

# 415 CHURCH STREET NORTHEAST

## SITE PLAN

### TOWN OF VIENNA, VIRGINIA

#### DEPARTMENT OF PUBLIC WORKS NOTES

- 1) WATERLINES, ALL WATERLINE INSTALLATION SHALL SUBSCRIBE TO THE TOWN OF VIENNA'S CONSTRUCTION STANDARDS AND SPECIFICATIONS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- a. WATERLINES SHALL HAVE A MINIMUM COVER OF FOUR FEET (4'), UNLESS OTHERWISE SHOWN ON THE DRAWING, MEASURED FROM THE TOP OF THE PIPE TO THE FINISHED GROUND ELEVATION. IN NO EVENT SHALL THE DEFLECTION PER JOINT OF LENGTH EXCEED THE RECOMMENDED MAXIMUM DEFLECTION AS SET FORTH BY THE PIPE MANUFACTURER.
  - b. FIRE HYDRANTS SHALL BE PLACED A MINIMUM OF EIGHTEEN INCHES (18") OR A MAXIMUM OF THIRTY-SIX INCHES (36") FROM THE FACE OF THE CURB, MEASURED FROM THE FACE OF THE CURB TO THE CENTER OF THE BARREL, AT A POINT ON THE HYDRANT IMMEDIATELY BELOW THE SWIVEL FLANGE. THE PUMPER NOZZLE SHALL BE EIGHTEEN INCHES (18") ABOVE THE CURB.
  - c. FIRE HYDRANTS SHALL BE SO PLACED THAT THEY DO NOT FALL WITHIN THE SIDEWALK, UNLESS SO DIRECTED BY THE INSPECTOR FOR THE TOWN OF VIENNA.
  - d. A SUITABLE SUMP MUST BE PROVIDED TO ALLOW DRAINING OF THE HYDRANT. FIRE HYDRANTS SHALL NOT TO BE PLACED IN FILL SECTIONS.
  - e. HYDRANTS SHALL BE PLACED ON FIRM FOUNDATION TO SUPPORT THE UNDERBASE AND A CONCRETE BLOCK BRACE SHALL BE POURED AGAINST FIRM UNDISTURBED GROUND TO KEEP THE HYDRANT FROM BLOWING OFF.
  - f. GRAVEL SHALL BE PLACED AROUND CIRCUMFERENCE OF THE HYDRANT BASE FOR A DISTANCE OF TWELVE INCHES (12") AND A HEIGHT OF EIGHTEEN INCHES (18") TO ASSURE POSITIVE DRAINAGE OF HYDRANT BARREL. GRAVEL SHALL BE CLEAN AND NOT LESS THAN THREE-FOURTHS INCH (3/4") SIZE.
  - g. POLYETHYLENE ENCASEMENT SHALL BE PROVIDED AROUND ALL WATER LINES, ENCASEMENT SHALL BE SEAMLESS AND IN ACCORDANCE WITH ANSI/AWWA STANDARD C105 CLASS C, AND SHALL BE INSTALLED IN ACCORDANCE WITH PROCEDURES DESCRIBED IN ANSI/AWWA STANDARD C105 AROUND THE WATER MAIN, INCLUDING ALL PIPE, FITTINGS, VALVES, HYDRANTS AND BRANCH CONNECTIONS WHERE SHOWN ON THE PLANS. THERE SHALL BE TWO FEET OF OVERLAP BETWEEN THE CUT SECTIONS OF POLYETHYLENE. ALL OVERLAPPING SECTIONS SHALL BE COMPLETELY TAPED IN ORDER TO HOLD THEM IN POSITION DURING BACKFILLING. ALL HOLES, SLITS, OR OPENINGS OF ANY SIZE SHALL BE REPAIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION SUCH THAT THE INTEGRITY OF THE POLYETHYLENE ENCASEMENT IS COMPLETELY RESTORED TO THE SATISFACTION OF THE TOWN. POLYETHYLENE ENCASEMENT WILL NOT BE REQUIRED FOR WATER MAIN INSTALLED INSIDE OF VAULT STRUCTURES.
- 2) SEWER LINES: ALL SEWER LINE INSTALLATION SHALL SUBSCRIBE TO THE TOWN OF VIENNA'S CONSTRUCTION STANDARDS AND SPECIFICATIONS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- a. PVC SEWER PIPE SHALL BE SCHEDULE 35 AND SHALL CONFORM TO THE A.S.T.M. DESIGNATION D3034.
  - b. INFILTRATION TEST, THE INFILTRATION INTO THE COMPLETED SEWER SHALL NOT EXCEED A RATE OF TWO-HUNDRED (200) GALLONS PER INCH OF DIAMETER, PER MILE, PER DAY FOR EIGHT INCH (8") UP TO AND INCLUDING TWENTY-FOUR INCH (24") DIAMETER AND NOT MORE THAN FIVE-THOUSAND (5,000) GALLONS PER MILE, PER DAY FOR ALL SIZED OVER TWENTY-FOUR INCH (24") DIAMETER. FOR SHORT STRETCHES OF LESS THAN FIVE-HUNDRED FEET (500'), RATES UP TO FIFTY PERCENT (50%) MORE THAN THE ABOVE AMOUNTS WILL BE PERMITTED PROVIDED THAT THE TOTAL LEAKAGE IN THE COMPLETED CONSTRUCTION DOES NOT EXCEED THE ABOVE LIMITS.
  - c. TESTS FOR INFILTRATION SHALL BE MADE UNDER THE DIRECTION OF THE TOWN AND AT LOCATIONS SELECTED BY HIM. ALL LABOR, TEMPORARY EQUIPMENT, AND MATERIALS INCLUDING WEIRS NECESSARY FOR SUCH TESTS SHALL BE FURNISHED BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. SUFFICIENT WEIR MEASUREMENTS SHALL BE MADE IN MANHOLES TO FURNISH THE NECESSARY INFORMATION. WHERE WEIR MEASUREMENTS ARE NOT SUITABLE IN THE TOWN'S OPINION, OTHER METHODS OF MEASUREMENTS AS HE SHALL DETERMINE MAY BE ADOPTED. WHERE PRACTICABLE, SEWERS SHALL BE TESTED IN LENGTHS BETWEEN MANHOLES OF NOT MORE THAN FIFTEEN-HUNDRED FEET (1,500').
  - d. SEWERS WILL NOT BE TESTED FOR INFILTRATION UNTIL AT LEAST TWO (2) WEEKS AFTER INSTALLATION AND PRIOR TO ANY SERVICE CONNECTIONS UNLESS OTHERWISE APPROVED BY THE TOWN. SEWERS WHICH FAIL TO MEET TESTS SHALL BE REPAIRED UNTIL NECESSARY REQUIREMENTS OF THIS SPECIFICATION, AS EVIDENCED BY SUBSEQUENT TESTS, ARE COMPLIED WITH.
- 3) STORMWATER LINES: ALL STORMWATER LINE INSTALLATION SHALL SUBSCRIBE TO THE TOWN OF VIENNA'S CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- 4) THE OWNER MUST PHYSICALLY DISCONNECT EXISTING WATER, SEWER LATERALS THAT ARE TO BE ABANDONED AT THEIR CONNECTION TO THE PUBLIC MAIN.
- 5) THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF PROPOSED UTILITIES. A MINIMUM OF 18 INCHES VERTICAL AND FIVE FEET HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM ANY UTILITIES AND PUBLIC WATER AND SEWER MAINS.
- 6) ALL WATER AND SEWER FACILITIES SHALL BE INSTALLED BY A LICENSED CONTRACTOR IN THE STATE OF VIRGINIA.
- 7) ALL WATER AND SEWER CONSTRUCTION IS INSPECTED AND TESTED AS PER VIENNA STANDARDS PRIOR TO FINAL ACCEPTANCE BY THE TOWN.
- 8) THE VIENNA SEWER DEPARTMENT SHALL BE NOTIFIED AT A MINIMUM 48 HOURS (MONDAY THROUGH FRIDAY) PRIOR TO COMMENCING ANY WORK, TESTING, AND PRIOR TO MAKING ANY CONNECTIONS TO EXISTING SEWER LINES OR MANHOLES.
- 9) THERE SHALL BE NO UNMETERED CONNECTIONS TO THE TOWN'S WATER SYSTEM, INCLUDING CONNECTIONS BYPASSING METERS FOR TESTING ON-SITE PLUMBING OR FOR OBTAINING CONSTRUCTION WATER.
- 10) PRESSURE TESTING AGAINST VALVES WILL NOT BE ALLOWED.
- 11) A NOMINAL FOUR FEET OF COVER IS REQUIRED FOR ALL WATER MAINS AT FINAL GRADE.
- 12) THE USE OF A FIRE HYDRANT AS A WATER SOURCE IS PROHIBITED UNLESS A METER HAS BEEN OBTAINED FROM VIENNA FOR USE OF A SPECIFIC HYDRANT(S).
- 13) ABANDONMENTS OF EXISTING WATER AND SEWER CONNECTIONS ARE CLEARLY INDICATED ON THE PLANS WITH APPROPRIATE NOTES DESCRIBING HOW THE SERVICES ARE TO BE ABANDONED AT THE MAINS. INDIVIDUAL SERVICES MUST BE CUT AND THE REMAINING SERVICE LINE CRIMPED NOT LESS THAN 12" FROM THE MAIN AND NOT MORE THAN 3'. THE TOWN IS TO BE NOTIFIED 48 HOURS IN ADVANCE OF DISCONNECTION AND MAY INSPECT THE DISCONNECTION AT ITS CHOOSING SO AS TO PREVENT SLOW LEAKS, INCOMPLETELY TURN OFF CORPORATIONS AND OR FUTURE CONSTRUCTION ISSUES WITH TRENCHING THROUGH NONE CUT SERVICE LINES.
- 14) PER SECTION TOWN OF VIENNA CONSTRUCTION SPECIFICATIONS SECTION I.B.10 : SUPPORTS SHALL BE CONSTRUCTED BEHIND ALL BENDS, TEES, CAPS, PLUGS AND HYDRANTS. THE USE OF SUPPORTS BEHIND FITTINGS REFERS TO FITTINGS IN THE VERTICAL PLANE AS WELL AS THOSE USED IN THE HORIZONTAL PLAN." THEY SHALL BE DESIGNED TO CARRY THE LOAD THAT WILL REASONABLY BE REQUIRED OF THEM UNDER MAXIMUM HEAD AND A REASONABLE ALLOWANCE FOR WATER HAMMER."
- 15) POLYETHYLENE ENCASEMENT IS REQUIRED FOR ALL LINES IN VIENNA IN ACCORDANCE WITH ANSI/AWWA STANDARD C105 CLASS C, PER SECTION I.B.14.B OF THE VIENNA STANDARD CONSTRUCTION SPECIFICATIONS.

