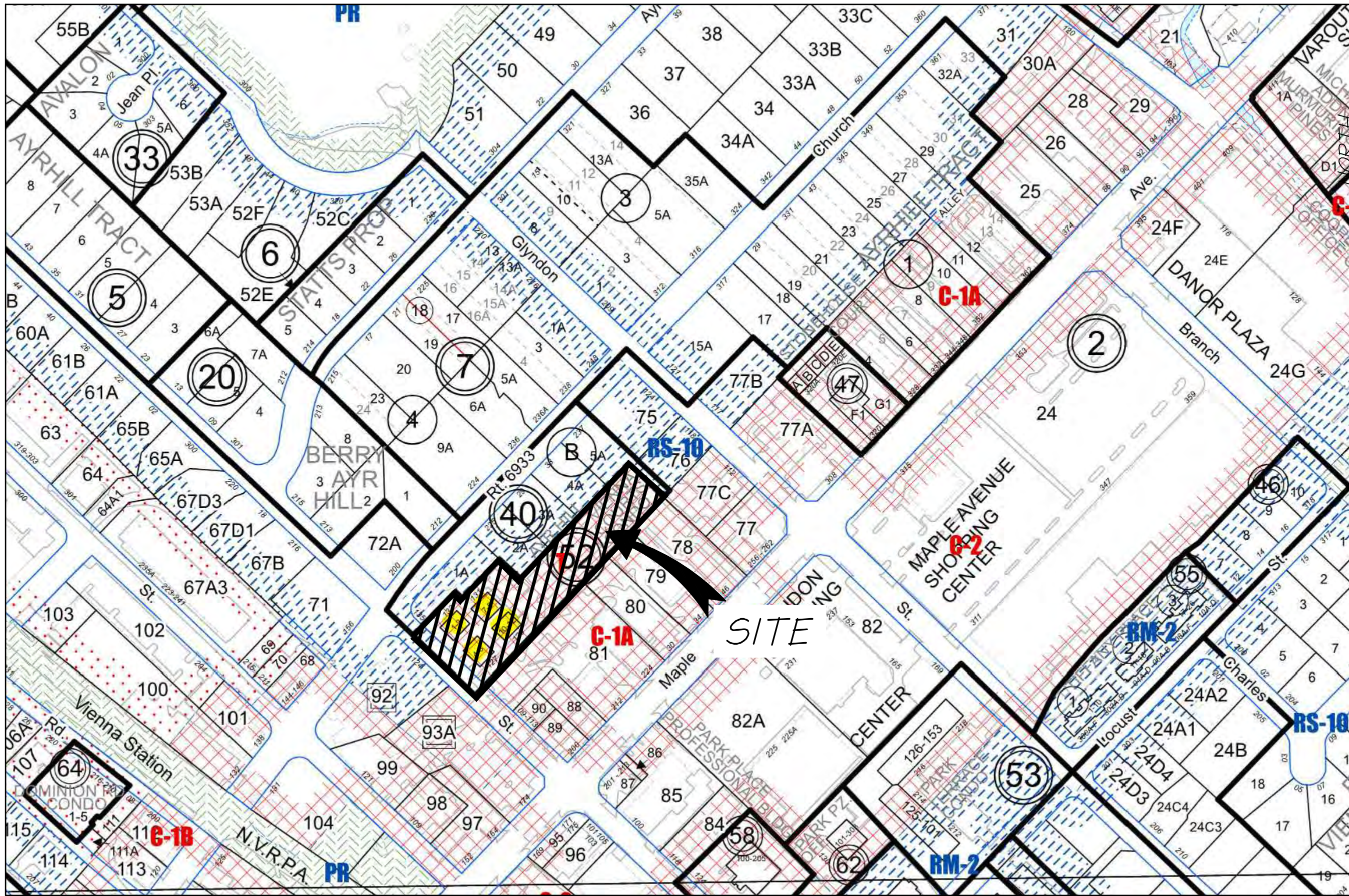


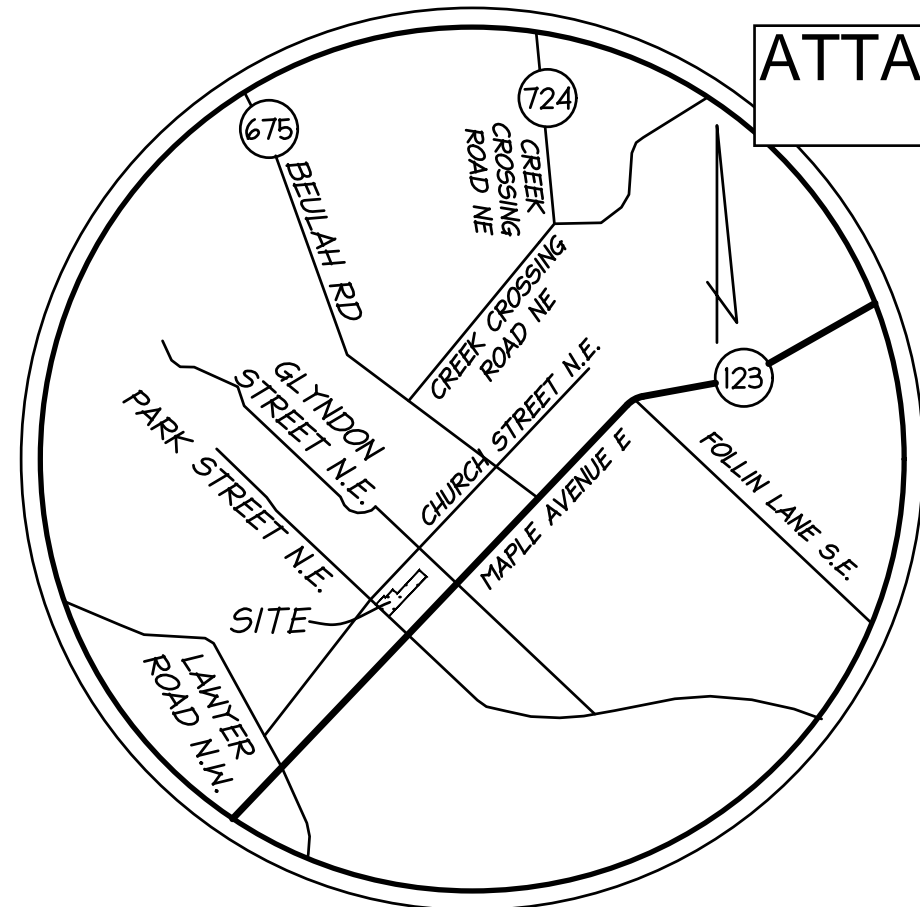
REZONING OF
127-133 PARK ST, N.E.
TOWN OF VIENNA, VIRGINIA



ZONING MAP
SCALE : 1" = 200'

SOIL INFORMATION

SOIL #	SOIL NAME	PROBLEM CLASS	FOUNDATION SUPPORT	DRAINAGE	EROSION POTENTIAL
95	URBAN LAND	IVB	N/A	N/A	N/A



VICINITY MAP
SCALE : 1" = 2,000'

SITE OVERVIEW:

SITE AREA: 72,167# OR 1.65673 ACRES
EXISTING ZONE: T (TRANSITIONAL)
PROPOSED ZONE: RM-2

APPLICANT/CONTRACT OWNER:

BFR CONSTRUCTION COMPANY
921 GLYNDON ST., S.E.
VIENNA, VA 22180
SBUKONT@GMAIL.COM
(703)281-1054

PROPERTY OWNER(S):

THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON FAIRFAX COUNTY TAX MAP No. 0382-52-0001, 0002, 0003, 0004, 0005, 0006, 0007, 0008, 0009, 0010, 0011, AND 0012.
THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF TRUSTEES OF VIENNA PRESBYTERIAN CHURCH, BY DEED RECORDED IN DEED BOOK 5922 AT PAGE 1564, JOSEPH T. NOCERINO AND MARY ANN NOCERINO, TRUSTEES, BY DEED RECORDED IN DEED BOOK 23666 AT PAGE 1767 AND DEED BOOK 23666 AT PAGE 1771, EZRA PARTNERSHIP, BY DEED RECORDED IN DEED BOOK 19254 AT PAGE 532, DEED BOOK 5863 AT PAGE 365, DEED BOOK 6117 AT PAGE 1651, DEED BOOK 7699 AT PAGE 1031, AND DEED BOOK 19254 AT PAGE 532, MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVE AND FITTINGS INDUSTRY, INC. BY DEED RECORDED IN DEED BOOK 5921 AT PAGE 1069, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.

