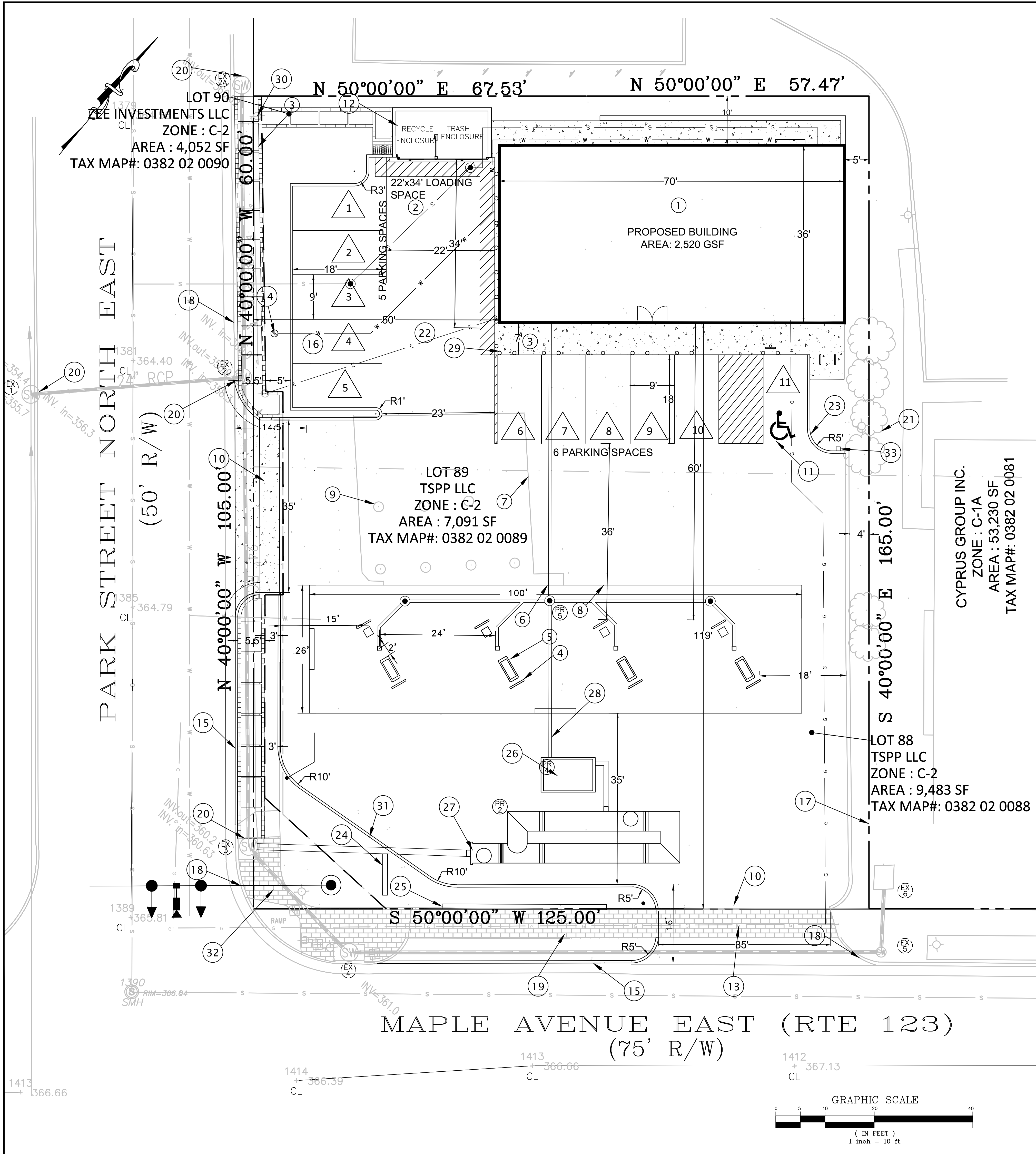




LEGEND

EXIST FENCE
EXIST CURB & GUTTER
PROPERTY LINE
ADJOINER LINE
EXISTING WATER LINE
EXISTING SANITARY SEWER
EXISTING GAS LINE
EXISTING STORM PIPE
EXISTING CONTOURS
PROPOSED CURB & GUTTER
PROPOSED PARKING STRIPS
PROPOSED ADA HATCH
PROPOSED BRICK SIDEWALK
PROPOSED BUILDING FOOT-PRINT

EXIST STORM INLET
EXIST LIGHT POLE
EXIST POWER POLE
EXIST GUY WIRE
EXIST SIGN

SITE TABULATION

	REQUIRED	PROVIDED
MINIMUM LOT AREA	NA	20,626 SF
MINIMUM LOT WIDTH	NA	125'
MAXIMUM BLDG HT.	35'	17'
MINIMUM YARD REQ. FRONT	15'	47'
SIDE	5'	5'
REAR	10'	10'

PARKING REQUIREMENT

USE	NET SQUARE FEET	PARKING REQUIREMENT	PARKING REQUIRED	PARKING PROVIDED
AUTOMOBILE SERVICE STATION & ANCILLARY CONVENIENCE RETAIL STORE	2,520 SF	ONE PARKING SPACE FOR EVERY 200 SF OF FLOOR AREA	13 PARKING SPACES	11 PARKING SPACES**

ADA SPACES REQUIRED = 1 SPACE
ADA SPACES PROVIDED = 1 SPACE
** PARKING MODIFICATION APPROVED AT TOWN COUNCIL

AREA TABULATION

LOT	AREA	TOTAL
88	9,483 SF	20,626 SF 0.47 AC
89	7,091 SF	
90	4,052 SF	

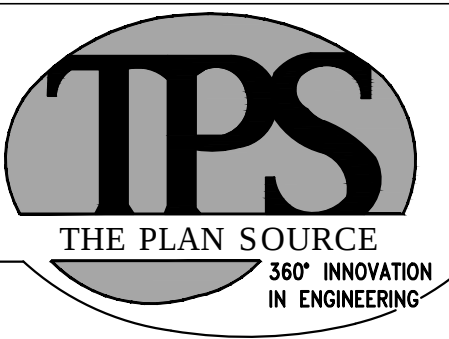
LEGEND

ITEM NUMBER	X ITEM NUMBER LISTED BELOW
	X PARKING SPACES
	ETR EXISTING TO REMAIN
	ETD EXISTING TO BE DEMOLISH
	ETRL EXISTING TO BE RELOCATED
	BUILDING
1	PROPOSED CONVENIENCE STORE
2	EXISTING BUILDINGS - ETD
3	PROPOSED SIDEWALK
	CANOPY / ISLANDS
4	PROPOSED BOLLARD
5	DISPENSING EQUIPMENT
6	PROPOSED CANOPY
	YARD AREA TANKS
7	EXISTING UST TANK PAD - ETR
8	PROPOSED CANOPY CONCRETE PAD
9	EXISTING UNDERGROUND TANKS -ETR
10	EXISTING ENTRANCE -ETR
11	ADA ACCESSIBLE PARKING ONLY SIGN PER LOCAL CODE
12	PROPOSED TRASH ENCLOSURE
13	EXISTING GAS LINE -ETR
14	WATER METER - ETRL
15	PROPOSED CURB & GUTTER (CG-6)
16	PROPOSED PARKING STRIPES
17	PROPERTY LINE
18	OFFSITE CURB & GUTTER -ETR
19	OFFSITE SIDEWALK -ETR
20	EXISTING STORM-INLETS -ETR
21	EXISTING TREES - ETR
22	PROPOSED PAVEMENT
23	PROPOSED CURB (CG-2)
24	PROPOSED SIGN ID
25	PROPOSED KNEE WALL
26	PROPOSED BMP STRUCTURE
27	PROPOSED SWM STRUCTURE
28	PROPOSED STORM DRAIN
29	PROPOSED BOLLARDS
30	EXISTING ELECTRIC POLE
31	NEW LOT LINE AFTER DEDICATION
32	PROPERTY AREA TO BE DEDICATION (689.75 SF)
33	PROPOSED AIR COMPRESSOR BASE

NOTES:

- OVERHEAD ELECTRICAL WIRES ON SITE FRONTAGES ONLY WILL BE UNDERGROUNDED AS ALLOWED BY THE UTILITY COMPANY.
- THE SITE WILL MEET ALL ADA REQUIREMENTS INCLUDING IMPROVEMENTS TO THE EXISTING FRONTAGE.
- IF DEEMED NECESSARY BY THE TOWN OF VIENNA, EXISTING SANITARY SEWER SHALL BE LINED.
- THE BRICK USED FOR THE SIDEWALK ALONG MAPLE AND PARK STREET ARE A SPECIAL TYPE/COLOR AND MUST BE OBTAINED FROM THE TOWN.
- NO PROFFERS ARE BEING PROPOSED WITH THIS DEVELOPMENT.

