

TOWN OF VIENNA LAND USE AND DEVELOPMENT CODE OUTLINE

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Article 2. Zones, Districts, and Dimensional Standards

1. REGULATIONS BY ZONES AND DISTRICTS

Section 18-10 Establishment of Zones and Districts

1. Zones and districts are geographic areas, which together comprise all land within the Town. All lots within the Town fall within one or more zone(s) or district(s).
2. Zones are not contiguous and are mapped across the Town primarily based on existing and desired use patterns and distinguish between disparate uses without respect to specific geographies.
3. Districts are contiguous geographies with the Town that have similar existing or desired development patterns. Districts may include numerous blocks of different uses and building types that form the character of each district. The regulations applied to each district respect the unique development pattern while promoting desired outcomes within.
4. All zones and districts established in the Town are listed below.

ZONES	ABBREVIATION
Residential – Large Lot (16,000 sq. ft.) Zone	RS-16
Residential – Medium Lot (12,500 sq. ft.) Zone	RS-12.5
Residential – Small Lot (10,000 sq. ft.) Zone	RS-10
Residential – Multi-Unit Zone	RMU
Parks and Recreational Zone	PR
Parks and Conservation Zone	PC
Neighborhood Transitional Zone	NT

NT is currently called
T Transitional Zone

DISTRICTS	ABBREVIATION
Avenue Center District	AC
Avenue East Gateway District	AE
Avenue West Gateway District	AW
Church Street District	CS
Corporate Park District	CP
Mill District	M

New districts proposed based on
unique development patterns,
character and uses

Currently C-1 Local Commercial,
C-1A Special Commercial, C-1B
Pedestrian Commercial, C-2
General Commercial, CM Limited
Industrial

CP is currently called
CMP - Industrial Park

OVERLAY DISTRICTS	ABBREVIATION
Avenue Center Amenity Overlay	AC-O
Church Street Vision Incentive Overlay	CS-O
Windover Heights Historic Overlay	WH-O
Chesapeake Bay Preservation Areas Overlay	CB-O

Church Street Vision Incentive
Overlay, which mirrors the existing
overlay, the Windover Heights
Historic Overlay, and the
Chesapeake Bay Preservation
Area Overlay. Article 2 also
introduces a new concept called
the Avenue Center Amenity
Overlay.

Section 18-11 Map of Zones and Districts

The Map of Zones and Districts ("Zoning Map") together with all explanatory matter thereon is adopted by reference and declared to be a part of this Code. A copy of the Zoning Map shall be maintained on file in the Town offices and updated on the Town's official website (<https://www.viennava.gov/your-government/town-departments-at-your-service/planning-and-zoning/zoning-code-and-map.gov>). No changes of any nature shall be made to the Zoning Map or any part thereof except in conformity with the procedures set forth in this Code. Any unauthorized change of whatever kind by any person or persons shall be considered a violation of this Code.

Section 18-12 Zone and District Assignment to Annexed Areas

Any area annexed to the Town after the effective date of the ordinance from which this chapter is derived shall, immediately upon such annexation, be classified as having a Town zone or district most nearly approximating the zone or district which it had prior to annexation, until the Zoning Map has been amended by Town Council to include the annexed area. The Planning Commission shall recommend appropriate zoning for the annexed area to the Town Council within three months after the effective date of such annexation.

Section 18-13 Compliance with Regulations

1. No structure shall be located, erected, constructed, reconstructed, moved, altered, converted or enlarged, nor shall any structure or land be used or be designed to be used, except in full compliance with all the provisions of this Code and after the lawful issuance of all permits and certificates required by this Code.
2. No lot or parcel of land, with or without structures at the time the ordinance from which this chapter is derived became effective, shall be subdivided, resubdivided, or reduced in any manner below the minimum lot width and lot area required by this chapter.
3. No land or structure shall be used or designed to be used for any purpose other than a use that is listed as permitted or conditionally permitted in the zone or district in which such a building or land is located.
4. No yard or other space provided for any building for the purpose of complying with the provisions of this chapter shall be considered as providing a yard or open space for any other building, and no yard or other open space on one lot shall be considered as providing a yard or open space for a structure on any other lot.