REZONING APPLICATION NOTE:

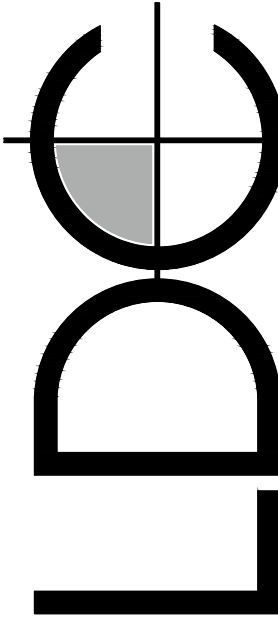
THIS REZONING APPLICATION IS CONCEPTUAL IN FORM AND DOES NOT CONSTITUTE AN ENGINEERING REVIEW. A FULL ENGINEERING REVIEW WILL BE CONDUCTED DURING SITE PLAN SUBMISSION UNDER SEPARATE COVER. APPROVAL OF THE REZONING DOES NOT MEAN THAT THE APPLICANT WILL NOT NEED TO ALTER THE CONCEPTUAL LAYOUT TO MEET CODES, REGULATIONS AND GOOD ENGINEERING PRACTICES. THE APPLICANT RESERVES THE RIGHT TO REQUEST FURTHER MODIFICATIONS OR WAIVERS TO SPECIFIC STANDARDS AS PART OF THE SITE PLAN REVIEW AND APPROVAL.

ZONING REQUEST:

THIS REZONING APPLICATION IS TO REZONE THE SUBJECT PROPERTY FROM T (TRANSITIONAL) TO RM-2 (LOW DENSITY, MULTI-FAMILY). THE PROPOSAL WILL DISSOLVE THE EXISTING CONDOMINIUM AND CONSOLIDATE THE LOT.

SHEET INDEX

- 1) COVER SHEET
- 2) BOUNDARY
- 3) EXISTING CONDITIONS PLAN
- 4) CONCEPT PLAN
- 4A) CONCEPT LANDSCAPE PLAN
- 4B) FIRE MARSHAL PLAN
- 5) VRRM
- 6) ARCHITECTURAL FRONT ELEVATIONS
- 7) ARCHITECTURAL REAR ELEVATION AND BUILDING SECTION



4595 DASHY REED AVENUE, SUITE 201, WOODBRIDGE, VIRGINIA 22192
P.O. BOX 4555, FAX 703-584-4715

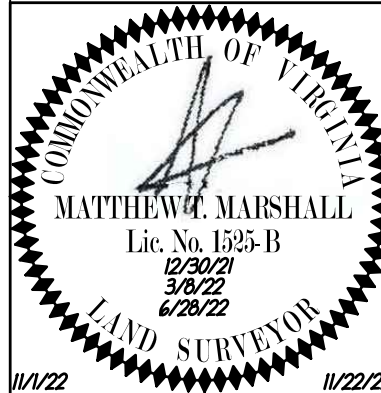
COVER SHEET

VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

NO.	DATE	DESCRIPTION	REVISION	APPROVED BY:
1	11/22/22	COVER SHEET		
2	11/22/22	BOUNDARY		
3	11/22/22	EXISTING CONDITIONS PLAN		
4	11/22/22	CONCEPT PLAN		
4A	11/22/22	CONCEPT LANDSCAPE PLAN		
4B	11/22/22	FIRE MARSHAL PLAN		
5	11/22/22	VRRM		
6	11/22/22	ARCHITECTURAL FRONT ELEVATIONS		
7	11/22/22	ARCHITECTURAL REAR ELEVATION AND BUILDING SECTION		

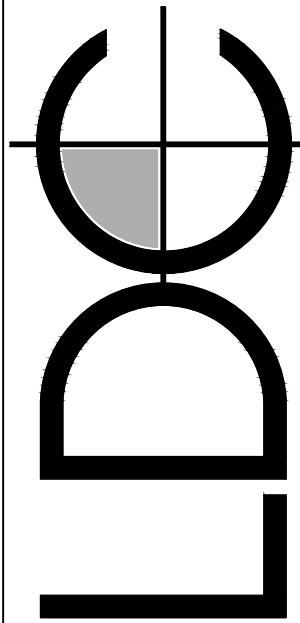
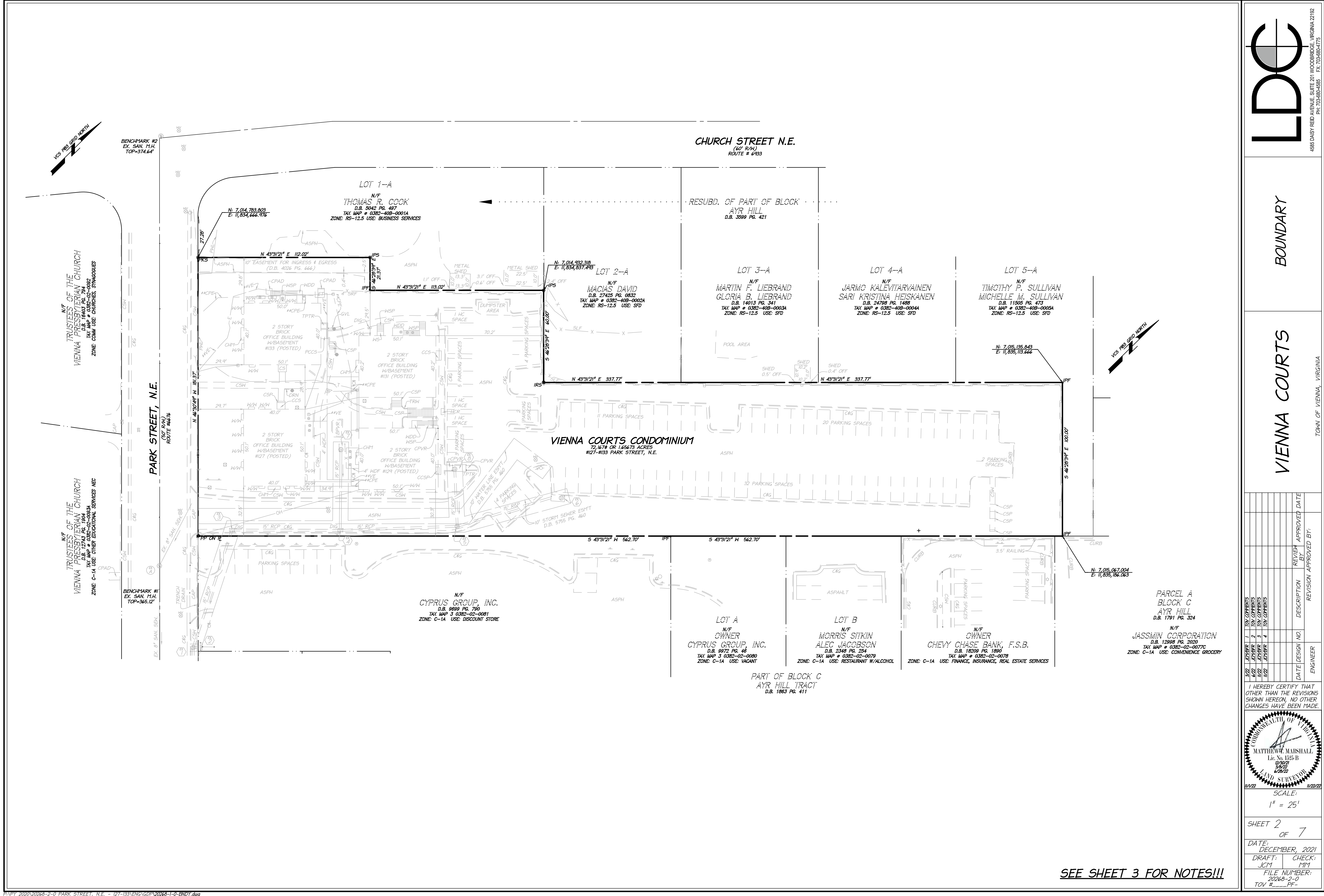
I HEREBY CERTIFY THAT
OTHER THAN THE REVISIONS
SHOWN HEREON, NO OTHER
CHANGES HAVE BEEN MADE.