CIVIL ENGINEERS:



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www.plan-source.com
bprakash@plan-source.com



No.	DATE:	REVISIONS
1.	04/02/18	Planning Commission meeting Plan set
2.	05/04/18	Town Council meeting Plan set
3.	05/24/18	Board of Architectural Review

No.	DATE:	

PROJECT INFORMATION:
200 MAPLE AVE E
VIENNA, VA 22180

OWNER'S NAME:
TSPP LLC,
ZEE INVESTMENTS LLC
43083 JOHN MOSBY HWY
CHANTILLY, VA 20152

DEVELOPER INFORMATION:
CAPITOL PETROLEUM GROUP
6820 COMMERCIAL DRIVE
SPRING FIELD, VA 22151

DRAWING TITLE:

SITE PLAN

AREA: 20,626 SF (COMBINED)

SCALE: 1" = 10'

PROJECT MANAGER:
BP

DRAWN BY: BR	DATE: MAY 2018
CHECKED BY: DA	TAX MAP#: 0382 02 0088 0382 02 0089 0382 02 0090

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DRAWING NO.
01



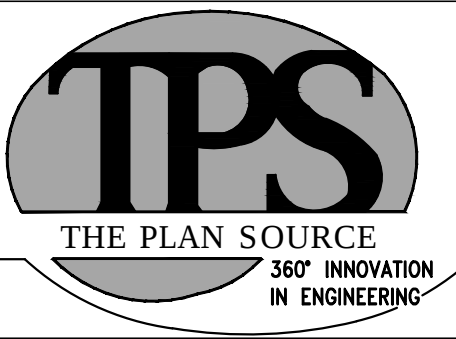
1 FRONT (MAPLE AVE) ELEVATION



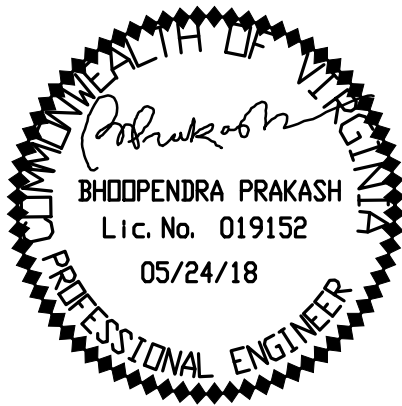
2 REAR ELEVATION



CIVIL ENGINEERS:



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DEVELOPER INFORMATION:
CAPITOL PETROLEUM GROUP
6820 COMMERCIAL DRIVE
SPRING FIELD, VA 22151

DRAWING TITLE:

BUILDING ELEVATION I

AREA:

SCALE: 1/4"=1'-0"

PROJECT MANAGER:
BP

DRAWN BY: SR	DATE: MAY 2018
CHECKED BY: DA	TAX MAP#: 0382 02 0088 0382 02 0089 0382 02 0090

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3 SIDE (PARK STREET) ELEVATION



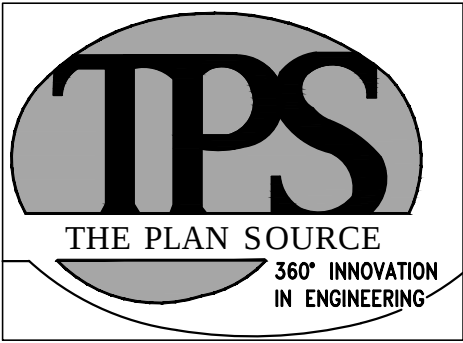
4 SIDE ELEVATION

3

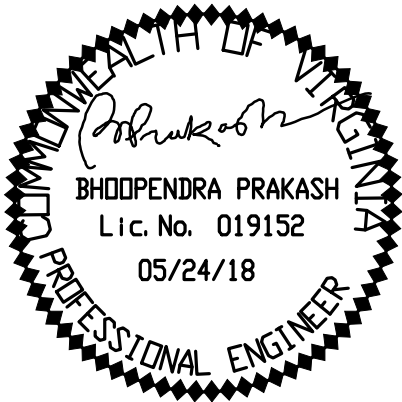


4

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VIENNA, VA 22180

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ZEE INVESTMENTS LLC
43083 JOHN MOSBY HWY
CHANTILLY, VA 20152

DEVELOPER INFORMATION:
CAPITOL PETROLEUM GROUP
6820 COMMERCIAL DRIVE
SPRING FIELD, VA 22151

DRAWING TITLE:

BUILDING ELEVATION II

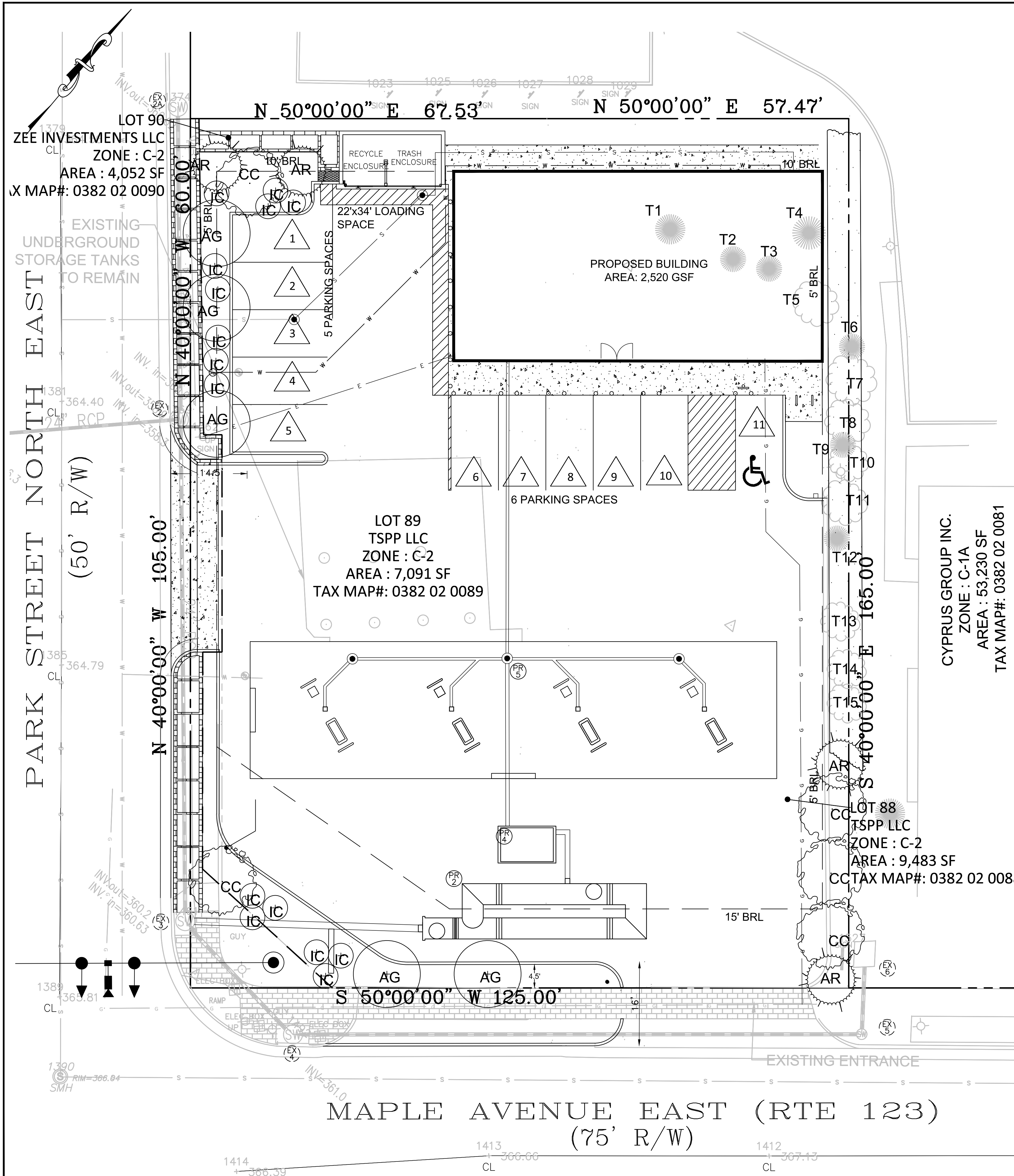
AREA:

SCALE: 1/4"=1'-0"

PROJECT MANAGER:
BP

DRAWN BY: SR	DATE: MAY 2018
CHECKED BY: DA	TAX MAP#: 0382 02 0088 0382 02 0089 0382 02 0090

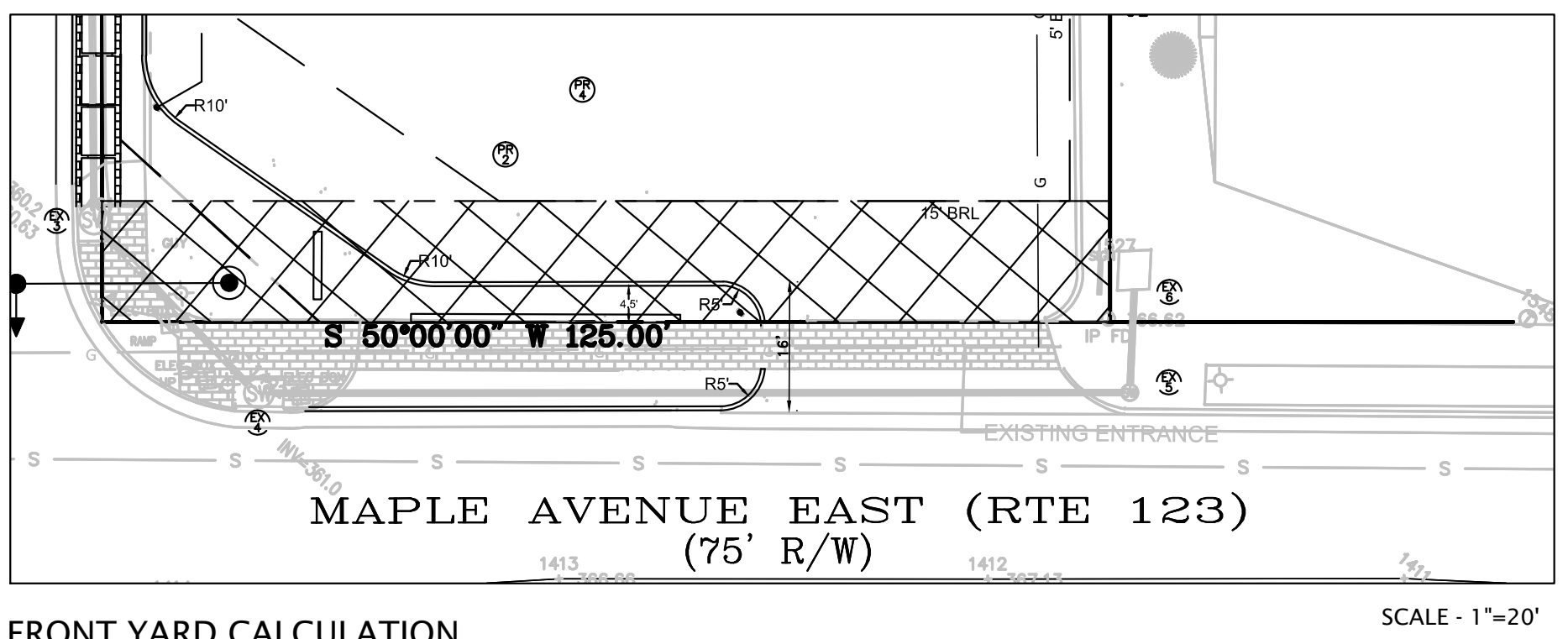
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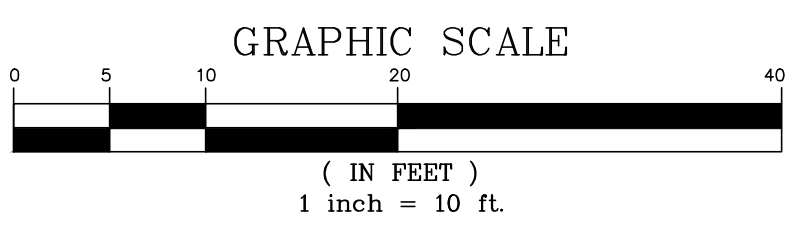
EXISTING PLANTS SCHEDULE					
ID. NUM	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER SIZE-INCHES	CONDITION / NOTES
T1	1	PINUS STROBUS	EASTERN WHITE PINE	11	Moderate/ Storm Damage/ Vine Covered
T2	1	PINUS STROBUS	EASTERN WHITE PINE	9	Moderate/Vine Covered
T3	1	PINUS STROBUS	EASTERN WHITE PINE	10	Moderate/Vine Covered
T4	1	PINUS STROBUS	EASTERN WHITE PINE	16	Moderate/Vine Covered
T5	1	PINUS STROBUS	EASTERN WHITE PINE	16	Moderate/Vine Covered
T6	1	PINUS STROBUS	EASTERN WHITE PINE	9	HEALTHY
T7	1	ACER RUBRUM	RED MAPLE	15	HEALTHY
T8	1	ACER RUBRUM	RED MAPLE	11	HEALTHY
T9	1	PINUS STROBUS	EASTERN WHITE PINE	9	HEALTHY
T10	1	ACER RUBRUM	RED MAPLE	7	HEALTHY
T11	1	ACER RUBRUM	RED MAPLE	13	HEALTHY
T12	1	PINUS STROBUS	EASTERN WHITE PINE	10	HEALTHY
T13	1	ACER RUBRUM	RED MAPLE	7	HEALTHY
T14	1	ACER RUBRUM	RED MAPLE	11	HEALTHY
T15	1	ACER RUBRUM	RED MAPLE	11	HEALTHY

NEW PLANTING SCHEDULE						
CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	10-YR CANOPY ft ²	TOTAL CANOPY ft ²
AR	5	ACER RUBRUM	COLUMNAR RED MAPLE	3"	75	375
CC	5	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	3"	125	625
AG	5	ACER GINNALA	AMUR MAPLE	3"	125	625
IC	15	IIEX COMPACTA	COMPACT JAPANESE HOLLY	24"-30" TALL		
					TOTAL PROVIDED	1,625

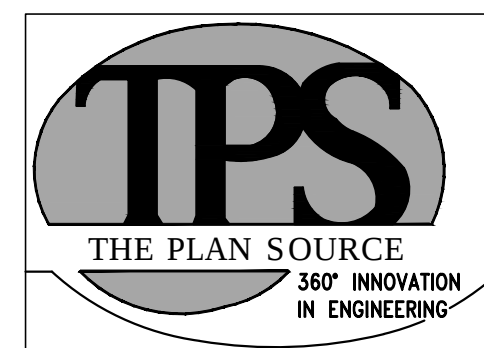
20 YEAR TREE CANOPY CALCULATIONS
AREA OF THE SITE = 20,626 SF
EXISTING TREE COVER = 4,294 SF
EXISTING TREE COVER TO REMAIN = 480 SF
PERCENTAGE TREE CANOPY REQUIRED = 10%
AREA OF TREE CANOPY REQUIRED = 2,063 SF
AREA OF TREE CANOPY PROVIDED = 480 + 1,625 = 2,105 SF



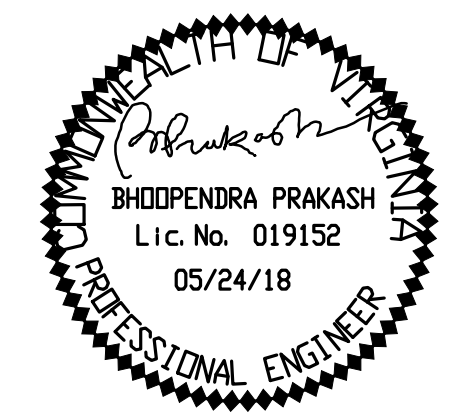
FRONT YARD CALCULATION
TOTAL FRONT YARD = 1,861 SF
25% OF THE TOTAL FRONT YARD = 465 SF
OPEN SPACE REQUIRED IN FRONT YARD = 465 SF
OPEN SPACE PROVIDED IN FRONT YARD = 742 SF



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PROJECT INFORMATION:
200 MAPLE AVE E
VIENNA, VA 22180