Section 18-14 Exceptions to Compliance with Regulations and Encroachments

1. Exceptions to Building Height Regulations. Uninhabitable architectural features of the principal structure, such as chimneys, steeples, cupolas, solar panels, cellular antennas, and other features as determined by the Zoning Administrator, may be erected above the building height limits set forth herein.

As discussed previously during residential code discussion, the proposed code is more restrictive. The current code allows parapets, stairways and mechanical penthouses to extend beyond the maximum building height with no limitations. This draft code proposes these features be included in the maximum building height.

2. Permitted Encroachments. The following table sets forth permitted encroachments into yards and associated standards:

FEATURE PROJECTING INTO REQUIRED YARD (SETBACKS)	FRONT YARD	INTERIOR SIDE YARD	CORNER SIDE YARD	REAR YARD	ADDITIONAL CRITERIA
Single-story front porch (unenclosed)	8 ft.	None	None	None	The portion of the front porch encroaching cannot be enclosed on three sides and cannot exceed 14 feet in height as measured from the average front grade. Steps coming off porch are allowed to encroach minimum distance required by Virginia Uniform Statewide Building Code (USBC).
Attached unenclosed carport or attached garage	None	5 Feet	5 Feet	None	The portion of carport or garage encroaching cannot exceed 14 feet in height as measured from the average front grade.
Minor architectural features, such as windowsills, belt courses, cornices, eaves, steps, and chimneys, and accessibility improvements, such as basement area-ways and window wells	4 ft.	4 ft.	4 ft.	4 ft.	
Major architectural features, such as bay windows, box windows, cantilevered floor areas, oriels, and other such features as determined in the sole and reason-able discretion of the zoning administrator	2.5 ft.	2.5 ft.	2.5 ft.	2.5 ft.	The length of portion of feature encroaching cannot exceed 10 feet. The combined length of all such features shall not exceed 1/3 of the total length of the building façade upon which they are placed.
Open/uncovered decks	4 ft.	4 ft.	4 ft.	10 ft.	
Retaining walls	No restriction	No restriction	No restriction	No restriction	No restriction if wall is under 5 feet in height
Decorative walls (non-retaining masonry walls)	No restriction	No restriction	No restriction	No restriction	No restriction if wall is under 4 feet in height
Stormwater management facilities	No restriction	No restriction	No restriction	No restriction	Stormwater management facilities must be a Virginia DEQ approved BMP
Accessibility (ADA) ramp	Up to 10 ft. from front lot line	Up to 5 ft. from interior side lot line	Up to 5 ft. from corner side lot line	Up to 10 ft. from rear lot line	One exterior ramp meeting current Americans with Disabilities Act standards may be installed on a structure in the RS-10, RS-12.5 and RS-16 zones for a period not to exceed five years. Any permit issued is non-transferable; however, renewal permits for such ramps may be issued by the zoning administrator.

ADA ramp regulations is carried over from current code Section 18-11.A

New graphic for new front porch encroachment.