SCALE:
AS SHOWN

SHEET 1
OF 7

DATE: DECEMBER, 2021
DRAFT: JCM CHECK: MM
FILE NUMBER: 20268-2-0
TOV # PF-



4535 DASHY REED AVENUE, SUITE 201, WOODBRIDGE, VIRGINIA 22192
TEL: 703-585-4555 FAX: 703-585-4715

BOUNDARY

VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

DATE	DESIGN	NO.	REVISION	APPROVED BY:	ENGINEER
11/22/22	1	1			
11/22/22	2	2			
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11/22/22	100	100			

I HEREBY CERTIFY THAT
OTHER THAN THE REVISIONS
SHOWN HEREON, NO OTHER
CHANGES HAVE BEEN MADE.

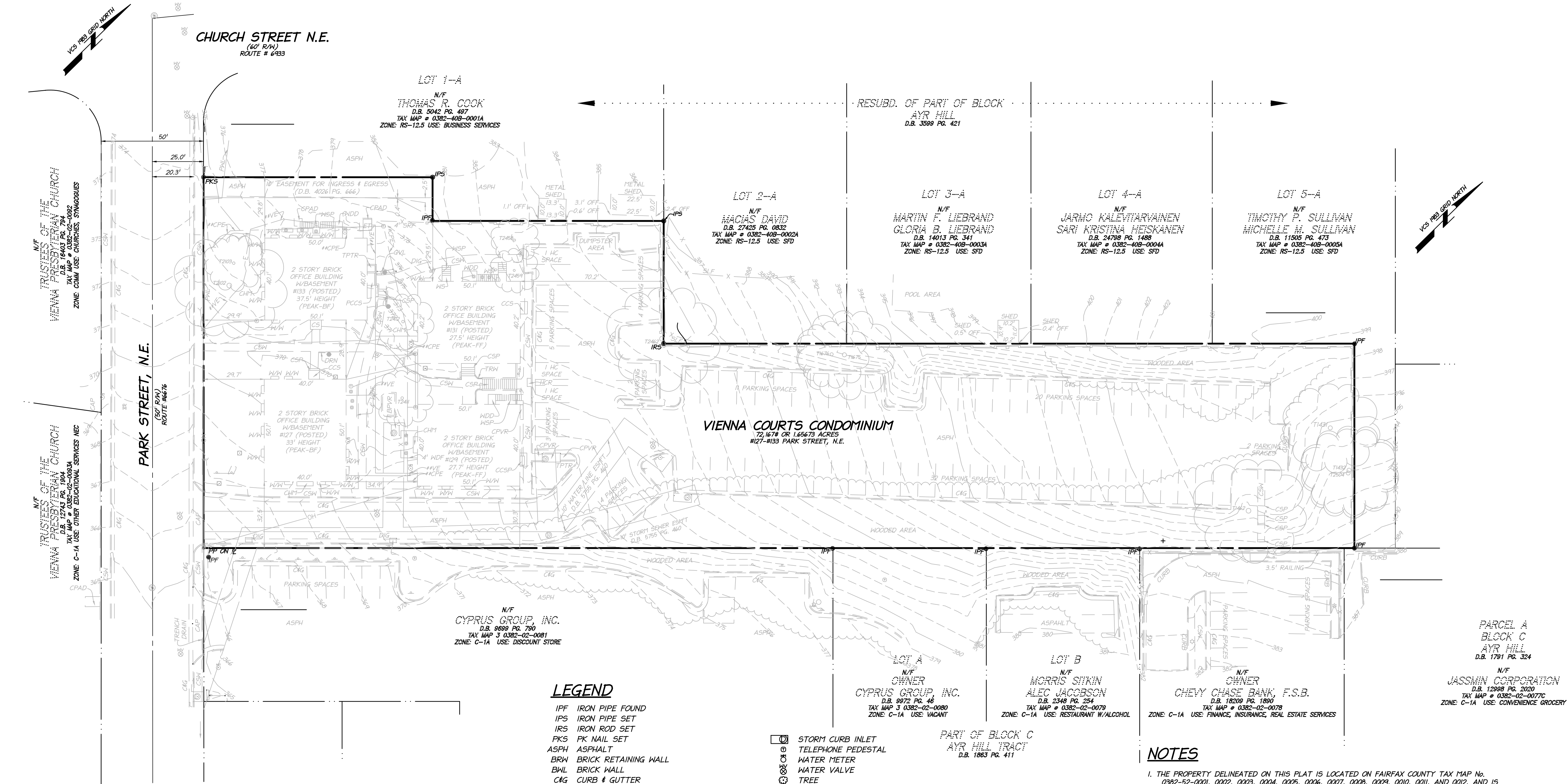


SCALE:
1" = 25'

SHEET 2
OF 7

DATE: DECEMBER, 2021
DRAFT: JCM CHECK: MM
FILE NUMBER: 20268-2-0
TOV # PF-

SEE SHEET 3 FOR NOTES!!!



AS-BUILT INFORMATION

SANITARY SEWER

EX. SANITARY MANHOLE TOP=365.12'
EX. INV. IN=357.92' (8" SAN. SEWER PIPE FROM NORTHEAST)
EX. INV. OUT=356.77' (8" SAN. SEWER PIPE TO SOUTHEAST)

237.12' - 8" SAN. SEWER PIPE - @ 0.48%

EX. SANITARY MANHOLE TOP=365.83'
EX. INV. IN=355.68' (8" SAN. SEWER PIPE FROM SOUTHWEST)
EX. INV. IN=355.63' (8" SAN. SEWER PIPE FROM A)
EX. INV. IN=355.63' (8" SAN. SEWER PIPE FROM NORTHEAST)
EX. INV. OUT=355.58' (8" SAN. SEWER PIPE TO SOUTHEAST)

STORM SEWER

EX. CONCRETE HEADWALL
EX. INV. OUT=362.62' (15" RCP TO 2)

3.38' - 15" RCP - @ 0.30%

EX. STORM CURB INLET TOP=364.42'
EX. INV. IN=362.61' (15" RCP FROM 2)
EX. INV. IN=363.01' (15" RCP FROM 3)
EX. INV. OUT=361.07' (15" RCP TO SOUTHEAST)

78.21' - 15" RCP - @ 0.96%

EX. DROP INLET GRATE TOP=366.66'
EX. INV. IN=363.86' (15" RCP FROM 4)
EX. INV. OUT=363.76' (15" RCP TO 1)

70.53' - 15" RCP - @ 1.52%

EX. DROP INLET GRATE TOP=371.08'
EX. INV. IN=365.03' (15" RCP FROM 5)
EX. INV. IN=364.98' (15" RCP FROM 7)
EX. INV. OUT=364.93' (15" RCP TO 3)

76.17' - 15" RCP - @ 3.78%

EX. STORM MANHOLE TOP=376.31'
EX. INV. IN=372.25' (15" RCP FROM 8)
EX. INV. IN=372.25' (15" RCP FROM 6)
EX. INV. OUT=367.91' (15" RCP TO 4)