OWNER'S NAME:
TSPP LLC,
ZEE INVESTMENTS LLC
43083 JOHN MOSBY HWY
CHANTILLY, VA 20152

DEVELOPER INFORMATION:
CAPITOL PETROLEUM GROUP
6820 COMMERCIAL DRIVE
SPRING FIELD, VA 22151

DRAWING TITLE:
LANDSCAPE PLAN

AREA: 20,626 SF (COMBINED)

SCALE: 1"=10'

PROJECT MANAGER:
BP

DRAWN BY:
PR DATE:
MAY 2018

CHECKED BY:
DA TAX MAP#:
0382 02 0088
0382 02 0089
0382 02 0090

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DRAWING NO.
04



- 1** Hardieplank Cladding
Color : Arctic White
Material : Hardieplank Lap Siding
Manufacturer : James Hardie
Specification: Cedarmill



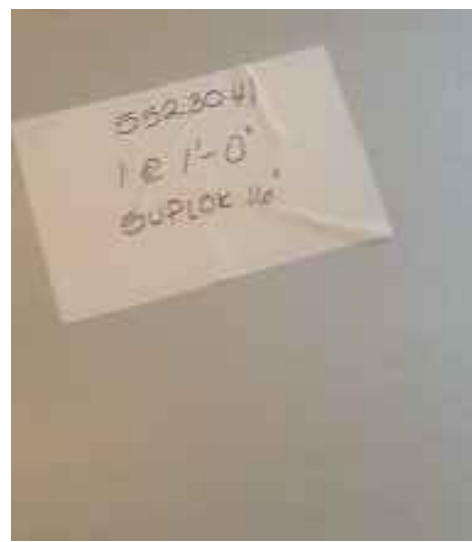
- 2** Brick Cladding
Color: Red Centennial
MATERIAL: Brick
MANUFACTURER : General Shale
SPECIFICATION : Lightweight
SKU: 6035029453



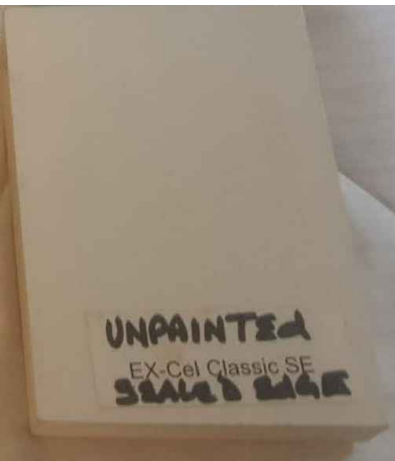
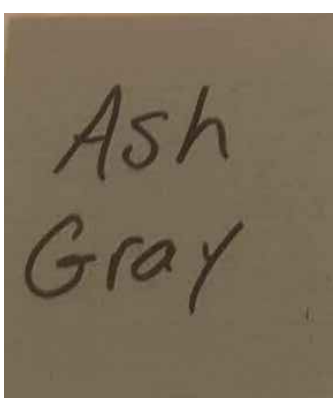
- 3** Brick Cladding
Color: Virginia Highlands
Material: Brick
Manufacturer: General Shale
Specification: Lightweight
SKU: 6035004894



- 4** Metal Roofing
Color : Slate Gray (Paint)
Material : Standing Seam Roof Systems
Manufacturer: MBCI
Specification: Suplok 16"



- 5** Cupola
Color: White base,
Ash Gray Metal Roof
Material: Vinyl Square Base,
Metal roof
Manufacturer: Cupola Creations



- 6** Window
Color: White
Material: PVC Window
Manufacturer: Imagination mill work



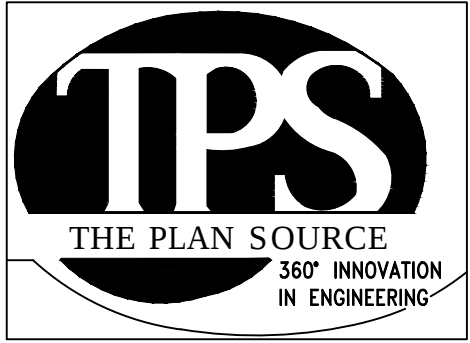
- 7** BP Illuminated Shop Sign
Color:
BP Retail Green PMS 348
BP Super Bright Green PMS 382
BP White - 4900 (Acrylic), 900 (Oil)
Material :
BP Illuminated Shop sign - ACM
Paint

- 8** Canopy Fascia Sign
Color:
BP Yellow -PMS 109c
BP Light Green - PMS 368c
BP Green - PMS 109
White - Pantone White
Material:
Formed polycarbonate with
beveled edge, ACM disc

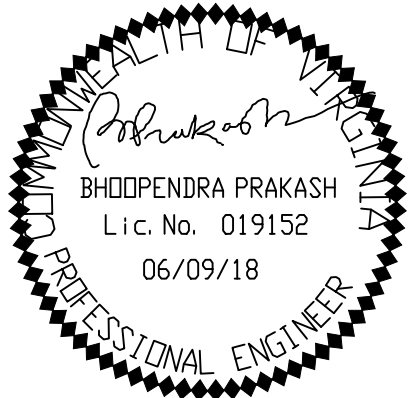
- 9** Canopy Fascia
Color:
BP Yellow -PMS 109c
BP Light Green - PMS 368c
BP Green - PMS 109
White - Pantone White
Material:
Formed polycarbonate with
beveled edge, ACM disc

- 10** Free Standing sign
Color:
BP Yellow - PMS 109c
BP Green - PMS 109
BP Light Green - PMS 368c
White - Pantone White
Material:
ACM

CIVIL ENGINEERS:



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No.	DATE:	REVISIONS
1.	04/02/18	Planning Commission meeting Plan set
2.	05/04/18	Town Council meeting Plan set
3.	06/09/18	Board of Architectural Review

No.	DATE:	
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PROJECT INFORMATION:

200 MAPLE AVE E
VIENNA, VA 22180

OWNER'S NAME:

TSPP LLC,
ZEE INVESTMENTS LLC
43083 JOHN MOSBY HWY
CHANTILLY, VA 20152

DEVELOPER INFORMATION:

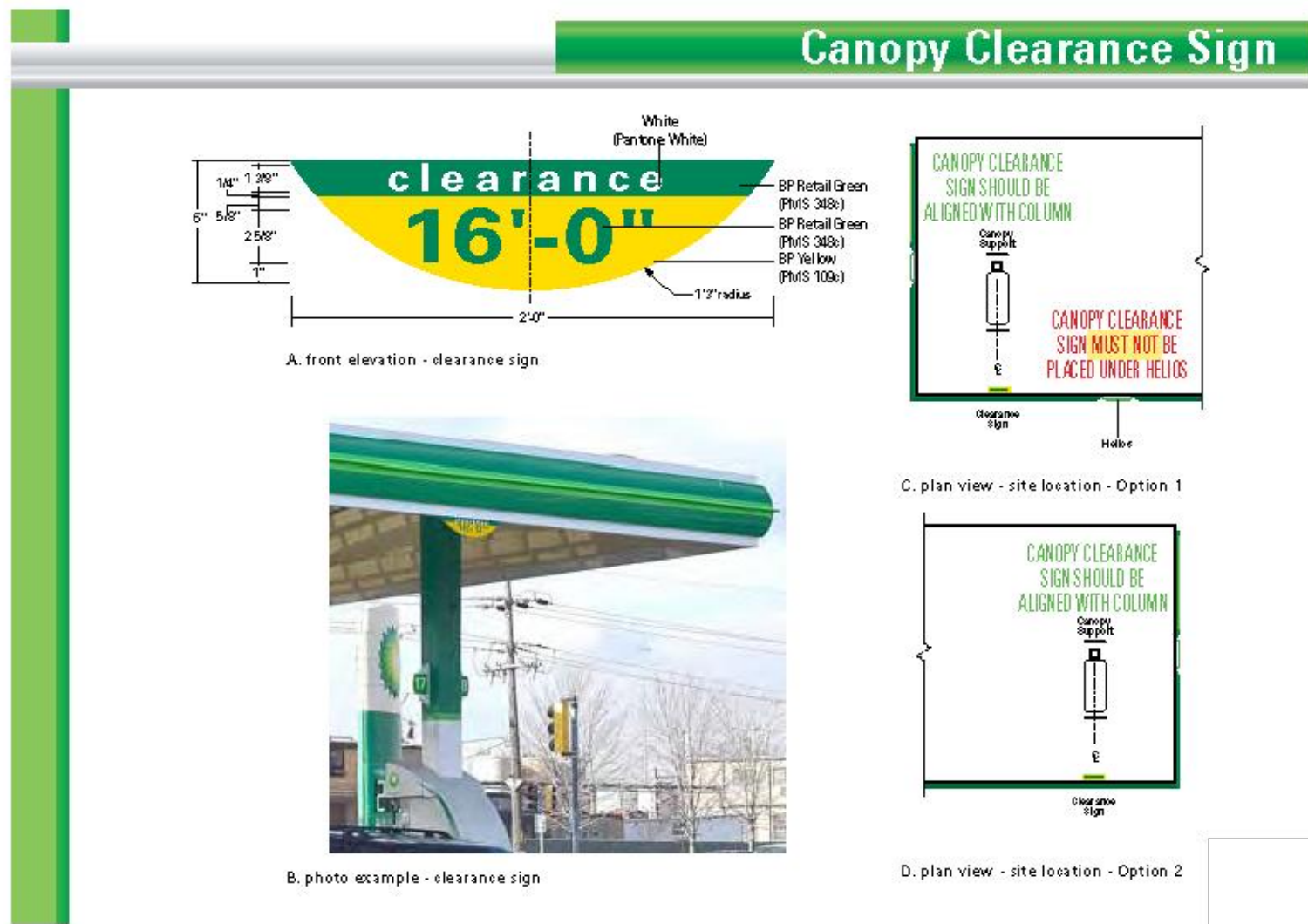
CAPITOL PETROLEUM GROUP
6820 COMMERCIAL DRIVE
SPRING FIELD, VA 22151

DRAWING TITLE:

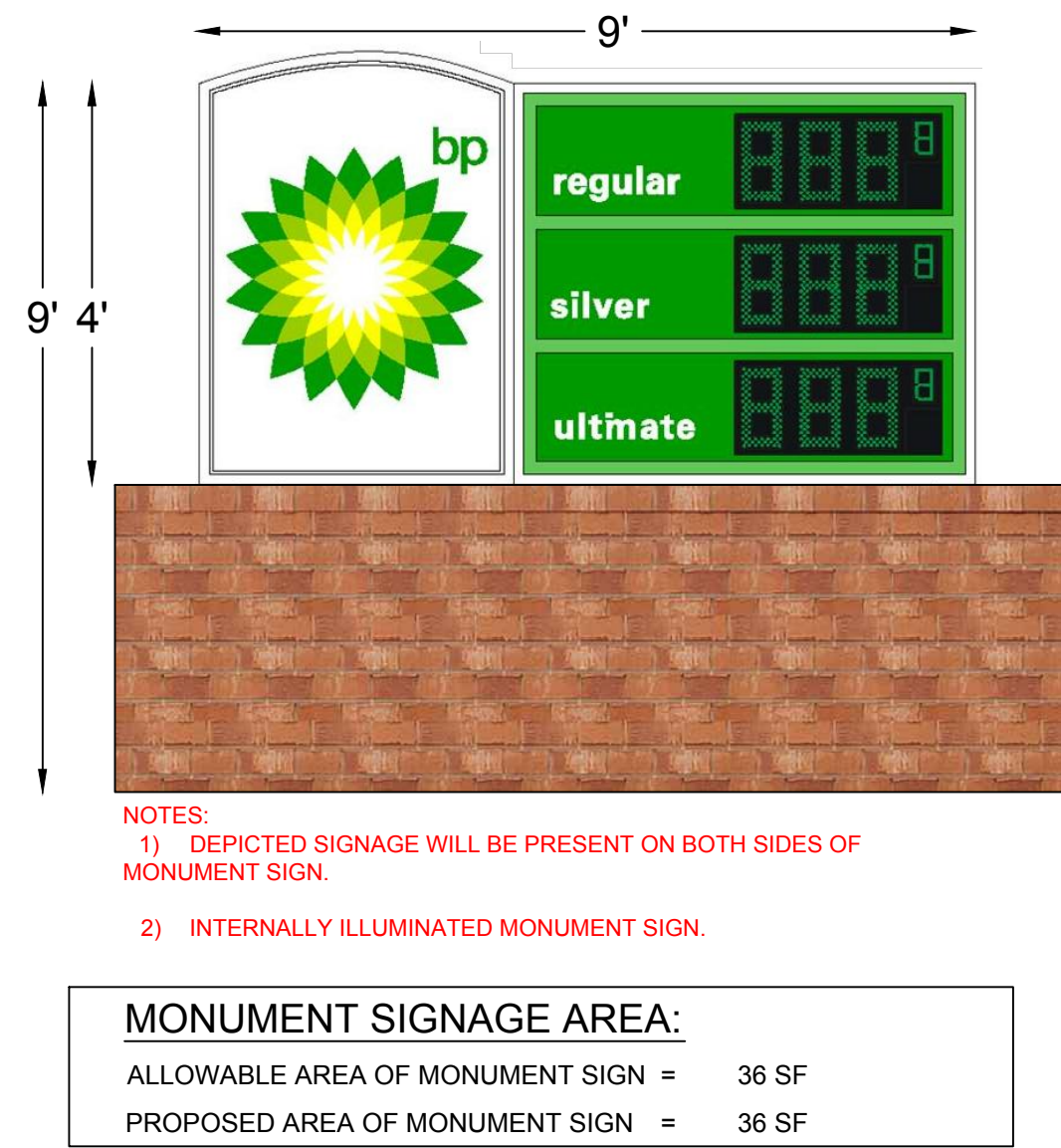
MATERIAL

SPECIFICATIONS

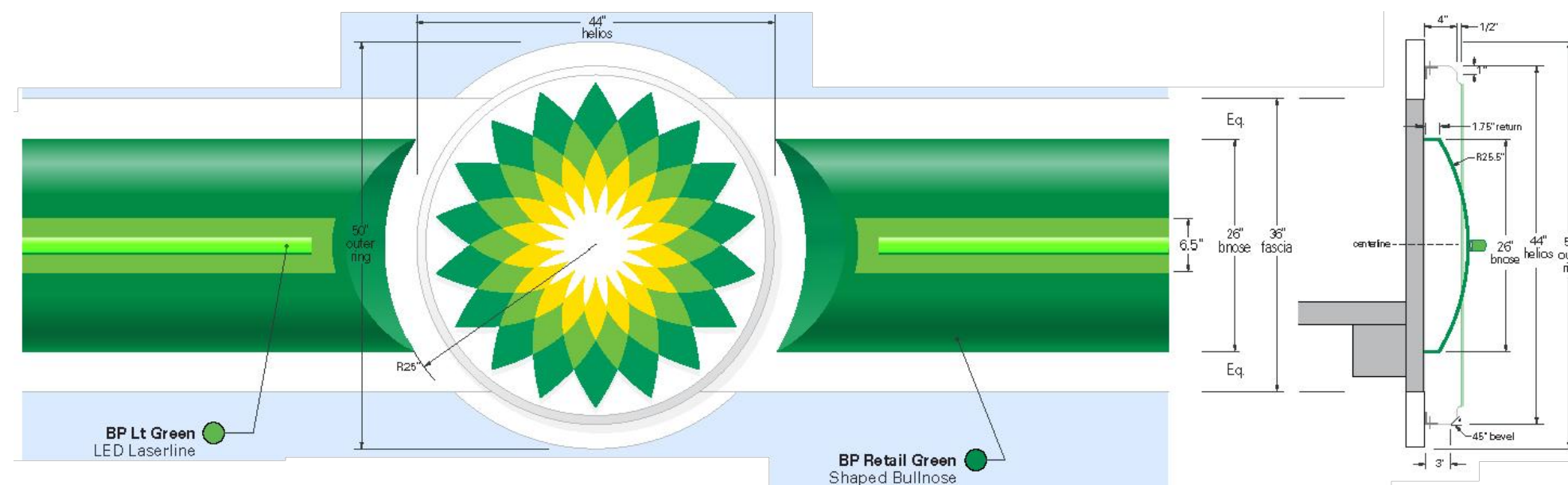
AREA:	N/A
SCALE:	N/A
PROJECT MANAGER: BP	
DRAWN BY: SR	DATE: JUNE 2018
CHECKED BY: DA	TAX MAP#: 0382 02 0088 0382 02 0089 0382 02 0090
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DRAWING NO. 05	