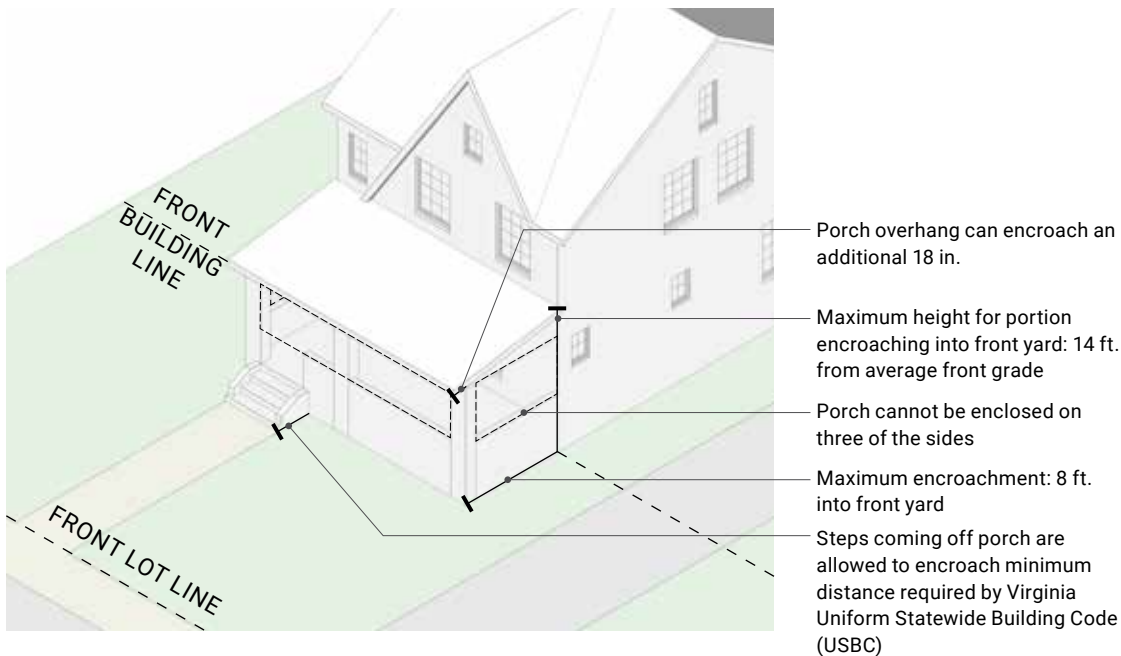


FIGURE 2.A.
An illustration
of front yard
encroachment by
an unenclosed front
porch.

3. Exceptions to Use Regulations

- A. Uses not listed. If the Town receives an application for approval of a use that is not listed as permitted or conditionally permitted, the Zoning Administrator or their designee will determine if the proposed use is similar to a listed permitted or conditionally permitted use. If the proposed use is similar to a listed permitted or conditionally permitted use, the Zoning Administrator or their designee will determine if the proposed use should also be permitted or conditionally permitted for the purposes of that application. The Zoning Administrator or their designee will base such determinations on the following factors:
 - i. Whether the proposed use is consistent with the Comprehensive Plan or area plan and the purpose and intent of the zone or district;
 - ii. Whether the use has similar impacts on the surrounding neighborhood, such as traffic, noise, lighting, or similar considerations; and
 - iii. Whether the use has the same characteristics as a listed use in terms of building and site arrangement, site area or floor space, equipment devoted to the activity, customer type, number of employees in each activity, hours of operation, vehicles used and parking requirements, number of vehicle trips generated, signs, and how the use is advertised.
- B. If it is determined that a proposed use is similar to a listed use, the regulations governing the similar use apply to the unlisted use.
- C. If it is determined that a proposed use is not similar to a listed use, then the proposed use shall be prohibited. The decision of the Zoning Administrator or their designee is appealable to the Board of Zoning Appeals as set forth hereinbelow.

New and revised
graphics to clarify
dimensional terms

Section 18-15 Definitions of Dimensional Terms

The diagrams and text below define dimensional terms and direct how to measure lot and structure dimensions. All terms are additionally included in the Glossary in Article 9.

LOT DIMENSIONS & STANDARDS

— Lot line	CSY Corner side yard setback
FW Lot Width at Front Lot Line	RY Rear yard setback
MW Lot Width at Midline	H Principal structure height
BW Lot Width at Front Building Line	AH Accessory structure height
FY Front yard setback	LC Lot coverage
ISY Interior side yard setback	OS Open Space