#### TOWN OF VIENNA - NOTES

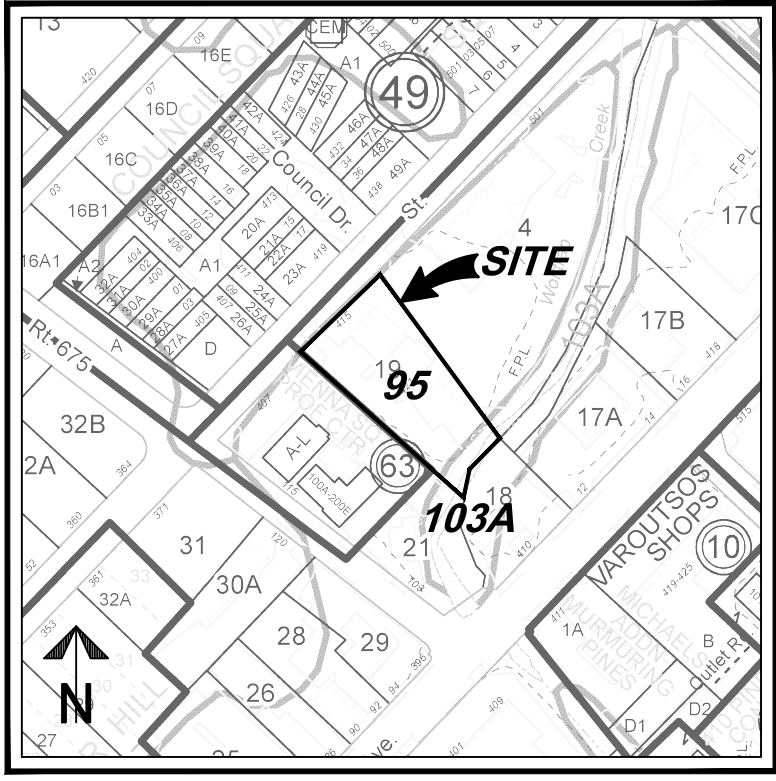
1. A PRE-CONSTRUCTION MEETING MUST BE HELD PRIOR TO THE START OF CONSTRUCTION. CALL 703-255-6384 TO SCHEDULE THE PRE-CONSTRUCTION MEETING.
2. ALL CONSTRUCTION GENERATED DEBRIS MUST BE HAULED AWAY BY THE CONTRACTOR OR OWNER.
3. PRIOR TO THE REMOVAL OF ANY TOWN TREES (TREES WITHIN THE RIGHT OF WAY), THE APPLICANT OR THEIR REPRESENTATIVE SHALL CONTACT THE TOWN OF VIENNA ARBORIST AT 703-255-6360 TO COORDINATE HAVING THE TOWN ARBORIST ONSITE DURING ALL TOWN TREE REMOVAL.
4. TREE PROTECTION FOR ANY TOWN TREE, AS SHOWN ON PLAN, MUST BE INSTALLED PRIOR TO ANY SITE WORK.
5. IT IS UNLAWFUL TO PERFORM ANY CONSTRUCTION ABOVE FOUNDATION CORNERS PRIOR TO APPROVAL OF SETBACKS. WORK COMPLETED IN VIOLATION OF THIS REQUIREMENT IS SUBJECT TO DEMOLITION.
6. ALL DUMPSTERS/PODS ARE TO BE PLACED ON PRIVATE PROPERTY.
7. FRONT ELEVATION CHECKS ARE REQUIRED.
8. WALL CHECK SURVEYS ARE REQUIRED AND MUST BE SUBMITTED PRIOR TO CONSTRUCTION ABOVE FOUNDATION CORNERS.
9. A CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO OCCUPANCY. ALL REQUIRED DOCUMENTATION AND INSPECTION MUST BE SUBMITTED/COMPLETED BEFORE THE TOWN OF VIENNA WILL ISSUE A CERTIFICATE OF OCCUPANCY.
10. EXISTING SANITARY SEWER LATERALS ARE TYPICALLY CAPPED AT OR NEAR THE PROPERTY LINE. THE REUSE OF THE PORTION OF THE EXISTING SANITARY SEWER LATERAL BETWEEN THE TOWN OWNED SEWER MAIN AND THE CAPPED END MAY BE ALLOWED PROVIDING THAT A LICENSED PLUMBER CERTIFIES THAT THE EXISTING PIECE OF PIPE IS GRADED PROPERLY AND IN LIKE NEW CONDITION. THE REUSE OF A PORTION OF THE EXISTING LATERAL DOES NOT IMPLY THAT THE TOWN IS WARRANTING THE CONDITION IN ANY WAY.