TYPICAL CLEARANCE SIGN DETAIL AND PLACEMENT
NOT TO SCALE



A TYPICAL MONUMENT SIGN DETAIL
NOT TO SCALE

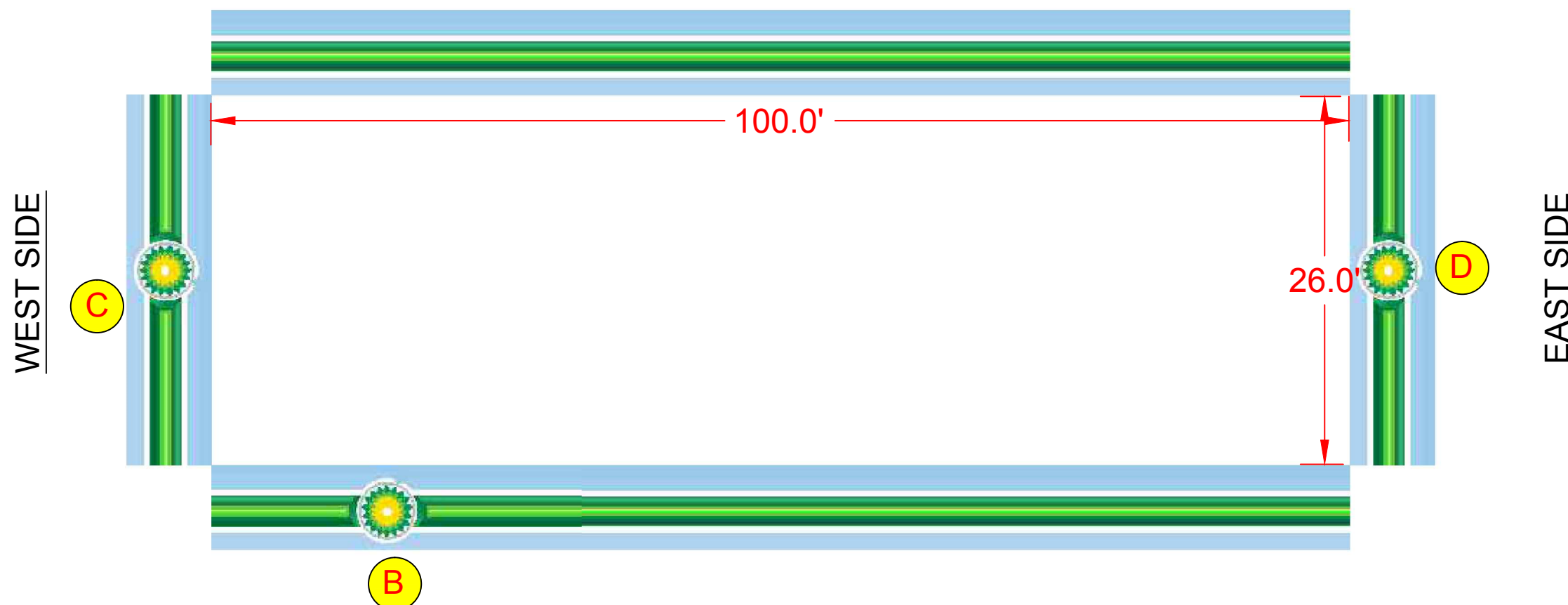


LEVEL B HELIOS AND BULLNOSE DETAIL

TYPICAL CANOPY SIGN DETAIL
NOT TO SCALE

BP CANOPY AND SIGNAGE DETAIL

NORTH SIDE



SOUTH SIDE

CANOPY SIGN PLACEMENT DIAGRAM

BUILDING SIGNAGE AREA:

ALLOWABLE BUILDING SIGNAGE AREA:

A TOTAL LIMIT OF TWO SF OF SIGN AREA IS PERMITTED FOR EACH LINEAR FOOT OF COMMERCIAL BUILDING FRONTAGE

BUILDING FRONTAGE	100 LF
ALLOWABLE SIGN AREA	200 SF
TOTAL PROPOSED SIGN AREA	162 SF

PROPOSED BUILDING SIGNAGE AREA:

i) ALONG BUILDING:	
FRONT ELEVATION SIGN SF:	60 SF
SIDE ELEVATION SF:	78 SF
ii) ALONG CANOPY:	
BP HELIOS SIGNAGE SF (QTY 3):	42 SF
TOTAL BUILDING SIGNAGE SF	180 SF

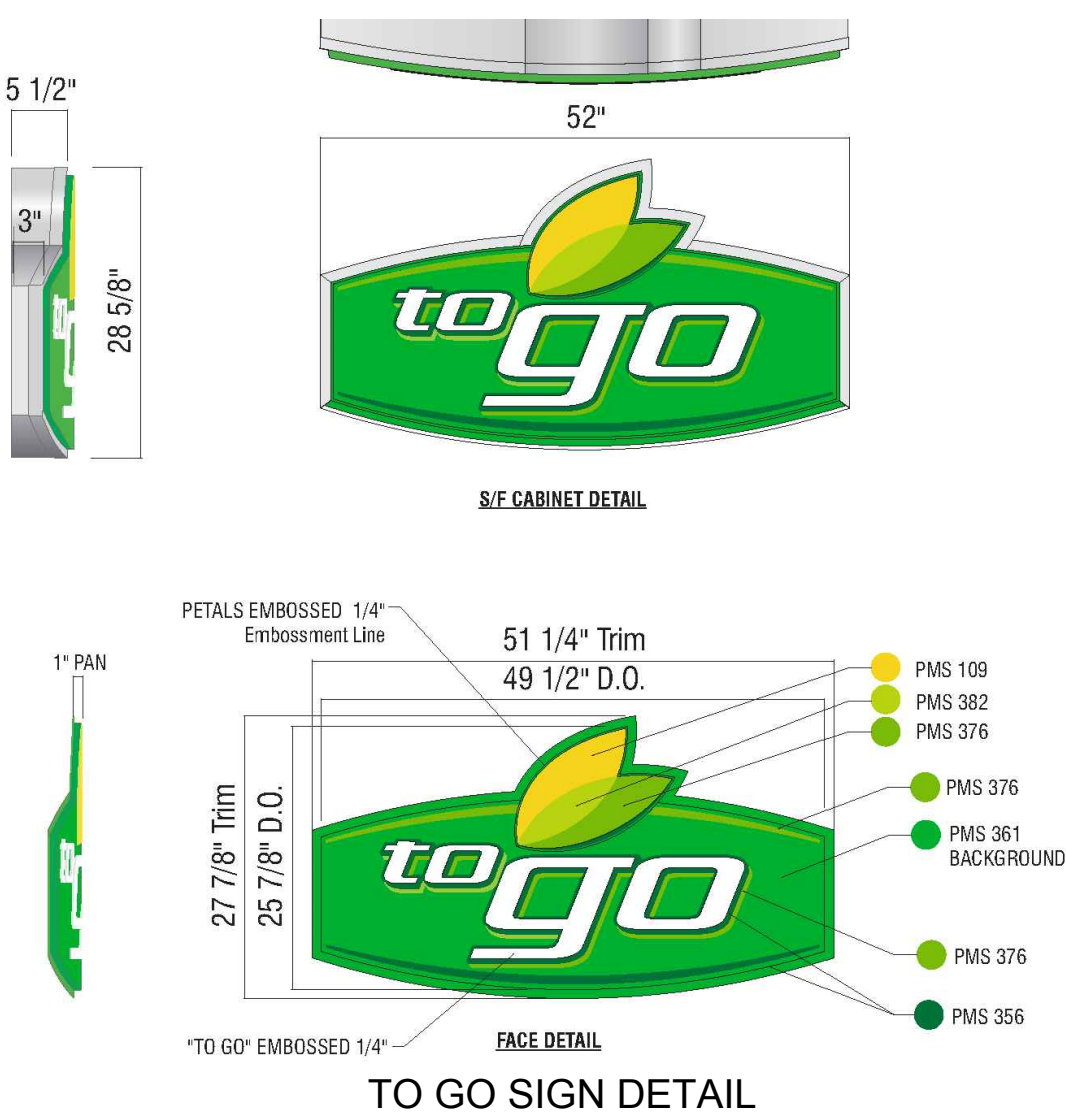
FREETSTANDING SIGNAGE AREA:

ALLOWABLE BUILDING SIGNAGE AREA:

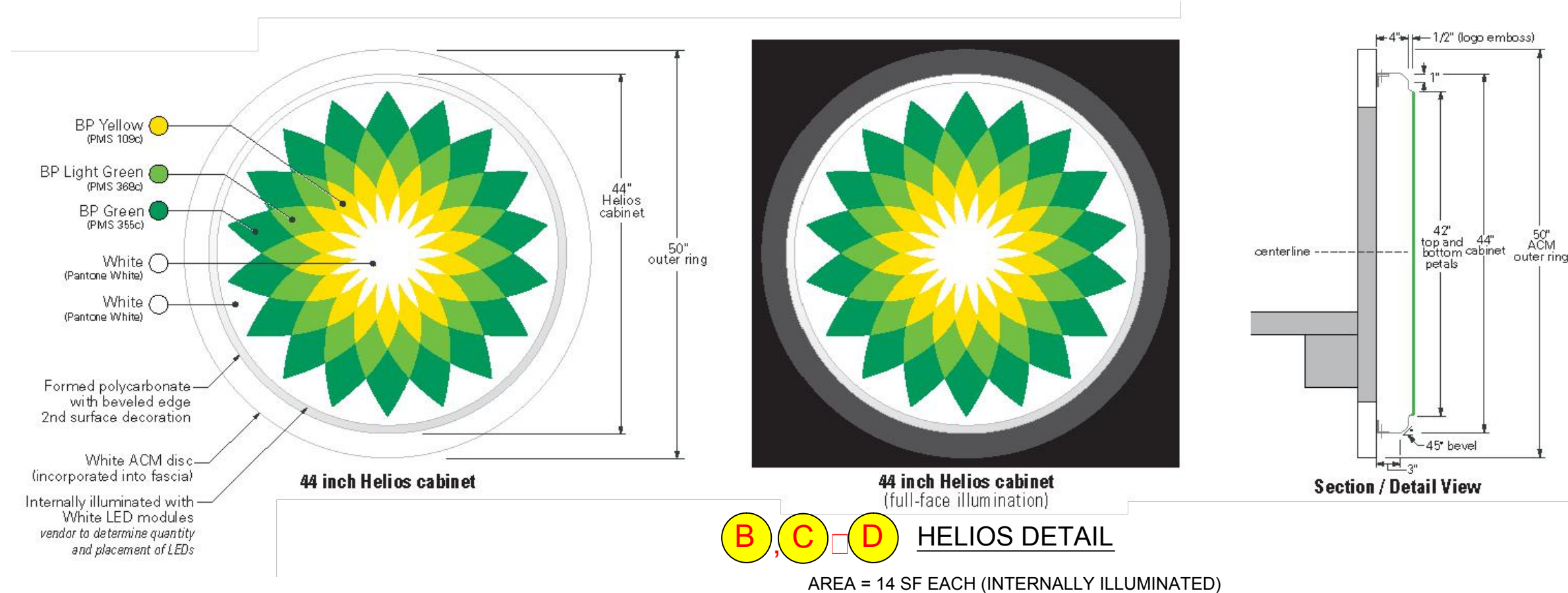
ONE FREESTANDING SIGN NOT TO EXCEED 36 SF

PROPOSED FREE STANDING AREA:

TOTAL PROPOSED SIGNAGE : 36 SF



TO GO SIGN DETAIL



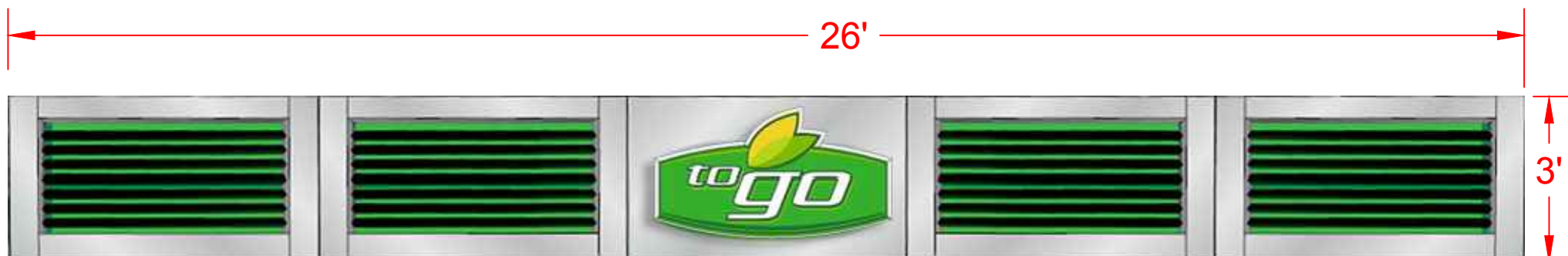
B C D HELIOS DETAIL



SITE PLAN

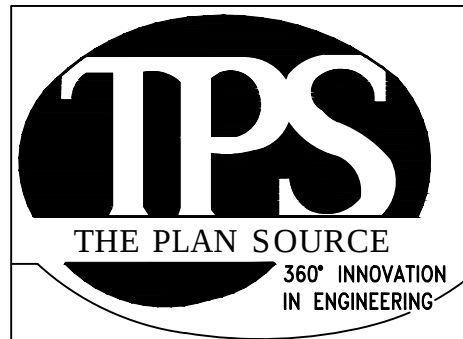


E BUILDING SIGN (BP ILLUMINATED TO GO SIGN)
AREA = 20' X 3' = 60 SF (INTERNALLY ILLUMINATED)



F BUILDING SIGN (BP ILLUMINATED TO GO SIGN)
AREA = 26' X 3' = 78 SF (INTERNALLY ILLUMINATED)

CIVIL ENGINEERS:



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43083 JOHN MOSBY HWY
CHANTILLY, VA 20152

DEVELOPER INFORMATION:

CAPITOL PETROLEUM GROUP
6820 COMMERCIAL DRIVE
SPRING FIELD, VA 22151

DRAWING TITLE:

EXTERIOR BUSINESS
SIGNAGE PLAN

AREA: N/A

SCALE: N/A

PROJECT MANAGER:

BP

DRAWN BY:
BR

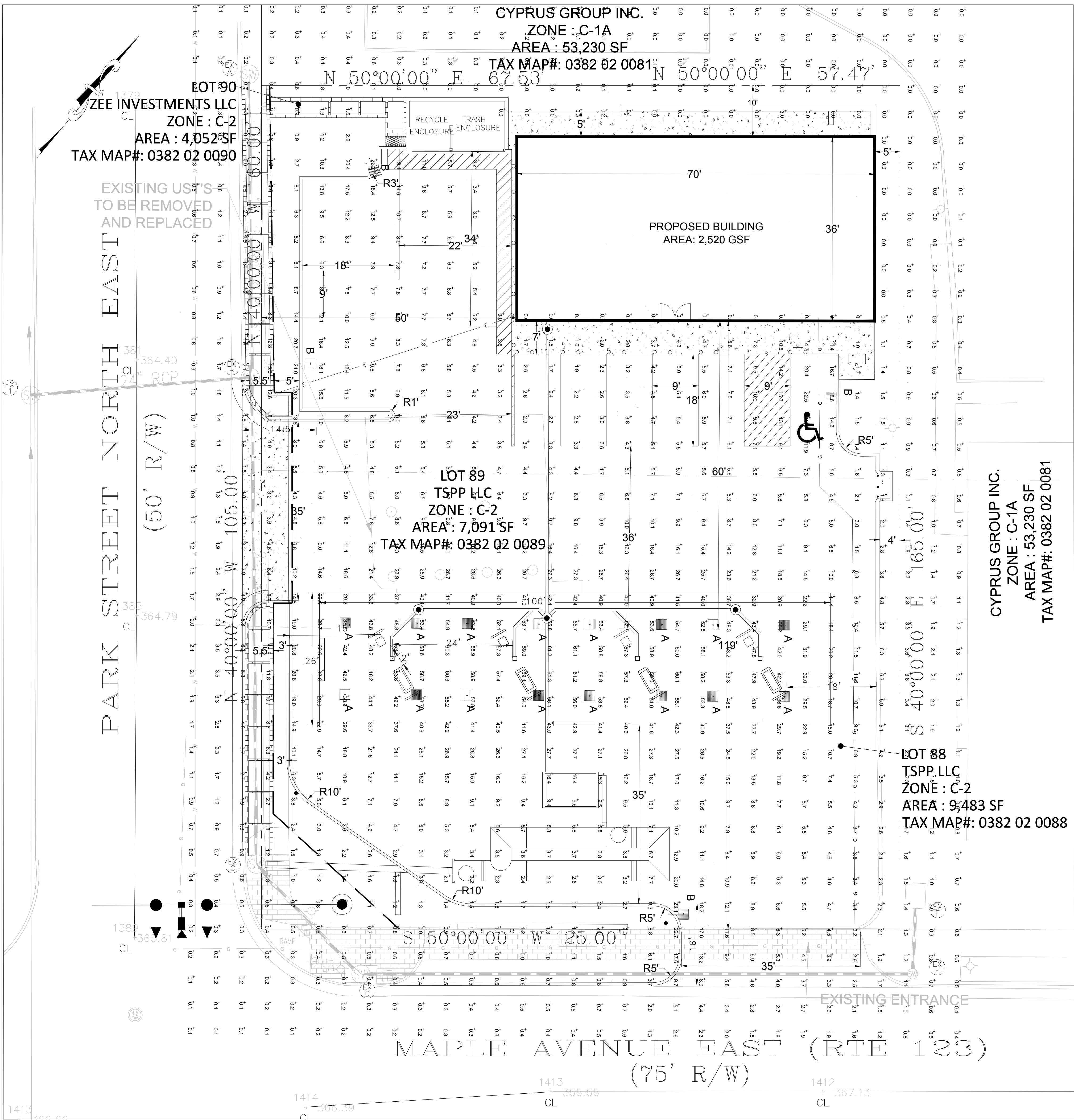
DATE:
JUNE 2018

CHECKED BY:
DA

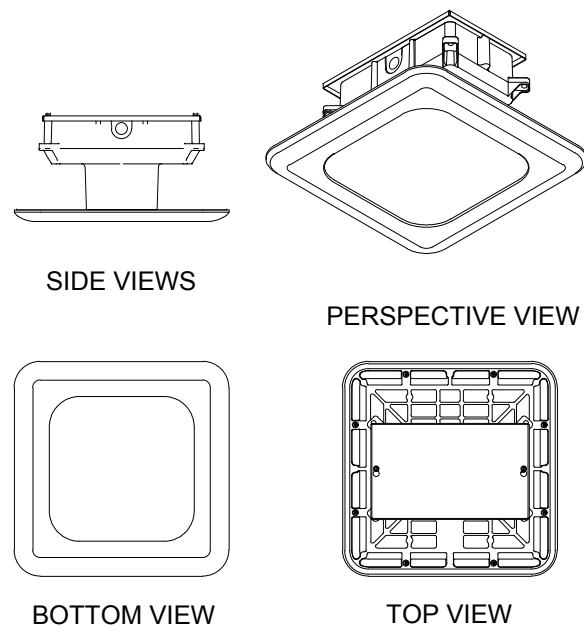
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0382 02 0089
0382 02 0090

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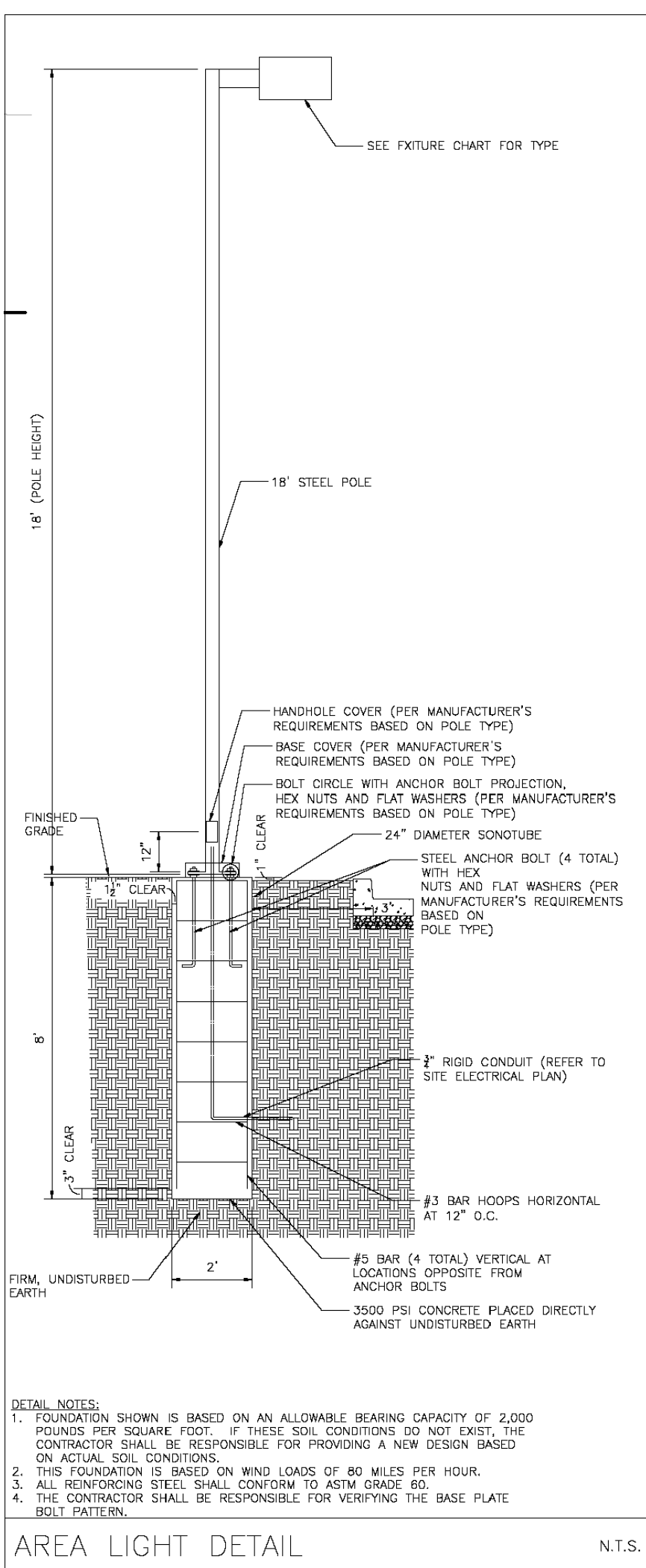
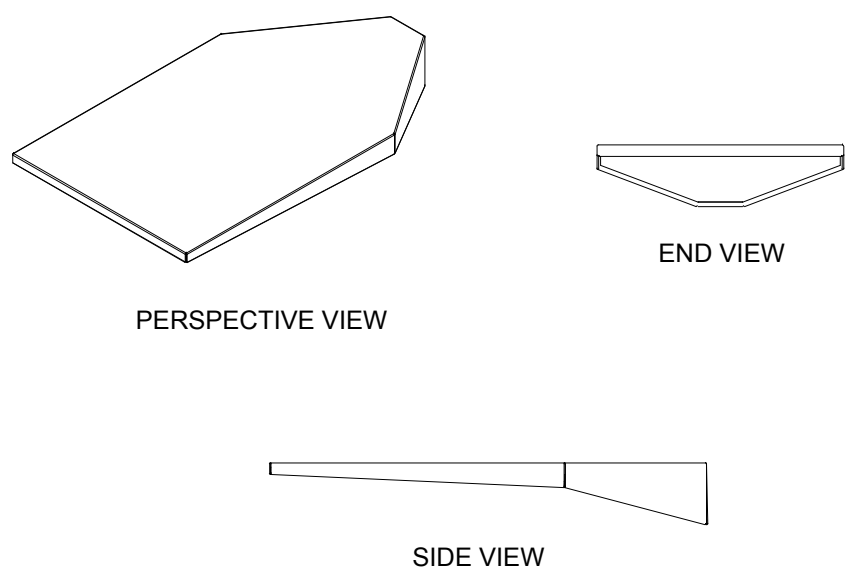
DRAWING NO.
06



CRUS-SC-LED LED CANOPY LIGHT - LEGACY



XLCS LED Area Light



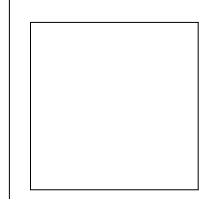
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens
	16	A	SINGLE	CRUS-SC-LED-SS-50 MTD @ 15'	1.000	N.A.	13674
	4	B	SINGLE	XLCS-FT-LED-HO-CW-SINGLE-14'POLE+2'BASE	1.000	N.A.	15535

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	9.03	61.3	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	46.20	61.3	22.2	2.08	2.76
INSIDE CURB	Illuminance	Fc	17.31	61.3	1.3	13.32	47.15

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 2120.8



LIGHTING PROPOSAL
LO-140722

C-STORE
200 MAPLE AVE EAST
VIENNA, VA

BY: MME
DATE: 06-06-18
REV:

SHEET 20
OF 23

SCALE: 1"=20'

0 20