63.85' - 15" RCP - @ 2.47%

EX. STORM CURB INLET TOP=381.83'
EX. INV. OUT=373.83' (15" RCP TO 5)

EX. STORM CURB INLET TOP=378.68'
EX. INV. OUT=372.94' (15" RCP TO 5)

37.29' - 15" RCP - @ 1.85%

EX. STORM INLET TOP=368.68'
EX. INV. OUT=365.93' (15" RCP TO 5)

52.30' - 15" RCP - @ 1.82%

LEGEND

IPF IRON PIPE FOUND
IPS IRON PIPE SET
IRS IRON ROD SET
PKS PK NAIL SET
ASPH ASPHALT
BRW BRICK RETAINING WALL
BNL BRICK WALL
CGG CURB & GUTTER
CL CENTERLINE
CAP CONCRETE APRON
CCS COVERED CONCRETE STOOP
CCSP COVERED CONCRETE STEPS
CHM CHIMNEY
CPAD CONCRETE PAD
CRW CONCRETE RETAINING WALL
CS CONCRETE STOOP
CSP CONCRETE STEPS
CSW CONCRETE SIDEWALK
CURB CONCRETE CURB
CPVR CONCRETE PAVEMENT
DIG DROP INLET GRATE
DRN DRAIN
PCCP PARTIALLY COVERED CONCRETE PORCH
PL PROPERTY LINE
PP POWER POWER
PWL PAINTED WHITE LINE
RCP REINFORCED CONCRETE PIPE
TRW TIMBER RETAINING WALL
TPTR TIMBER PLANTER
W/W WINDOW WELL
W/D WOOD DECK
WSP WOOD STEPS
AC AIR CONDITIONING UNIT
CO CLEAN OUT
ET ELECTRIC TRANSFORMER
FH FIRE HYDRANT
GV GAS VALVE
GW GUY WIRE
PPW POWER POLE WITHOUT LIGHT
PPL POWER POLE WITH LIGHT
SM SANITARY MANHOLE
SIGN SIGN
SMH STORM MANHOLE

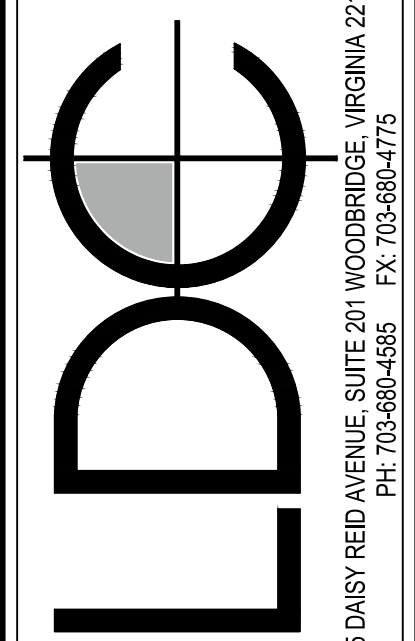
STORM CURB INLET
TELEPHONE PEDESTAL
WATER METER
WATER VALVE
TREE
OVERHEAD UTILITY
SANITARY LINE
UNDERGROUND ELECTRIC LINE (PAINTED RED LINE)
UNDERGROUND TELEPHONE LINE (PAINTED ORANGE LINE)
SPLIT RAIL FENCE
WOOD FENCE
TREE LINE
APPROXIMATE LOCATION & CAP TEL. CO. R/W D.B. 3888 PG. 698
APPROXIMATE LOCATION & VEP CO. R/W D.B. 3979 PG. 573

TREE TABLE

T1431 24" TREE
T1432 24" TREE
T1462 28" TREE
T1675 24" TREE
T1676 18" TREE
T2102 28" TREE
T2103 15" TREE
T2411 15" MAGNOLIA
T2412 15" MAGNOLIA
T2458 12" TREE
T2459 12" TREE
T2462 28" TREE
T2504 24" OAK

NOTES

- THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON FAIRFAX COUNTY TAX MAP No. 0382-52-0001, 0002, 0003, 0004, 0005, 0006, 0007, 0008, 0009, 0010, 0011, AND 0012, AND IS CURRENTLY ZONED T.
- THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF TRUSTEES OF VIENNA PRESBYTERIAN CHURCH, BY DEED RECORDED IN DEED BOOK 5922 AT PAGE 1569, JOSEPH T. NOCERINO AND MARY ANN NOCERINO, TRUSTEES, BY DEED RECORDED IN DEED BOOK 23666 AT PAGE 1767 AND DEED BOOK 23666 AT PAGE 1771, EZRA PARTNERSHIP, BY DEED RECORDED IN DEED BOOK 19254 AT PAGE 532, DEED BOOK 5863 AT PAGE 365, DEED BOOK 6117 AT PAGE 1651, DEED BOOK 7699 AT PAGE 1031, AND DEED BOOK 19284 AT PAGE 532, MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVE AND FITTINGS INDUSTRY, INC. BY DEED RECORDED IN DEED BOOK 5921 AT PAGE 1069, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.
- TITLE REPORT FURNISHED BY ROUND TABLE TITLE, INC., FILE NO. RTT2020-17099A,B,C AND D, DATED OCTOBER 1, 2020.
- THE PROPERTY SHOWN HEREON LIES WITHIN A ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DELINEATED ON FLOOD INSURANCE RATE MAP NO. 51059C0456, PANEL 145 OF 450, WITH AN EFFECTIVE DATE OF SEPTEMBER 17, 2010.
- THE PLAT OF THE PROPERTY SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD SURVEY WHICH TIES THIS BOUNDARY TO NATIONAL GEODETIC SURVEY PID HV8750. THE COMBINED GRID AND ELEVATION FACTOR IS 0.99994768.
- THERE ARE NO KNOWN GRAVES OR BURIAL SITES ON THE PROPERTY.
- EXCEPT AS SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS OBSERVED ON THE SURVEYED PROPERTY.