#### CONSTRUCTION NOTES

CONTRACTOR AND DEVELOPER ARE ADVISED THAT ANY ELECTRONIC FILES ASSOCIATED WITH THE PREPARATION OF THESE PLANS WILL NOT BE RELEASED TO OTHERS FOR USE IN CONSTRUCTION STAKEOUT OR RELATED SERVICES.

1. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN IN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
2. THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES BY MISS UTILITY TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES. TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED IF THIS INSTANCE OCCURS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL CLEAR THE SITE OF ALL TREES, BUILDINGS, FOUNDATIONS, ETC. WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE SPECIFIED, AND SHALL BE RESPONSIBLE FOR CAUSING EXISTING UTILITIES TO BE DISCONNECTED.
6. THE DEVELOPER SHALL PROVIDE OVER-LOT GRADING TO PROVIDE POSITIVE DRAINAGE AND PRECLUDE PONDING OF WATER.
7. FINISHED GRADES SHOWN FOR FINISHED TOP OF CURB GRADES ON EXISTING ROADS SHALL BE FIELD ADJUSTED AS REQUIRED TO CONFORM TO THE INTENT OF THE TYPICAL SECTION USING THE EXISTING EDGE OF PAVEMENT AS THE CONTROL POINT. A SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING RIGHT-OF-WAY TO THE FACE OF CURB TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR THE PONDING OF WATER ON THE ROADWAY. THE EXISTING PAVEMENT SHALL BE RECAPIED AND/OR REMOVED AND REPLACED AS REQUIRED TO ACCOMPLISH THIS REQUIREMENT. CURB FORMS SHALL BE INSPECTED AND APPROVED FOR HORIZONTAL AND VERTICAL ALIGNMENT BY CITY OF FALLS CHURCH INSPECTORS PRIOR TO PLACING OF CONCRETE. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR FINISHED GRADES ON TOP OF STRUCTURED PARKING DECK.
8. AREAS ON OR OFF-SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS, SEED MIXTURE TO BE AS RECOMMENDED BY THE CITY AGENT. ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND PEGGED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE TOWN OF VIENNA.
9. EXISTING WELLS SHALL BE PERMANENTLY ABANDONED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD REQUIREMENTS.
10. ALL OVER HEAD POLE LINES SHALL BE RELOCATED OR REMOVED AS SHOWN BY THE OWNING UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS AND COORDINATING ALL WORK REQUIRED FOR THE NECESSARY RELOCATIONS.
11. SUBBASE MATERIAL SHOWN ON THE TYPICAL STREET SECTION SHALL CONFORM TO VDOT SPECIFICATIONS SECTION 209. PAVEMENT THICKNESS AS SHOWN ON THE PLAN ARE BASED ON AN ASSUMED SOIL SUPPORT VALUES (S.S.V.) OF 10 UNLESS OTHERWISE NOTED. A QUALIFIED SOILS TESTING FIRM SHALL BE ENGAGED BY THE CONTRACTOR TO DETERMINE THE ACTUAL S.S.V. IN ACCORDANCE WITH "A DESIGN GUIDE FOR SUBDIVISION PAVEMENTS IN VIRGINIA" BY N.K. VASWANI, OCTOBER 1973, VHCRC 73-821 AS AMENDED. SOIL SUPPORT VALUES SHALL BE OBTAINED AT EACH CHANGE IN SUBGRADE SOILS AND AT A MAXIMUM SPACING OF 500 FEET WHERE SUBGRADE SOILS REMAIN CONSTANT. S.S.V. SHALL BE FURNISHED TO THE ENGINEER AND THE ENGINEER SHALL REVISE THE PAVEMENT DESIGN THICKNESS TO SHOW THE ACTUAL DEPTH OF PAVEMENT MATERIAL REQUIRED AND SHALL SUBMIT THE REVISION TO THE CITY OF FALLS CHURCH FOR REVIEW AND APPROVAL. THE CONTRACTOR IS ADVISED NOT TO BRING THE AREA SUBJECT TO THIS REVISION TO FINISHED GRADE UNTIL AFTER THE REVISED PAVEMENT SECTION IS APPROVED.
12. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY FROM THE ARCHITECTURAL DRAWINGS ALL DIMENSION, DETAILS, AND TREATMENTS FOR THE PROPOSED BUILDINGS, WALKWAYS, AND OTHER PROPOSED CONSTRUCTION WHERE INDICATED ON THE PLANS. ANY DISCREPANCIES SHALL IMMEDIATELY BE REPORTED TO DESIGN ENGINEER.