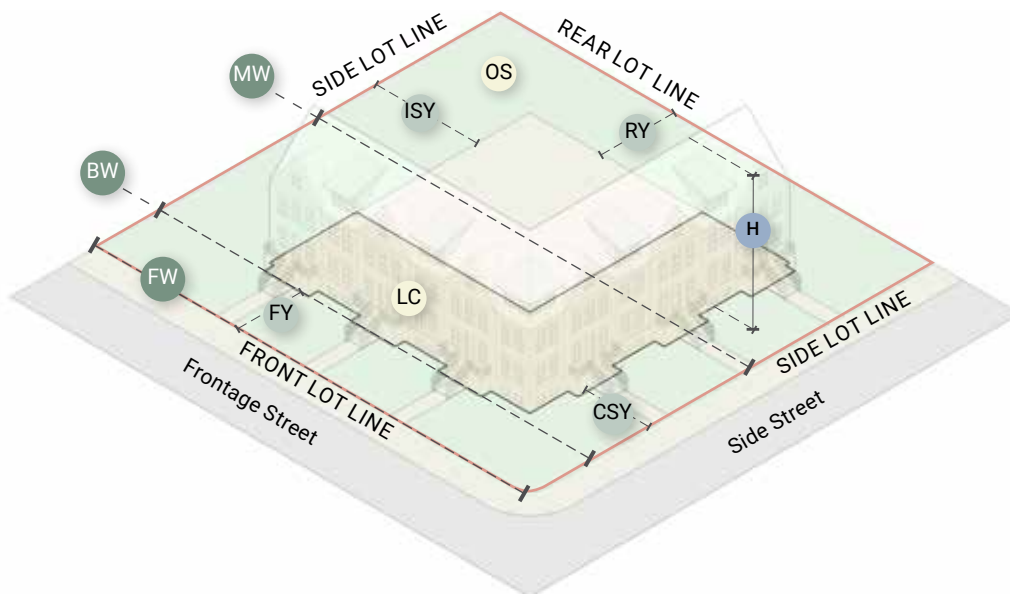


FIGURE 2.B.
Illustration of
lot lines and lot
dimensions for a
corner lot.

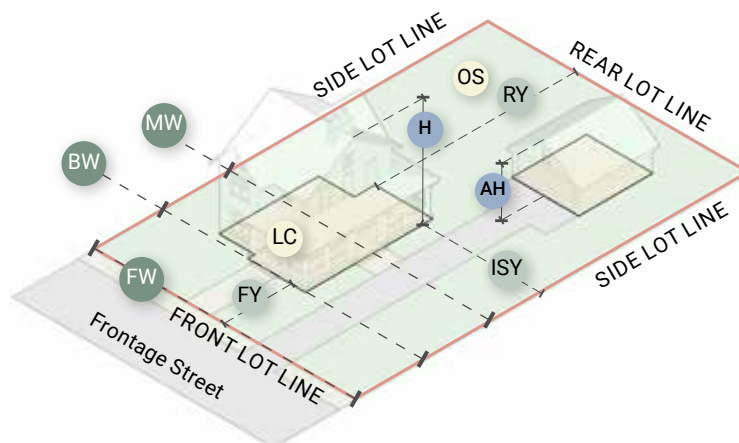


FIGURE 2.C.
Illustration of
lot lines and lot
dimensions for an
interior lot.

New and revised
graphics to clarify
dimensional terms

LOT DIMENSIONS & STANDARDS

— Lot line	CSY Corner side yard setback
FW Lot Width at Front Lot Line	RY Rear yard setback
MW Lot Width at Midline	H Principal structure height
BW Lot Width at Front Building Line	AH Accessory structure height
FY Front yard setback	LC Lot coverage
ISY Interior side yard setback	OS Open Space