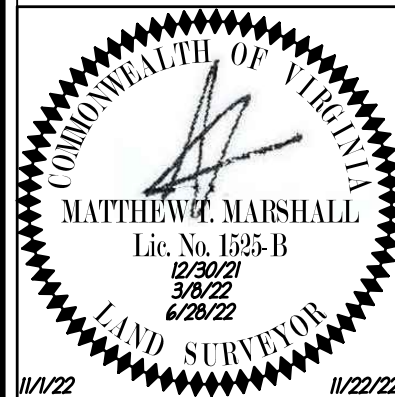
EXISTING
CONDITIONS
PLAN

VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

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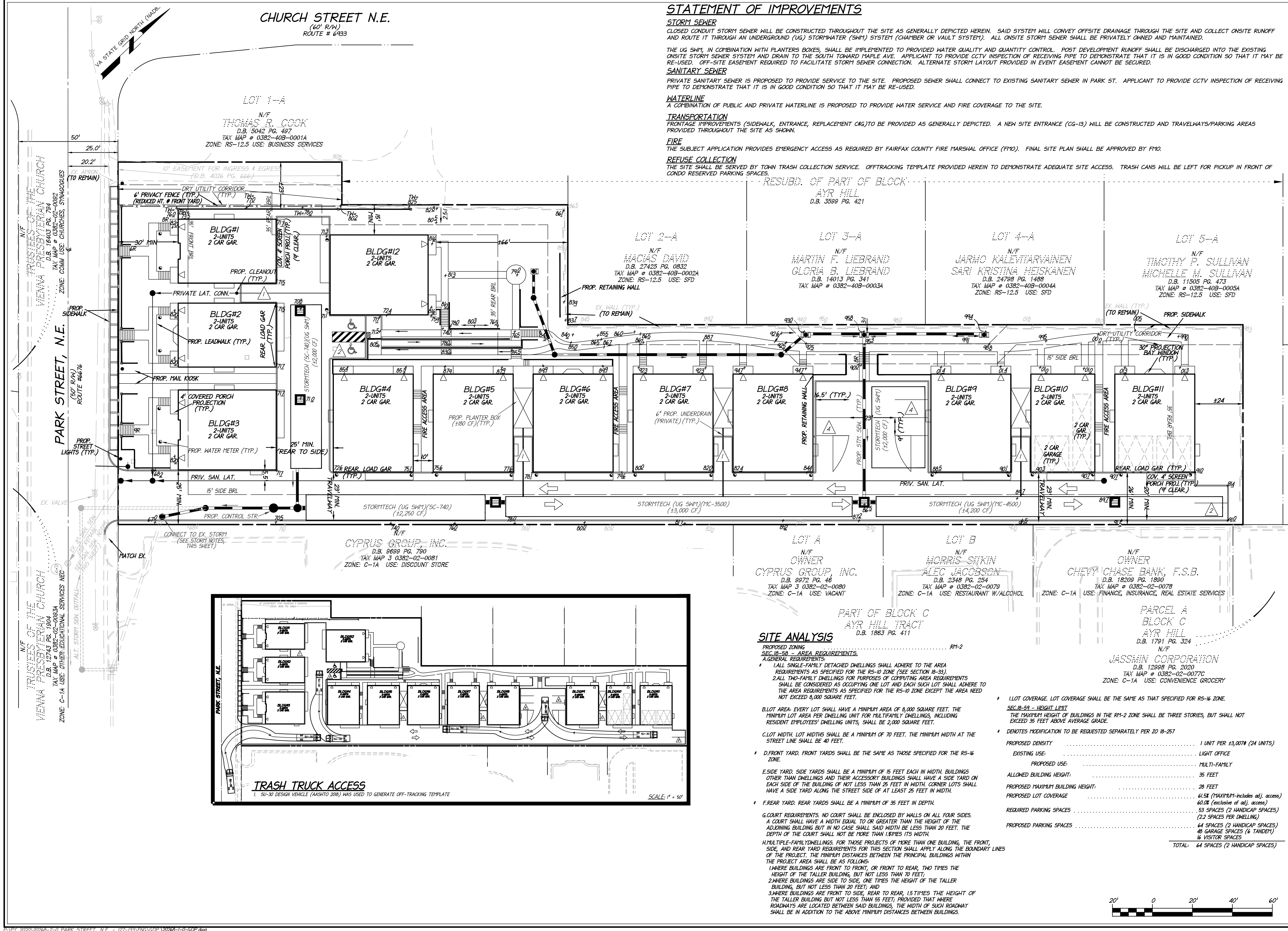
I HEREBY CERTIFY THAT
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SHOWN HEREON, NO OTHER
CHANGES HAVE BEEN MADE.



SCALE:
1" = 25'

SHEET 3
OF 7

DATE: DECEMBER, 2021
DRAFT: JCM
CHECK: MM
FILE NUMBER:
20268-2-0
TOV # FF-



STATEMENT OF IMPROVEMENTS

STORM SEWER
CLOSED CONDUIT STORM SEWER WILL BE CONSTRUCTED THROUGHOUT THE SITE AS GENERALLY DEPICTED HEREIN. SAID SYSTEM WILL CONVEY OFFSITE DRAINAGE THROUGH THE SITE AND COLLECT ONSITE RUNOFF AND ROUTE IT THROUGH AN UNDERGROUND (UG) STORMWATER (SWM) SYSTEM (CHAMBER OR VAULT SYSTEM). ALL ONSITE STORM SEWER SHALL BE PRIVATELY OWNED AND MAINTAINED.

THE UG SWM, IN COMBINATION WITH PLANTERS BOXES, SHALL BE IMPLEMENTED TO PROVIDED WATER QUALITY AND QUANTITY CONTROL. POST DEVELOPMENT RUNOFF SHALL BE DISCHARGED INTO THE EXISTING ONSITE STORM SEWER SYSTEM AND DRAIN TO THE SOUTH TOWARD MAPLE AVE. APPLICANT TO PROVIDE CCTV INSPECTION OF RECEIVING PIPE TO DEMONSTRATE THAT IT IS IN GOOD CONDITION SO THAT IT MAY BE RE-USED. OFF-SITE EASEMENT REQUIRED TO FACILITATE STORM SEWER CONNECTION. ALTERNATE STORM LAYOUT PROVIDED IN EVENT EASEMENT CANNOT BE SECURED.

SANITARY SEWER
PRIVATE SANITARY SEWER IS PROPOSED TO PROVIDE SERVICE TO THE SITE. PROPOSED SEWER SHALL CONNECT TO EXISTING SANITARY SEWER IN PARK ST. APPLICANT TO PROVIDE CCTV INSPECTION OF RECEIVING PIPE TO DEMONSTRATE THAT IT IS IN GOOD CONDITION SO THAT IT MAY BE RE-USED.

WATERLINE
A COMBINATION OF PUBLIC AND PRIVATE WATERLINE IS PROPOSED TO PROVIDE WATER SERVICE AND FIRE COVERAGE TO THE SITE.

TRANSPORTATION
FRONTAGE IMPROVEMENTS (SIDEWALK, ENTRANCE, REPLACEMENT C&G) TO BE PROVIDED AS GENERALLY DEPICTED. A NEW SITE ENTRANCE (CG-B) WILL BE CONSTRUCTED AND TRAVELWAYS/PARKING AREAS PROVIDED THROUGHOUT THE SITE AS SHOWN.

FIRE
THE SUBJECT APPLICATION PROVIDES EMERGENCY ACCESS AS REQUIRED BY FAIRFAX COUNTY FIRE MARSHAL OFFICE (FMO). FINAL SITE PLAN SHALL BE APPROVED BY FMO.

REFUSE COLLECTION
THE SITE SHALL BE SERVED BY TOWN TRASH COLLECTION SERVICE. OFFTRACKING TEMPLATE PROVIDED HEREIN TO DEMONSTRATE ADEQUATE SITE ACCESS. TRASH CANS WILL BE LEFT FOR PICKUP IN FRONT OF CONDO RESERVED PARKING SPACES.