13. THE CONTRACTOR IS TO VERIFY INVERT, SIZE AND LOCATION OF BUILDING UTILITY CONNECTIONS WITH THE MECHANICAL PLANS PRIOR TO PLACEMENT OF UNDERGROUND UTILITIES.
14. NO UNDERGROUND SOILS INVESTIGATION HAS BEEN PERFORMED BY WALTER L. PHILLIPS, INC. ALL SOILS INFORMATION PRESENTED AS PART OF THIS SITE PLAN HAS BEEN PREPARED BY OTHERS AND IS INCLUDED AS REQUIRED FOR CITY OF FALLS SITE PLAN APPROVAL.
15. THE CONTRACTOR SHALL REMOVE EXISTING BUILDINGS, FENCES AND OTHER EXISTING PHYSICAL FEATURES AS REQUIRED.
16. ALL PROPOSED SIDEWALK, CG-6, CG-2 OR CG-6R IS TO BE CONSTRUCTED WITH A MINIMUM 6" AGGREGATE BASE. SEE SHEET C-0202 AND C-0203 FOR DETAILS
17. EXISTING CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. NEW CONSTRUCTION SHALL BE PROVIDED AS SHOWN AND ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION.
18. DAMAGE TO ANY EXISTING ENTRANCES, CURB AND GUTTER, PAVEMENT OR OTHER EXISTING STRUCTURES NOT PROPOSED TO BE DISTURBED WITH THIS DEVELOPMENT, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE REPAIRED TO THE SATISFACTION OF THE TOWN OF VIENNA, THE VIRGINIA DEPARTMENT OF TRANSPORTATION AND ANY ADJOINING OWNERS THAT MAY BE AFFECTED.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A SMOOTH TRANSITION TO EXISTING CURB.
20. ALL PRIVATE BUILDING CONNECTIONS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
21. SEE ARCHITECTURAL AND/OR LANDSCAPE DRAWINGS FOR DIMENSIONS AND DETAILS FOR ALL RETAINING WALLS. ALL ON-SITE RETAINING WALLS ARE SUBJECT TO A SEPARATE BUILDING PERMIT TO BE OBTAINED BY OWNER. THIS PLAN IS FOR APPROXIMATE LOCATION AND PROPOSED GRADING ONLY. GEOTECHNICAL AND STRUCTURAL DESIGN TO BE ACCOMPLISHED BY OTHERS. RETAINING WALLS SHOWN ON THIS PLAN ARE FOR THE PURPOSES OF DEMONSTRATING THE PROPOSED TOP AND BOTTOM ELEVATIONS AND LOCATION OF THE WALLS ONLY. RETAINING WALLS ARE TO BE MAINTAINED BY THE PROPERTY OWNERS.
22. TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN. ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN SHALL SUPERSEDE PROFILE ELEVATIONS. MINOR ADJUSTMENTS TO MEET FINISHED GRADE ELEVATIONS MAY BE REQUIRED.
23. SEE LANDSCAPE PLAN FOR ALL ON-SITE SIDEWALK, PLANTING AND IRRIGATION DETAILS.
24. THE DESIGN, CONSTRUCTION, FIELD PRACTICES AND METHODS SHALL CONFORM TO THE REQUIREMENTS SET FORTH BY THE TOWN OF VIENNA AND ITS CURRENT ZONING ORDINANCE AND CONSTRUCTION STANDARDS MANUAL. FAILURE TO COMPLY WITH THE CODE, APPLICABLE MANUALS, PROVISIONS OF THE CONSTRUCTION AND ESCROW AGREEMENTS OR THE PERMITS SHALL BE DEEMED A VIOLATION.
25. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER/DEVELOPER OR HIS AGENT OF ANY LEGAL RESPONSIBILITIES WHICH MAY BE REQUIRED BY THE CODE OF VIRGINIA OR ANY ORDINANCE ENACTED BY THE GOVERNING AGENCY.
26. A MINIMUM PERMISSIBLE GRADE OF 1.00% IS REQUIRED FOR PAVEMENT TO ASSURE POSITIVE DRAINAGE. IF THERE IS EXISTING PAVEMENT WHICH IS TO REMAIN UNDISTURBED DURING CONSTRUCTION AND IS LESS THAN 1.00%, THEN THE CONTRACTOR IS TO CHECK TO MAKE SURE THE SITE AREA WILL HAVE ADEQUATE DRAINAGE.
27. NO EVIDENCE OF GRAVES OR BURIAL SITES HAS BEEN FOUND ON THIS PROPERTY.
28. CONSTRUCTION STAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA.

#### SOILS MAP

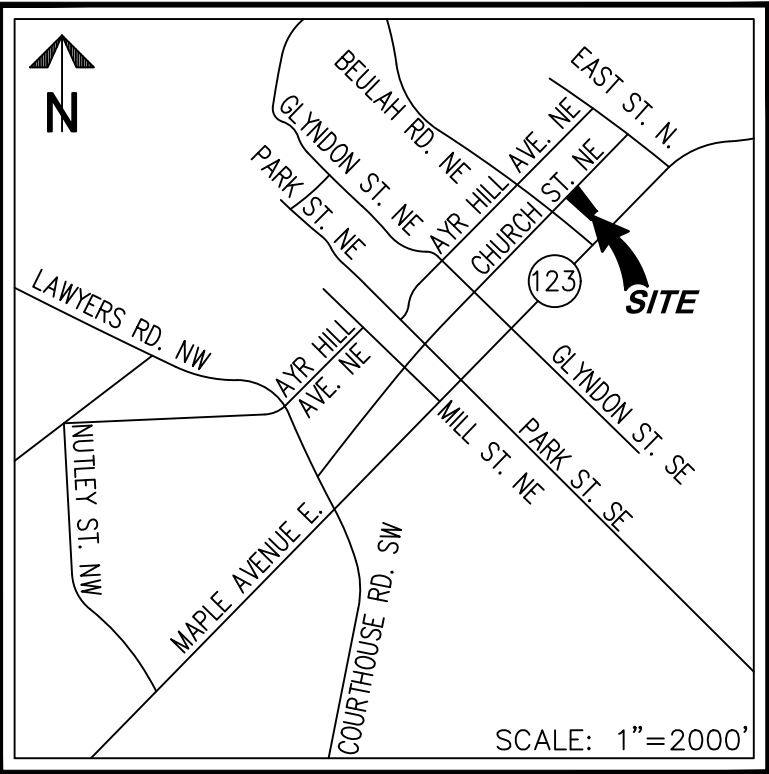


#### SOILS DATA

SOIL # 'S	SERIES NAME	HYDROLOGIC SOIL GROUP	PROBLEM CLASS	FOUNDATION SUPPORT	SUBSURFACE DRAINAGE	ERODABILITY
95	URBAN LAND	N/A	1VB	N/A	N/A	N/A
103A	WHEATON-CODORUS COMPLEX	D	1VA	LOW	POOR	LOW

NOTE:  
STRUCTURAL ENGINEER TO DETERMINE LEVEL OF REQUIRED INVESTIGATION FOR BUILDING DESIGN PURPOSES.