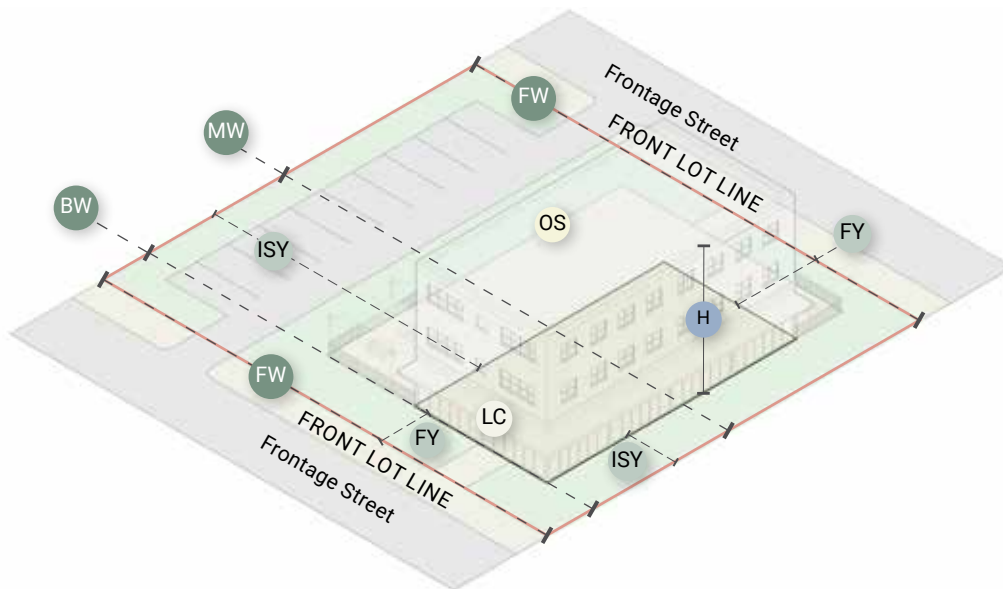


FIGURE 2.D.
Illustration of
lot lines and lot
dimensions for a
through lot.

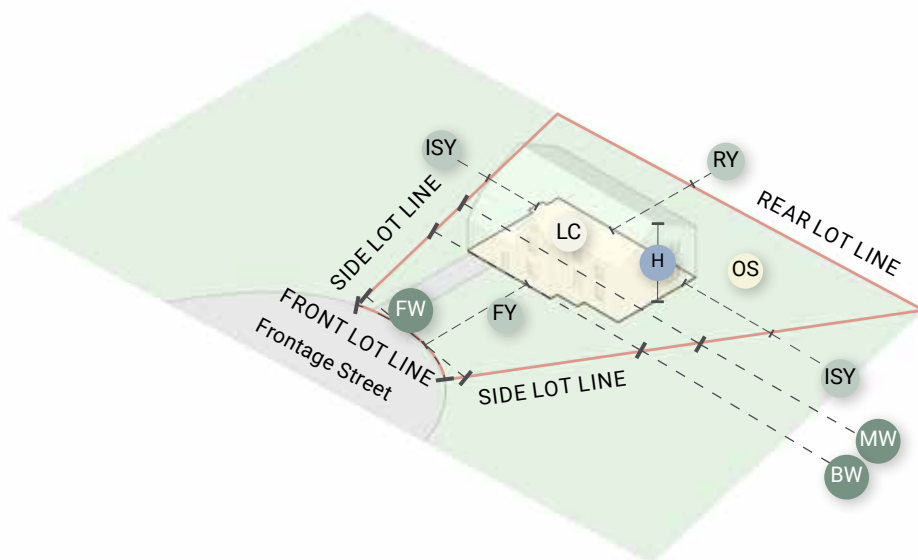


FIGURE 2.E.
Illustration of
lot lines and lot
dimensions for a
pie-shaped lot.

Section 18-16 Definitions of Dimensional Terms

The diagrams and text below define dimensional terms and direct how to measure lot and structure dimensions. All terms are additionally included in the Glossary in Article 9.

1. Lot Lines

- A. Lot line. A lot line is a line dividing one lot from another or from a street or any public place.
- B. Front lot line. A front lot line is the lot line that abuts a street right-of-way. The front lot line is also referred to as the “front of lot.”
 - i. Where a lot is located on the inside of a curved front lot line, and the curve has an arc angle of more than fifty-five (55) degrees, the lot line shall be considered two separate lot lines, each terminating at the midpoint of the arc.
 - ii. When a lot has multiple lot lines abutting a street right-of-way, the front lot line shall be the shortest of the lot lines that abut a street right-of-way, except that:
 - a. When two or more lot lines abut street rights-of-way and are of equal lengths, the front lot line shall be that lot line which abuts the street having the greatest total width of front lot lines within the same block; and
 - b. The zoning administrator may determine, for reasons of safety or continuity, that the front lot line should be a lot line other than the shortest lot line that abuts a street right-of-way.
 - iii. The architectural front of the house shall face the front lot line.
 - iv. A lot line that abuts a street right-of-way but is not considered a front lot line shall be considered a corner side lot line.
- C. Side lot line. Side lot line. A side lot line is any lot line that (1) is not a front lot line, (2) is not a corner side lot line, and (3) shares at least one terminus with a front lot line or a corner side lot line.
- D. Rear lot line. A rear lot line is any lot line that (1) is not a front lot line and (2) is not a side lot line.
- E. Front building line. A front building line is a line that (1) is parallel to the front lot line, (2) is within the lot, and (3) is separated from the front lot line by a distance equal to the minimum front yard setback for principal structures in that zone or district.
- F. Midline. A midline is a line that is positioned one half of the shortest horizontal distance between a front lot line and a rear lot line. A midline is parallel to a tangent line at the midpoint of a front lot line. A midline terminates at its intersection with any lot line.