RESUBD. OF PART OF BLOCK

AYR HILL
D.B. 3589 PG. 421

LOT 2--A

N/F
MACIAS DAVID
D.B. 27425 PG. 0832
TAX MAP # 0382-40B-00024
ZONE: RS-12.5 USE: SFD

LOT 3--A

N/F
MARTIN F. LIEBRAND
GLORIA B. LIEBRAND
D.B. 14013 PG. 341
TAX MAP # 0382-40B-00034
ZONE: RS-12.5 USE: SFD

LOT 4--A

N/F
JARMO KALEVITARVAINEN
SARI KRISTINA HEISKANEN
D.B. 24789 PG. 1488
TAX MAP # 0382-40B-00044
ZONE: RS-12.5 USE: SFD

LOT 5--A

N/F
TIMOTHY P. SULLIVAN
MICHELLE M. SULLIVAN
D.B. 11505 PG. 473
TAX MAP # 0382-40B-00054
ZONE: RS-12.5 USE: SFD

LOT A
N/F
OWNER
CYPRUS GROUP, INC.
D.B. 9972 PG. 46
TAX MAP # 0382-02-0080
ZONE: C-1A USE: VACANT

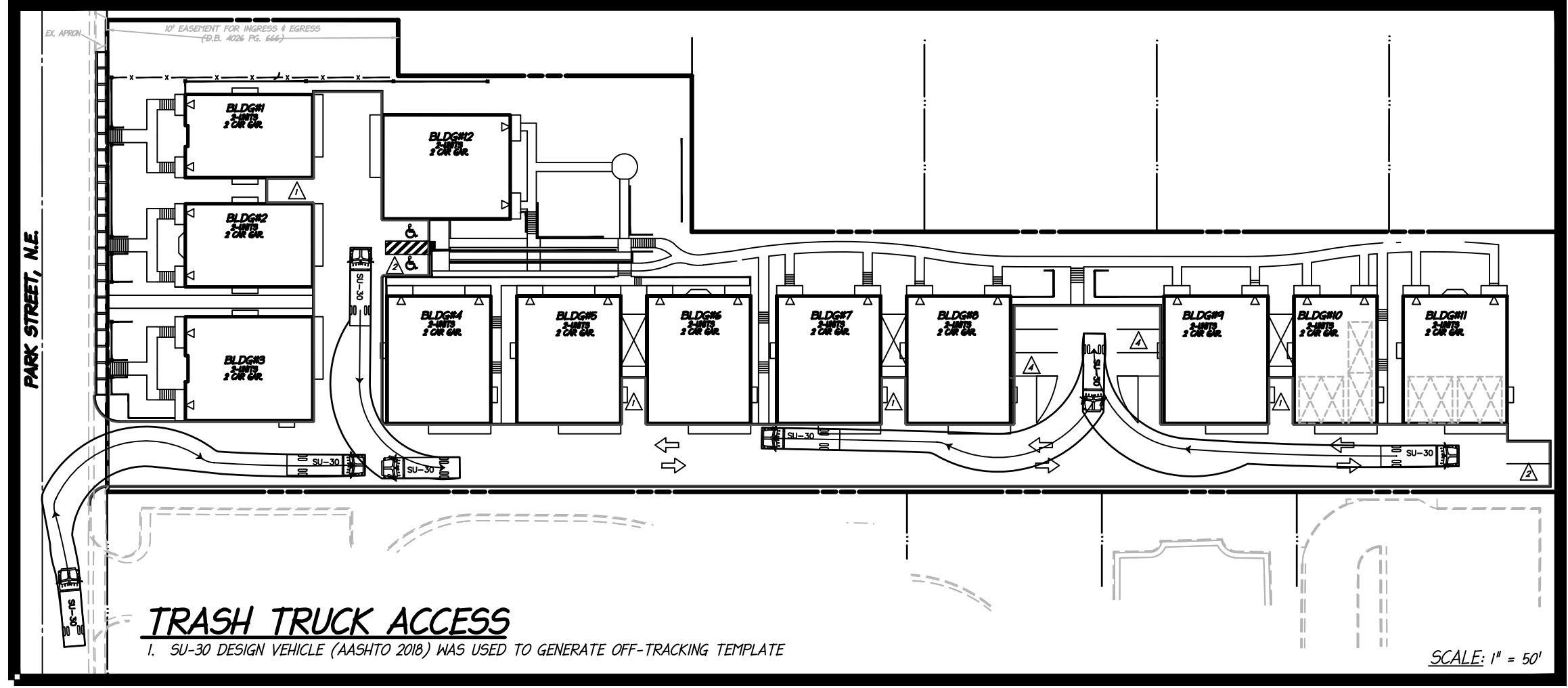
LOT B
N/F
MORRIS SUKIN
ALEX JACOBSON
D.B. 2348 PG. 254
TAX MAP # 0382-02-0079
ZONE: C-1A USE: RESTAURANT W/ALCOHOL

LOT C
N/F
OWNER
CHEVY CHASE BANK, F.S.B.
D.B. 18209 PG. 1890
TAX MAP # 0382-02-0078
ZONE: C-1A USE: FINANCE, INSURANCE, REAL ESTATE SERVICES

PARCEL A
BLOCK C
AYR HILL
D.B. 1791 PG. 324
N/F
JASMIN CORPORATION
D.B. 12998 PG. 3020
TAX MAP # 0382-02-0077C
ZONE: C-1A USE: CONVENIENCE GROCERY

SITE ANALYSIS

- PROPOSED ZONING RY-2
SEC. 10-58 - AREA REQUIREMENTS
A. GENERAL REQUIREMENTS:
1. ALL SINGLE-FAMILY DETACHED DWELLINGS SHALL ADHERE TO THE AREA REQUIREMENTS AS SPECIFIED FOR THE RS-10 ZONE (SEE SECTION 10-33).
2. ALL TWO-FAMILY DWELLINGS FOR PURPOSES OF COMPUTING AREA REQUIREMENTS SHALL BE CONSIDERED AS OCCUPYING ONE LOT AND EACH SUCH LOT SHALL ADHERE TO THE AREA REQUIREMENTS AS SPECIFIED FOR THE RS-10 ZONE EXCEPT THE AREA NEED NOT EXCEED 8,000 SQUARE FEET.
- B. LOT AREA: EVERY LOT SHALL HAVE A MINIMUM AREA OF 8,000 SQUARE FEET. THE MINIMUM LOT AREA PER DWELLING UNIT FOR MULTIFAMILY DWELLINGS, INCLUDING RESIDENT EMPLOYEES' DWELLING UNITS, SHALL BE 2,000 SQUARE FEET.
- C. LOT WIDTH: LOT WIDTHS SHALL BE A MINIMUM OF 70 FEET. THE MINIMUM WIDTH AT THE STREET LINE SHALL BE 40 FEET.
- D. FRONT YARD: FRONT YARDS SHALL BE THE SAME AS THOSE SPECIFIED FOR THE RS-16 ZONE.
- E. SIDE YARD: SIDE YARDS SHALL BE A MINIMUM OF 15 FEET EACH IN WIDTH. BUILDINGS OTHER THAN DWELLINGS AND THEIR ACCESSORY BUILDINGS SHALL HAVE A SIDE YARD ON EACH SIDE OF THE BUILDING OF NOT LESS THAN 25 FEET IN WIDTH. CORNER LOTS SHALL HAVE A SIDE YARD ALONG THE STREET SIDE OF AT LEAST 25 FEET IN WIDTH.
- F. REAR YARD: REAR YARDS SHALL BE A MINIMUM OF 35 FEET IN DEPTH.
- G. COURT REQUIREMENTS: NO COURT SHALL BE ENCLOSED BY WALLS ON ALL FOUR SIDES. A COURT SHALL HAVE A WIDTH EQUAL TO OR GREATER THAN THE HEIGHT OF THE ADJOINING BUILDING BUT IN NO CASE SHALL SAID WIDTH BE LESS THAN 20 FEET. THE DEPTH OF THE COURT SHALL NOT BE MORE THAN 1.5 TIMES ITS WIDTH.
- H. MULTIPLE-FAMILY DWELLINGS: FOR THOSE PROJECTS OF MORE THAN ONE BUILDING, THE FRONT, SIDE, AND REAR YARD REQUIREMENTS FOR THIS SECTION SHALL APPLY ALONG THE BOUNDARY LINES OF THE PROJECT. THE MINIMUM DISTANCES BETWEEN THE PRINCIPAL BUILDINGS WITHIN THE PROJECT AREA SHALL BE AS FOLLOWS:
1. WHERE BUILDINGS ARE FRONT TO FRONT, OR FRONT TO REAR, TWO TIMES THE HEIGHT OF THE TALLER BUILDING, BUT NOT LESS THAN 70 FEET;
2. WHERE BUILDINGS ARE SIDE TO SIDE, ONE TIMES THE HEIGHT OF THE TALLER BUILDING, BUT NOT LESS THAN 20 FEET; AND
3. WHERE BUILDINGS ARE FRONT TO SIDE, REAR TO REAR, 1.5 TIMES THE HEIGHT OF THE TALLER BUILDING BUT NOT LESS THAN 55 FEET, PROVIDED THAT WHERE ROADWAYS ARE LOCATED BETWEEN SAID BUILDINGS, THE WIDTH OF SUCH ROADWAY SHALL BE IN ADDITION TO THE ABOVE MINIMUM DISTANCES BETWEEN BUILDINGS.
- I. LOT COVERAGE: LOT COVERAGE SHALL BE THE SAME AS THAT SPECIFIED FOR RS-16 ZONE.
- SEC. 10-59 - HEIGHT LIMIT
THE MAXIMUM HEIGHT OF BUILDINGS IN THE RY-2 ZONE SHALL BE THREE STORIES, BUT SHALL NOT EXCEED 36 FEET ABOVE AVERAGE GRADE.
- J. DENOTES MODIFICATION TO BE REQUESTED SEPARATELY PER 20 10-267
- | | |
|----------------------------------|---|
| PROPOSED DENSITY | 1 UNIT PER 43,007# (24 UNITS) |
| EXISTING USE | LIGHT OFFICE |
| PROPOSED USE | MULTI-FAMILY |
| ALLOWED BUILDING HEIGHT | 35 FEET |
| PROPOSED MAXIMUM BUILDING HEIGHT | 28 FEET |
| PROPOSED LOT COVERAGE | 61.5% (MAXIMUM includes adj. access)
60.0% (exclusive of adj. access) |
| REQUIRED PARKING SPACES | 53 SPACES (2 HANDICAP SPACES)
(22 SPACES PER DWELLING) |
| PROPOSED PARKING SPACES | 64 SPACES (2 HANDICAP SPACES)
48 GARAGE SPACES (6 TANDEN)
16 VISITOR SPACES |
| TOTAL: | 64 SPACES (2 HANDICAP SPACES) |