#### VICINITY MAP



#### GENERAL NOTES:

PROPERTY ADDRESS: 415 CHURCH STREET NE  
SITE AREA: 45,215 SF OR 1.038 ACRES (FROM RECORD)  
TYPE OF PLAN: MINOR SITE PLAN AMENDMENT  
EXISTING/PROPOSED ZONING DISTRICT: T (TRANSITIONAL)

#### OWNER INFORMATION:

VIRGINIA CARDIOVASCULAR INVESTMENTS, LLC  
8100 ASHTON AVENUE, SUITE 200  
MANASSAS, VA 20109

#### DEVELOPER INFORMATION:

SAME AS OWNER

#### SHEET INDEX

- C-0101 COVER SHEET  
C-0301 EXISTING CONDITIONS & DEMOLITION PLAN  
C-0302 CONTEXT PLAN  
C-0401 LAYOUT AND GRADING PLAN  
C-1201 LANDSCAPE COMPLIANCE PLAN

#### COVER SHEET

## 415 CHURCH STREET NE

### SITE PLAN

415 CHURCH STREET NORTHEAST  
TOWN OF VIENNA, VIRGINIA 22180



WALTER L. PHILLIPS  
Engineers • Surveyors • Planners  
Landscape Architects • Arborists  
207 PARK AVENUE  
FALLS CHURCH, VIRGINIA 22046  
(703) 532-6163 Fax (703) 533-1301  
www.WLPINC.com  
ESTABLISHED 1945  
INCORPORATED  
SCALE: NONE  
DATE: 12/20/20, 1/27/21  
DRAWN: AV  
CHECKED: JT

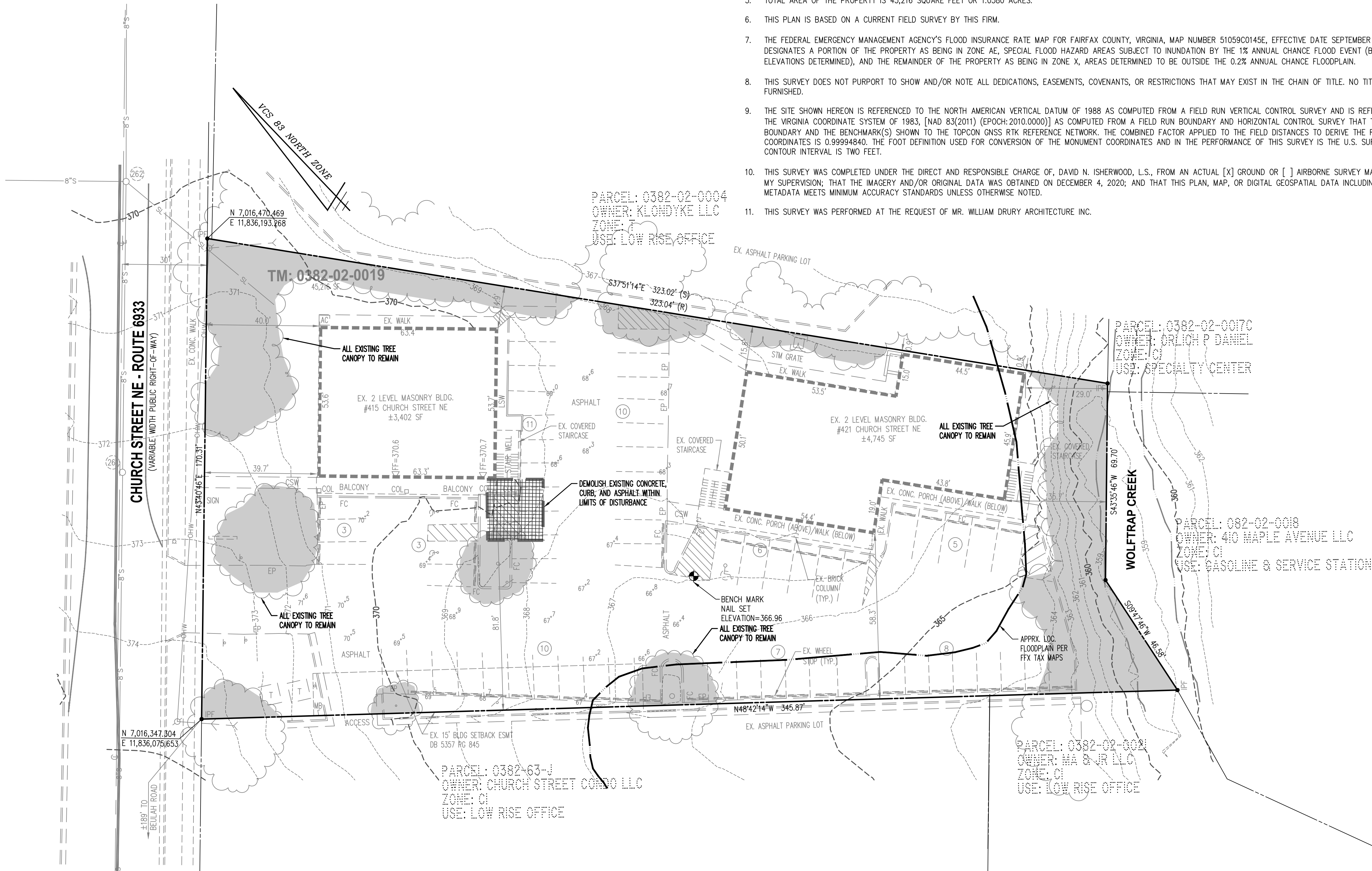
COL.....	COLUMN
CSW.....	CONCRETE SIDEWALK
DB.....	DEED BOOK
EP.....	EDGE OF PAVEMENT
FC.....	HEADER CURB
FF.....	FIRST/FINISH FLOOR ELEVATION
IPF.....	IRON PIN FOUND (PROPERTY CORNER)
LSW.....	LANDSCAPING WALL
N/F.....	NOW OR FORMERLY
PG.....	PAGE
R.....	RECORD
S.....	SURVEYED
SMH (E)	SANITARY SEWER STRUCTURE
SQ. FT.	SQUARE FEET
△.....	FIRE HYDRANT
△.....	DOORWAY/ENTRANCE
Ø.....	UTILITY POLE
☆.....	LIGHT POLE
SL.....	UNDERGROUND SANITARY LINE
	TREE
	LIMITS OF TREE CANOPY/VEGETATION
	CURB AND GUTTER
123 <sup>4</sup>	SPOT ELEVATION
	SIGN
	RESERVED FOR DISABLED
	GUY WIRE
	OVERHEAD WIRES
E.....	UNDERGROUND ELECTRIC LINE
G.....	UNDERGROUND GAS LINE
S.....	UNDERGROUND SANITARY LINE
	UNDERGROUND STORM SEWER LINE
T.....	T
W.....	UNDERGROUND WATER LINE
	TREE
	LIMITS OF TREE CANOPY/VEGETATION
	CURB AND GUTTER
	BOLLARD
E (E)	ELECTRIC TRANSFORMER
123 <sup>4</sup>	SPOT ELEVATION
123 <sup>4</sup>	SIGN
	TELECOMMUNICATIONS MANHOLE
	RESERVED FOR DISABLED
	GROUND LIGHT
260 ---	CONTOURS