2. Corner, Interior, and Through Lots

- A. Corner lot. A corner lot is any lot with two lot lines that each abut a street right-of-way and that meet to form an angle of no more than one hundred thirty-five (135) degrees, and a corner lot is any lot that is situated on the interior curve of a lot line that abuts a street right-of-way and that has an arc angle of more than fifty-five (55) degrees.
- B. Interior lot. An interior lot is any lot other than a corner lot.

- C. Through lot. A through lot is any interior lot with two or more non-adjacent lot lines that each abut a street right-of-way. A through lot is sometimes referred to as a “double-frontage lot.”

3. Yards

- A. Yard. A yard is an open space, other than a court, on the same lot with a principal building or group of principal buildings, which open space lies between the building or outer building of a group and the nearest lot or street line.
- B. Front yard. A front yard is a yard extending across the full width of the lot, between the nearest principal building and the front lot line. The depth of the required front yard shall be measured horizontally from the nearest part of the principal building to the nearest point of the front lot line.
- C. Rear yard. A rear yard is a yard extending across the full width of the lot, between the nearest rear principal building and the rear lot line. The depth of the required rear yard shall be measured horizontally from the nearest part of the principal building to the nearest part of the rear lot line.
- D. Side yard. A side yard is a yard between a principal building and the side lot line, extending from the front yard, or front lot line where no front yard is provided, to the rear yard. The width of the required side yard shall be measured horizontally from the nearest point of the side line toward the nearest part of the principal building.
- E. Corner side yard. A corner side yard is a yard between a principal building and the corner side lot line, extending from the front yard, or front lot line where no front yard is provided, to the rear yard. The width of the required corner side yard shall be measured horizontally from the nearest point of the corner side lot line toward the nearest part of the principal building.

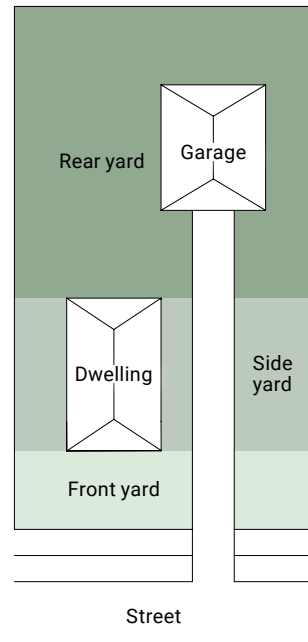


FIGURE 2.F.
Illustration of
yards.

4. Lot Dimensions

- A. Lot area. The lot area is the area of a horizontal plane contained by vertical planes extending from the lot lines.
- B. Lot width at front lot line. The lot width at front lot line is the length of the front lot line. The lot width at front lot line is sometimes referred to as the “lot frontage.”
- C. Lot width at front building line. The lot width at front building line is the length of the front building line.
- D. Lot width at midline. The lot width at midline is the length of the midline.
- E. Front yard setback. The front yard setback is the shortest horizontal distance between a structure on the lot and the front lot line. In some instances, which will be noted in this Code, the front yard setback is the shortest horizontal distance between a structure on the lot and the centerline of the street right-of-way.
- F. Interior side yard setback. The interior side yard setback is the shortest horizontal distance between a structure on the lot and a side lot line that does not abut a street right-of-way.
- G. Corner side yard setback. Corner side yard setback. The corner side yard setback is the shortest horizontal distance between a structure on the lot and a corner side lot line.

- H. Rear yard setback. The rear yard setback is the shortest horizontal distance between a structure on the lot and a rear lot line.

