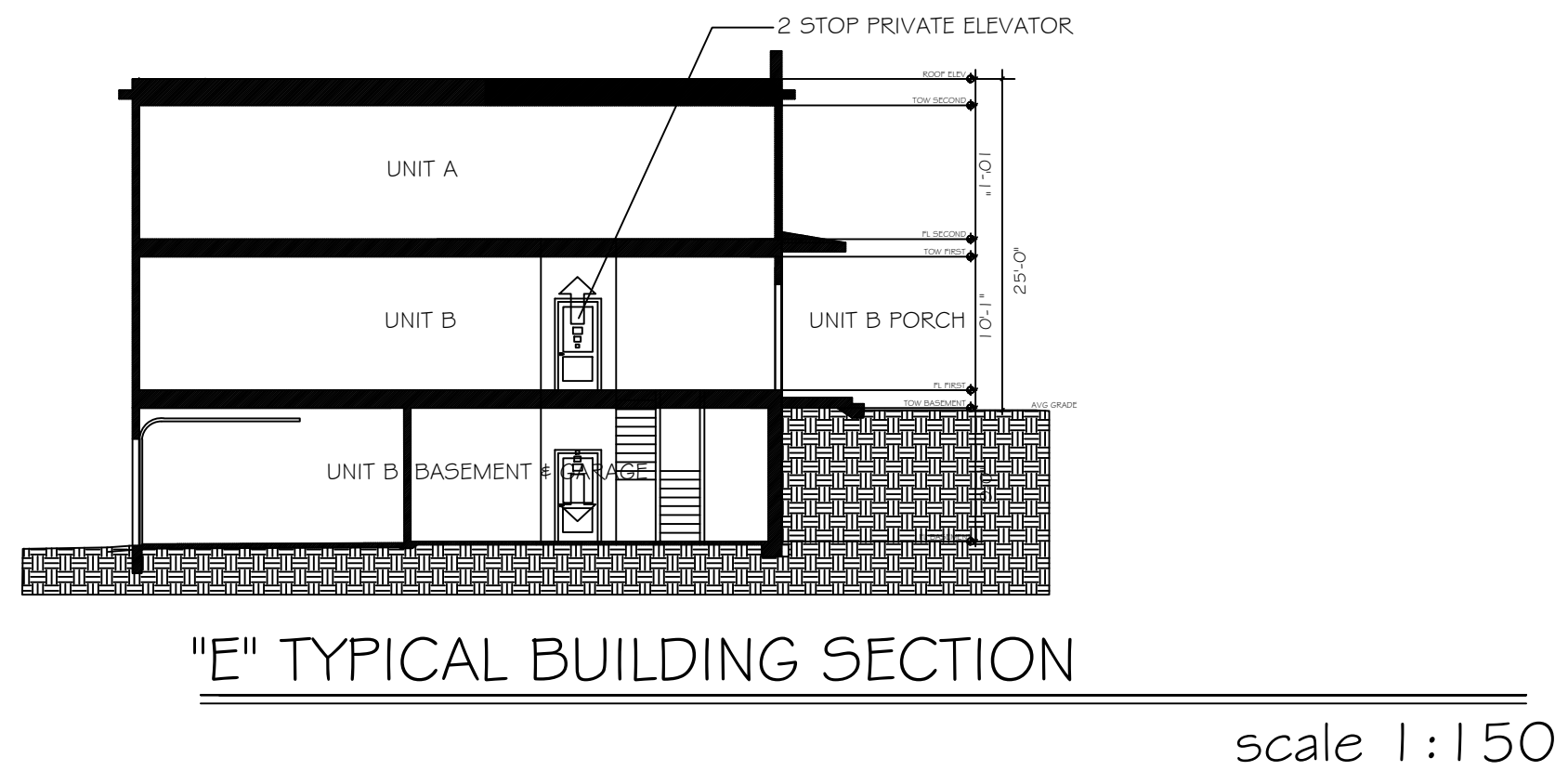
"D" ELEVATION @ PARK STREET NE

scale 1:150

FRONT ELEVATIONS







REAR ELEVATIONS & BUILDING SECTIONS

