

NOTE: DEVELOPER TO INSTALL BRICK SIDEWALK ALONG FRONTAGE OF MAPLE AVENUE AS INDICATED BELOW IN GENERAL ACCORDANCE WITH THE TOWN OF VIENNA PLAN FOR THE MAPLE AVENUE CORRIDOR PROPOSED BY LEWIS SCULLY, GIONET, INC. DATED FEBRUARY 1994.

PARKING TABULATION:

OFFICES 2,438.7 S.F. X 1/200 S.F. = 12.2 SPACES
RETAIL AREA 16,692.4 S.F. X 1/200 S.F. = 83.5 SPACES
INDUSTRIAL 60 EMPLOYEES X 1 SPACE PER 3 EMPLOYEES = 20 SPACES

TOTAL PARKING REQUIRED = 116 SPACES

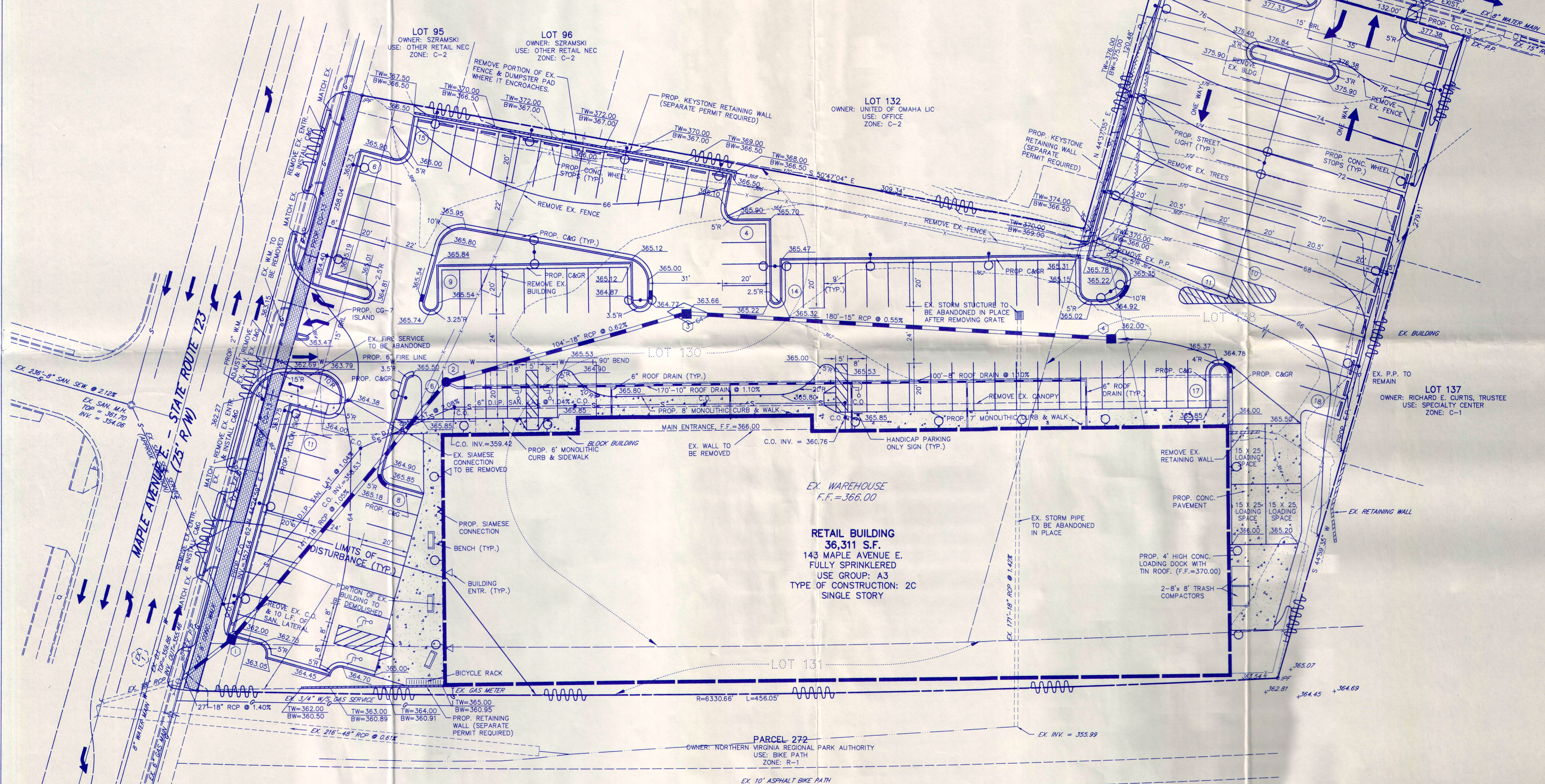
PARKING PROVIDED

138 REGULAR SPACES
5 HANDICAP SPACES
3 STACKING SPACES
TOTAL PARKING PROVIDED = 146 SPACES

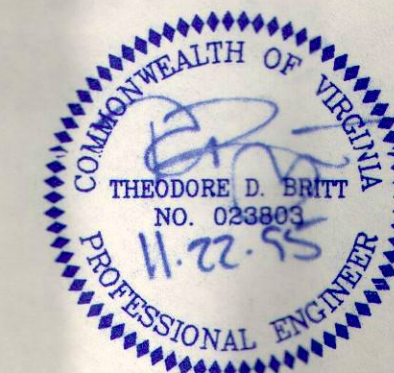
MARKET SQUARE FOOTAGE:

OFFICES 2,438.7 S.F.
RETAIL 16,692.4 S.F.
INDUSTRIAL 17,180.2 S.F. (INCLUDES MEZZANINE)

TOTAL SQUARE FOOTAGE = 36,311.3 SQ. FT.



ROOF DRAIN NOTE: FINAL LOCATION OF ROOF DRAIN SHALL BE IN ACCORDANCE WITH FINAL ARCHITECTURAL PLANS.



DATE	REVISION
3/29/95	REV. PER TOWN & CLIENT COMMENT
11/22/95	REV. PER CLIENT REQUEST.

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VIENNA PLACE
TOWN OF VIENNA
FAIRFAX COUNTY, VIRGINIA

SITE PLAN

SCALE: 1"=20'
DATE: 1/30/95
DRN: M.S.O.
CKD: C.B./T.D.B.
SHEET 2 OF 8