4555 DUNDY REED AVENUE SUITE 201 WOODBRIDGE, VIRGINIA 22192
TEL: 703-580-4555 FAX: 703-580-4715

CONCEPT PLAN

VIENNA COURTS

NO.	REVISION	DATE	DESCRIPTION	BY	APPROVED BY
1					
2					
3					
4					

SCALE: 1" = 20'

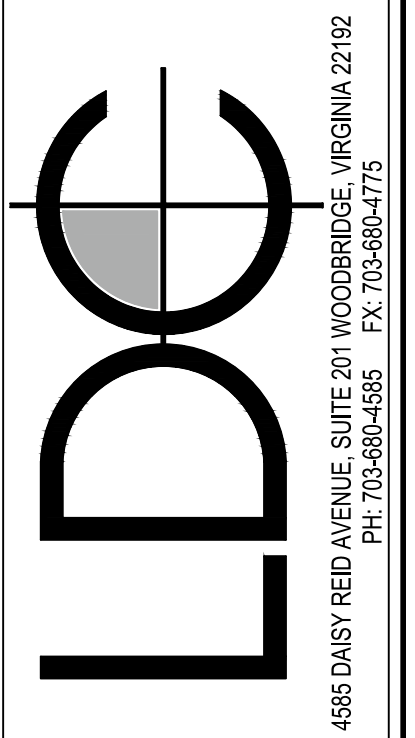
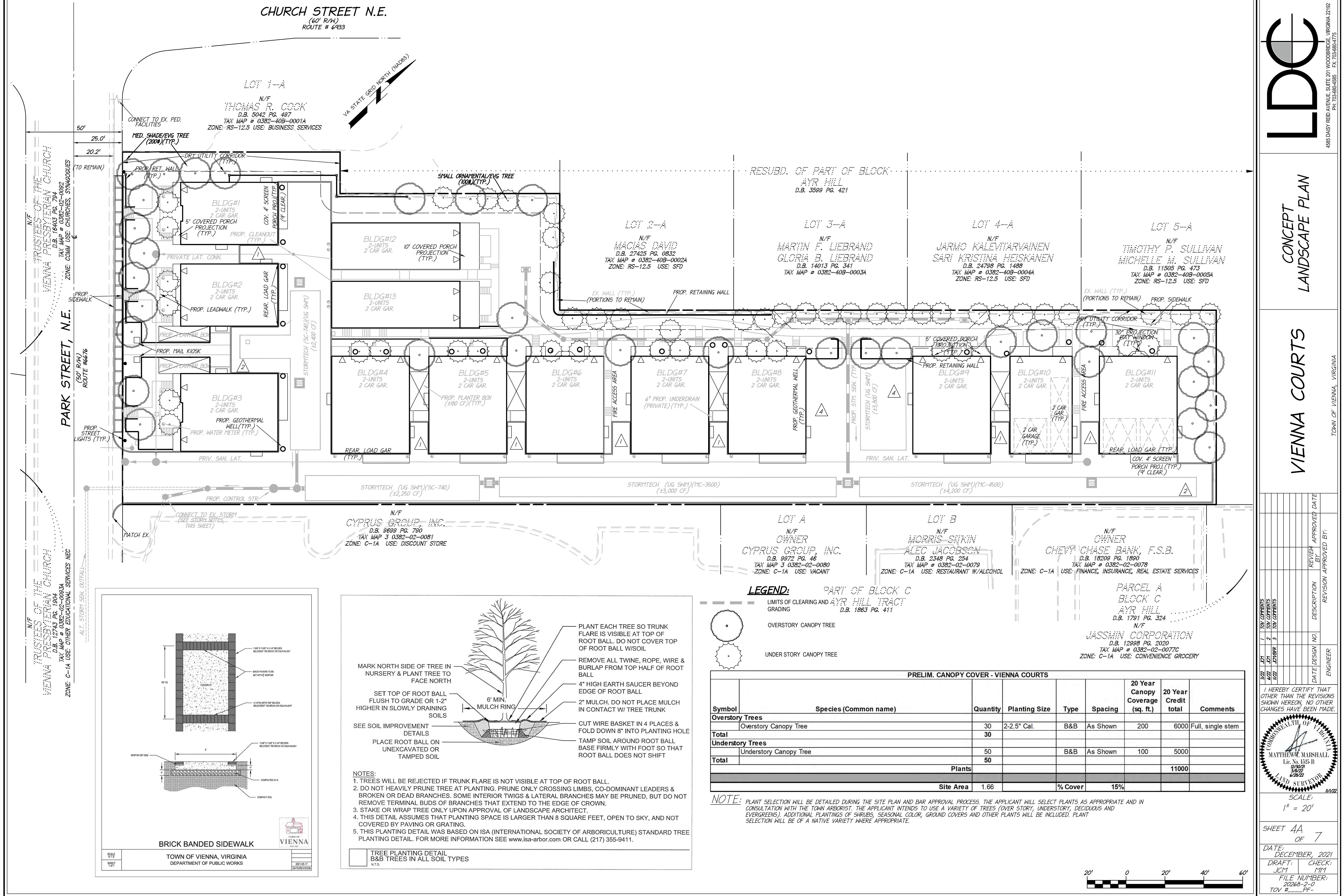
SHEET 4 OF 7

DATE: DECEMBER, 2021

DRAFT: JCM CHECK: MM

FILE NUMBER: 20260-2-0

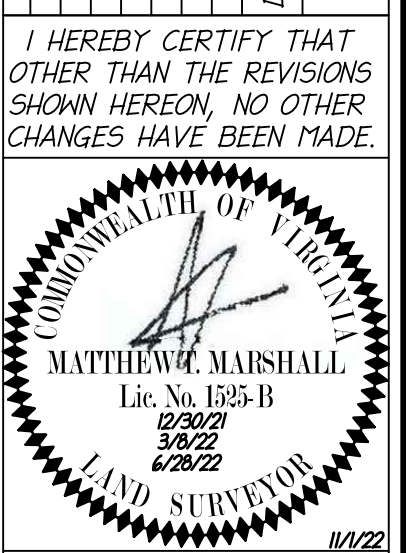
TOV # _____



CONCEPT LANDSCAPE PLAN

VIENNA COURTS

NO.	DATE	DESCRIPTION	REVISION	APPROVED BY:
1	12/21/2021	PRELIMINARY		
2	12/21/2021	REVISED		
3	12/21/2021	REVISED		



SCALE: 1" = 20'

SHEET 4A OF 7

DATE: DECEMBER, 2021

DRAFT: JCM CHECK: MM

FILE NUMBER: 20260-2-0

TOV # FF-

VIENNA COURTS

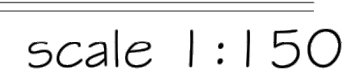
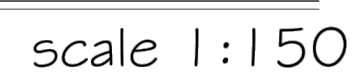
TOLIN OF VIENNA VIENNA

[illegible]

SHEET 4B OF 7

DATE: DECEMBER, 202	
DRAFT: JCM	CHECK MM
FILE NUMBER: 20268-2-0 TOV #____PF-	





VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

I HEREBY CERTIFY THAT
OTHER THAN THE REVISIONS
SHOWN HEREON, NO OTHER
CHANGES HAVE BEEN MADE.