	EXISTING BUILDING TO BE DEMOLISHED
	CONCRETE/ASHPALT TO BE DEMOLISHED
	EXISTING TREE TO BE REMOVED
	UTILITY TO BE DEMOLISHED OR ABANDONED AS NOTED
	LIMITS OF CURB TO BE REPLACED
	PROPOSED TEST PIT

SMH 261	
MANHOLE TOP =	372.37
8" INV IN (S.WEST)=	360.99
8" INV OUT (SMH 262)=	360.98
SMH 262	
MANHOLE TOP =	369.73
LAT INV IN (SOUTH)=	359.84
8" INV IN (N.WEST)=	359.67
8" INV IN (SMH 261)=	359.46
8" INV OUT (N.EAST)=	359.41

(IN FEET)  
1 INCH = 20'

1. THE PROPERTY SHOWN HEREON IS DESIGNATED BY FAIRFAX COUNTY, VIRGINIA, AS TAX MAP REFERENCE NUMBER 0382-02-0019, AND IS ZONED T.
2. THE PROPERTY IS NOW IN THE NAME OF VIRGINIA CARDIOVASCULAR INVESTMENTS, LLC, AS RECORDED IN DEED BOOK 22590 AT PAGE 1793 AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.
3. THIS LIMITED TOPOGRAPHIC SURVEY IS BASED ON A CURRENT FIELD SURVEY BY THIS FIRM. THIS SURVEY IS SOLELY INTENDED TO REPRESENT TOPOGRAPHIC MAPPING IN AREA SHOWN.
4. THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED SHOWS ONLY THOSE IMPROVEMENTS THAT ARE OBSERVABLE AND CAN BE LOCATED USING NORMAL SURVEY METHODS. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, MISS UTILITY MARKINGS AND EXISTING RECORDS. THERE ARE NO GUARANTEES, EITHER EXPRESS OR IMPLIED, THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE UNDERGROUND UTILITIES HAVE NOT BEEN PHYSICALLY LOCATED. WATER AND GAS LINE SIZES ARE FROM RECORD INFORMATION.
5. TOTAL AREA OF THE PROPERTY IS 45,216 SQUARE FEET OR 1.0380 ACRES.
6. THIS PLAN IS BASED ON A CURRENT FIELD SURVEY BY THIS FIRM.
7. THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR FAIRFAX COUNTY, VIRGINIA, MAP NUMBER 51059C0145E, EFFECTIVE DATE SEPTEMBER 17, 2010 DESIGNATES A PORTION OF THE PROPERTY AS BEING IN ZONE AE, SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT (BASE FLOOD ELEVATIONS DETERMINED), AND THE REMAINDER OF THE PROPERTY AS BEING IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
8. THIS SURVEY DOES NOT PURPORT TO SHOW AND/OR NOTE ALL DEDICATIONS, EASEMENTS, COVENANTS, OR RESTRICTIONS THAT MAY EXIST IN THE CHAIN OF TITLE. NO TITLE REPORT FURNISHED.
9. THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY AND IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983, [NAD 83(2011) [EPOCH:2010.0000]] AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY THAT TIES THIS BOUNDARY AND THE BENCHMARK(S) SHOWN TO THE TOPCON GNSS RTK REFERENCE NETWORK. THE COMBINED FACTOR APPLIED TO THE FIELD DISTANCES TO DERIVE THE REFERENCED COORDINATES IS 0.999994840. THE FOOT DEFINITION USED FOR CONVERSION OF THE MONUMENT COORDINATES AND IN THE PERFORMANCE OF THIS SURVEY IS THE U.S. SURVEY FOOT. CONTOUR INTERVAL IS TWO FEET.
10. THIS SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF, DAVID N. ISHERWOOD, L.S., FROM AN ACTUAL [X] GROUND OR [ ] AIRBORNE SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON DECEMBER 4, 2020; AND THAT THIS PLAN, MAP, OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
11. THIS SURVEY WAS PERFORMED AT THE REQUEST OF MR. WILLIAM DRURY ARCHITECTURE INC.



**415 CHURCH STREET NE**

**SITE PLAN**  
**415 CHURCH STREET NORTHEAST**  
**TOWN OF VIENNA, VIRGINIA 22180**



**WALTER L. PHILLIPS**  
INCORPORATED

Engineers • Surveyors • Planners  
Landscape Architects • Arborists  
207 PARK AVENUE  
FALLS CHURCH, VIRGINIA 22046  
(703) 532-6163 Fax (703) 533-1301  
www.WLPINC.com

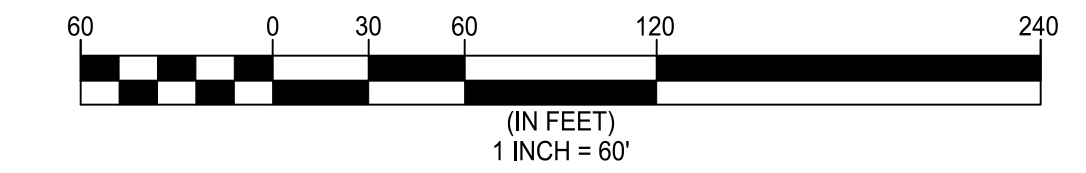
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DATE: 1/26/2021 1/27/21

DRAWN: *TP*

CHECKED: *AV*

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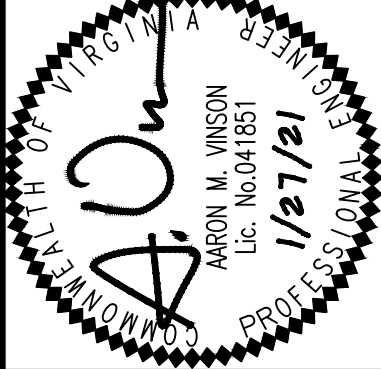
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EXISTING CONDITIONS & DEMOLITION PLAN