DATE: DECEMBER, 2021

DRAFT:	CHECK:
ICM	MM

FILE NUMBER:
20268-2-0
TOV #___PF-



2ND FLOOR

3 STOP PRIVATE ELEVATOR

UNIT A

UNIT A'S PORCH

UNIT A'S AIR WELL

UNIT B

UNIT A BASEMENT & GARAGE

"F" TYPICAL BUILDING SECTION

The architectural drawing shows the second floor of a building. It includes several rooms and corridors. Key features include:

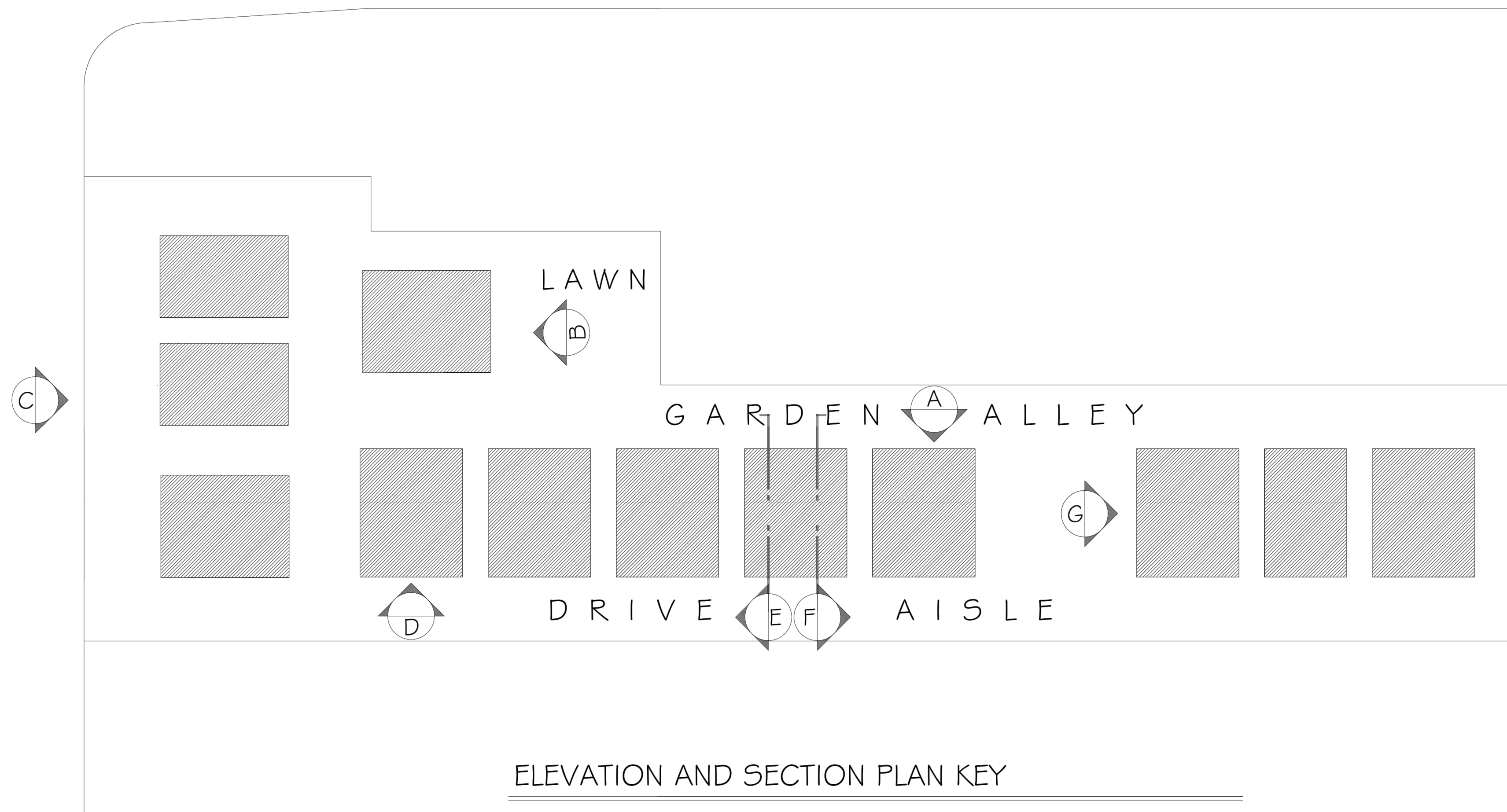
- TOP ENTRY**: Located at the top center.
- STAIRS**: Two sets of stairs are indicated by arrows and labels.
- ELEVATOR**: An elevator shaft is located near the center-right.
- CORRIDORS**: Multiple corridors connect the various rooms.
- ROOMS**: Several rectangular rooms of varying sizes are shown, some containing furniture like desks or chairs.
- DIMENSIONS**: The overall width is labeled as 36'-0" and the depth as 102'-1".
- SCALE**: A scale bar is provided at the bottom left, showing distances from 0' to 20'.
- LEGEND**: A legend at the bottom right explains symbols used in the plan, such as doors, windows, and furniture.

"D" TYPICAL REAR ELEVATION

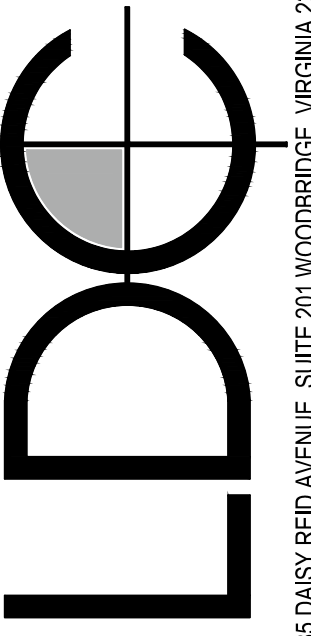
Architectural elevation drawing of the front of a house. The drawing shows a symmetrical facade with a central entrance and two large bay windows on either side. The central entrance features a door flanked by windows. The bay windows are multi-paned. The roof is gabled. Dimensions are provided for the overall height (30'-0") and width (12'-0"). A note at the bottom states: "WINDOW, DOOR AND BAY WINDOW WILL VARY".

"G" TYPICAL SIDE ELEVATION

CHURCH ST NE



ELEVATION AND SECTION PLAN KEY



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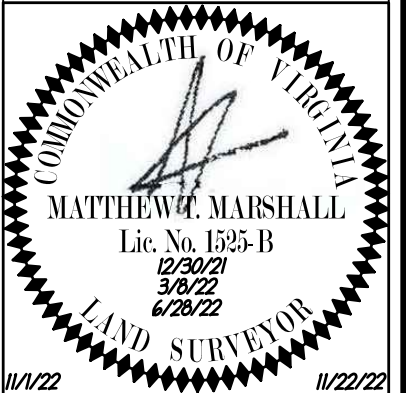
REAR ELEVATIONS
& BUILDING SECTIONS

VIENNA COURTS

TOWN OF VIENNA, VIRGINIA

[illegible]

I HEREBY CERTIFY THAT
OTHER THAN THE REVISIONS
SHOWN HEREON, NO OTHER
CHANGES HAVE BEEN MADE.



SCALE:
As noted

SHEET 7
OF 7

DATE: DECEMBER, 2021	
DRAFT:	CHECK:

DRAFT:	CHECK:
JCM	MM
FILE NUMBER:	
20268-2-0	
TOV #___PF-	