415 CHURCH STREET NE

SITE PLAN

415 CHURCH STREET NORTHEAST  
TOWN OF VIENNA, VIRGINIA 22180



NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

WALTER L. PHILLIPS

INCORPORATED

ESTABLISHED 1945

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(703) 532-6163 Fax (703) 533-1301  
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DATE: 12/20/20, 1/27/21  
DRAWN: JT  
CHECKED: AV

PROPERTY ADDRESS: 415 CHURCH STREET NE  
SITE AREA: 45,215 SF OR 1.038 ACRES (FROM RECORD)  
EXISTING/PROPOSED ZONING DISTRICT: T (TRANSITIONAL)

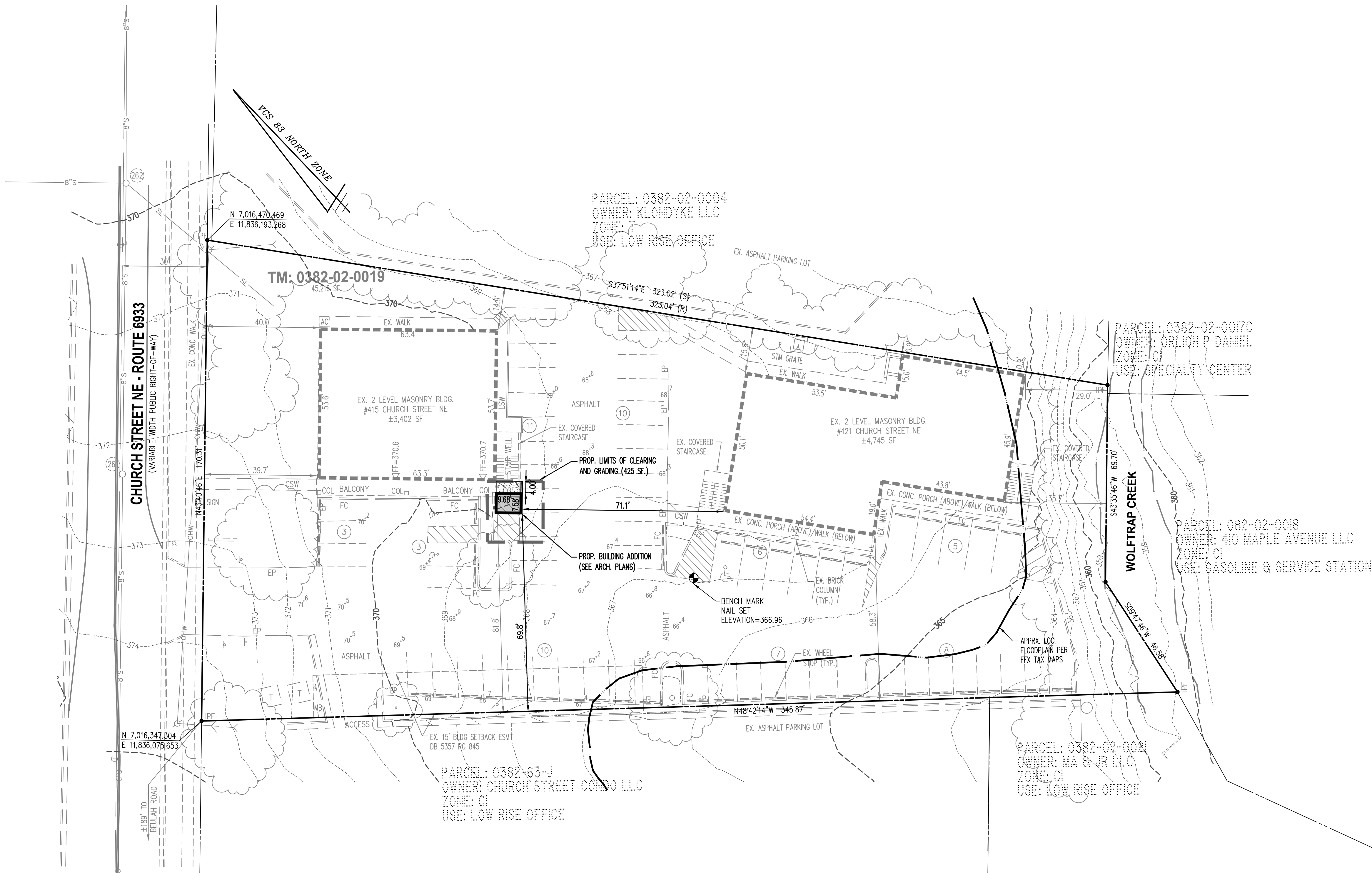
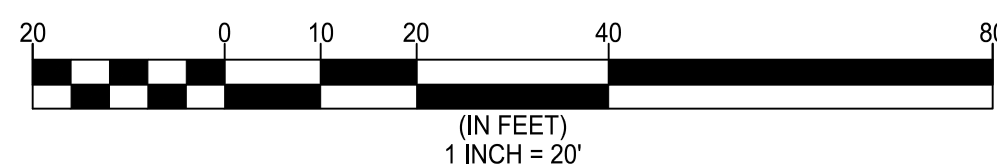
	<u>PERMITTED/REQUIRED</u>	<u>PROVIDED/EXISTING</u>
LOT AREA	NA*	1.038 ACRES
LOT WIDTH	30 FT*	170.31 FT
SIDE YARD	10 FT*	0.9 FT**
FRONT YARD	20 FT*	39.7 FT
LOT COVERAGE	NA	NA
HEIGHT LIMIT	2.5 STORIES, 35 FT*	2 STORIES, <35 FT**

\* ONLY ABUTTING RESIDENTIAL ZONE IS RTH, WHICH IS BASIS FOR LISTED REQUIREMENT IN ACCORDANCE WITH SEC. 18-68.

\*\* EXISTING CONDITION, PREVIOUSLY APPROVED. PROPOSED ADDITION DOES NOT RESULT IN DECREASE IN SIDE YARD SETBACK.

\*\*\* PROPOSED ADDITION DOES NOT RESULT IN HEIGHT INCREASE.

PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2	
	TRANSITION FROM CG-6 TO CG-6R	
	SANITARY SEWER CG-6R	
	SANITARY LATERAL SL	
	CLEAN OUT C.O.	
	STORM SEWER	
	WATER MAIN W	
	FIRE HYDRANT FH	
	PLUG PL	
	OVERHEAD WIRES	
	UTILITY POLE UP	
	UNDERGROUND ELECTRIC UE	
	TELEPHONE T	
	GAS MAIN G	
	ELECTRICAL E	
	TRANSFORMER TR	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL FENCE	
	TRAFFIC FLOW	
	LIGHT L	
	DOOR D	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB TC	
	BOTTOM OF CURB BC	
	TOP OF WALL TW	
	BOTTOM OF WALL BW	
	HIGH POINT HP	
	TEST PIT TP	
	LIMITS OF CLEARING AND GRADING	



## LAYOUT AND GRADING PLAN

**415 CHURCH STREET NE**

**SITE PLAN**  
**4115 CHURCH STREET NORTHEAST**  
**TOWN OF VIENNA, VIRGINIA 22180**



**WALTER L. PHILLIPS**  
INCORPORATED

SCALE: 1" = 20'

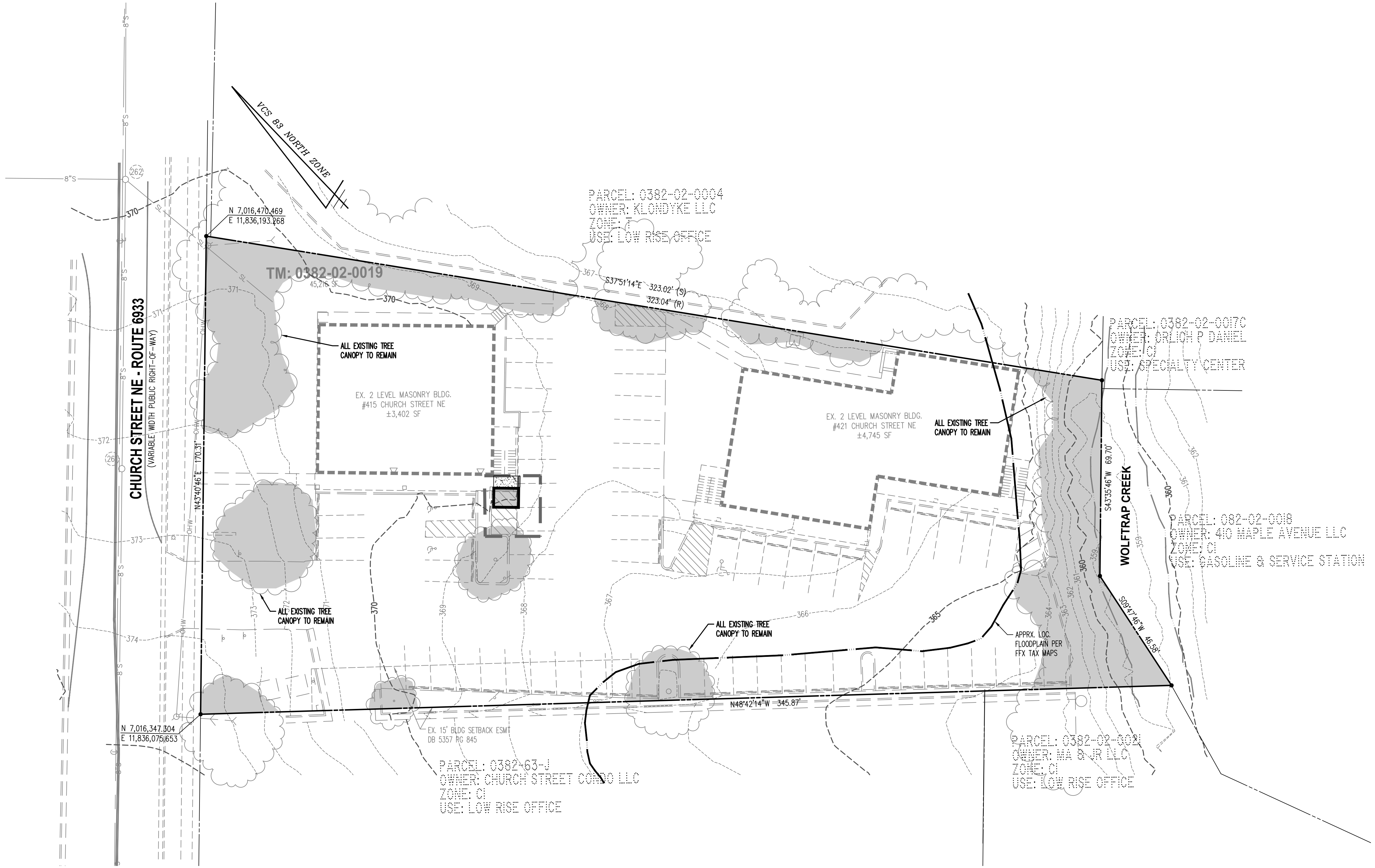
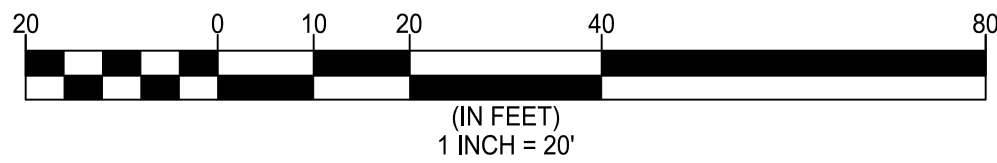
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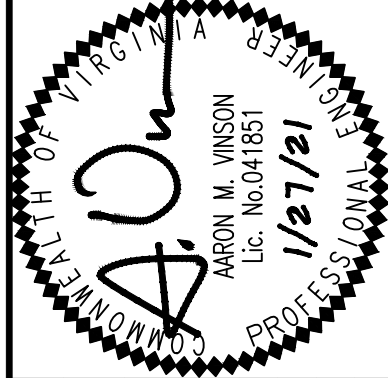
LANDSCAPE COMPLIANCE

EXISTING SITE AREA: 1.038 ACRES (FROM RECORD)  
CANOPY COVERAGE REQUIRED: ±4,522 SF (10% OF SITE AREA)  
EXISTING CANOPY COVERAGE: ±8,632 SF (±19% OF SITE AREA)  
PROPOSED CANOPY COVERAGE: ±8,632 SF (±19% OF SITE AREA)

AS SHOWN ON THIS SHEET, THE PROPOSED MINOR BUILDING ADDITION WILL NOT RESULT IN ANY LOSS OF EXISTING TREES ON SITE. ALL EXISTING MATURE TREE CANOPY WILL REMAIN; THEREFORE THE PROPOSED IMPROVEMENTS WILL NOT CAUSE THE PROPERTY TO BECOME NON-COMPLIANT FROM A LANDSCAPING STANDPOINT.

LANDSCAPE COMPLIANCE PLAN

415 CHURCH STREET NE  
SITE PLAN  
415 CHURCH STREET NORTHEAST  
TOWN OF VIENNA, VIRGINIA 22180



REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	DATE

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ESTABLISHED 1945

DATE: 12/30/20, 1/27/21

DRAWN: JT

CHECKED: AV