5. Structure Dimensions

- A. Building height. For principal structures, building height is the maximum vertical dimension measured from the average finished lot grade at the front of the principal building to the highest point of the roof, **including the parapet**. For accessory structures, building height is the maximum vertical dimension measured from the lowest point of grade elevation adjacent to any exterior wall of the structure to the highest point of the roof.
- B. Lot deviation. Lot deviation is the vertical change in elevation from the pre-existing lot grade to the finished lot grade. Lot deviation limits apply to a minimum of nine (9) points along the building footprint generally as shown in Figure 2.H. For single-family, detached dwellings, not including subdivisions, the finished lot grade may deviate from the pre-existing lot grade by no more than three (3) vertical feet at any point along the pre-existing lot grade around the footprint of the building or structure, such that all over-lot grading shall be in accordance with the natural lay of the land. The director of public works may waive the three-foot lot deviation requirement, if deemed to be for good cause and not contrary to the public interest.
- C. Story. A story is a portion of a building included between the surface of any floor and the surface of the next floor directly above it, or if there is no floor above it, then the space between such floor and ceiling next above it.
- D. **Basement. A basement is partially or wholly underground and not considered a story. It can not be exposed more than an average of 7 feet from proposed grade points around the footprint of the building to first floor elevation.**

Revised definition for basement to match existing code definition with minor revision to be measured to the first floor instead of ceiling

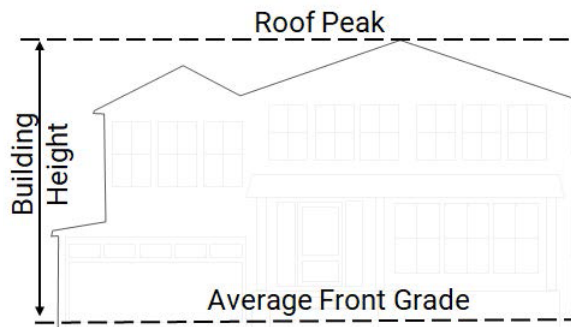


FIGURE 2.G.
Illustration of
building height.

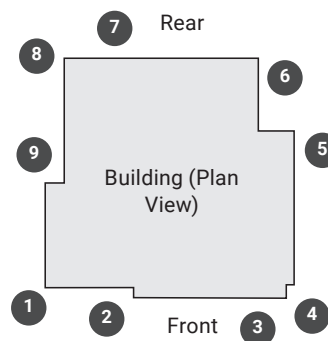


FIGURE 2.H.
Illustration of
the locations of
pre-existing and
post-construction
grade elevation
measurements
for the purpose
of determining lot
deviation.

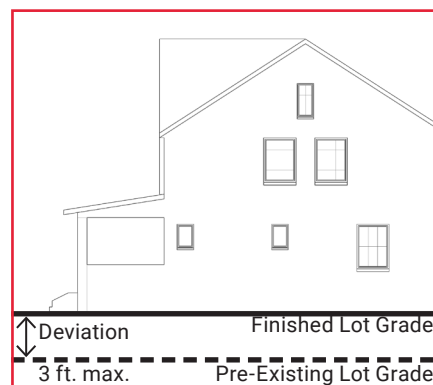


FIGURE 2.I.
Illustration of
vertical lot deviation.

**New clarifying graphics
and language.**

Revised definition for half-story to match current zoning determination.

- E. Half story. A half-story is 50% or less floor area than the floor below.
- F. Residential coverage requirements - (to be determined in separate process.)

FIGURE 2.J.
(Illustration to be added later)

- G. Open Space. The purpose of open and usable space is to provide areas of trees, shrubs, lawns, pathways and other natural and man-made amenities which function for the use and enjoyment of residents, visitors and other persons. Open space is that portion of a lot at ground level which is:
 - i. Eight feet or more in width;
 - ii. Unoccupied by principal or accessory enclosed structures;
 - iii. Not used in whole or in part as roads, alleys, emergency vehicle easement areas, driveways, maneuvering aisles or off-street parking or loading berths.

New language

Section 18-17 Regulation of Uses by Zones and Districts

For the general purpose of promoting the health, safety or general welfare of the public, the use, designated use, or intended use of land is hereby regulated in each zone and district. Uses are regulated as set forth in Article 3, where they are categorized as:

1. Permitted. A permitted use in a zone or district is use that is allowed by right in that zone or district. Some use-specific regulations, as described in Article 3 may apply.
2. Conditional. A conditional use in a zone or district is a use that is allowed only when approved by the Board of Zoning Appeals. The process by which the Board of Zoning Appeals grants approval is described in Article 8.

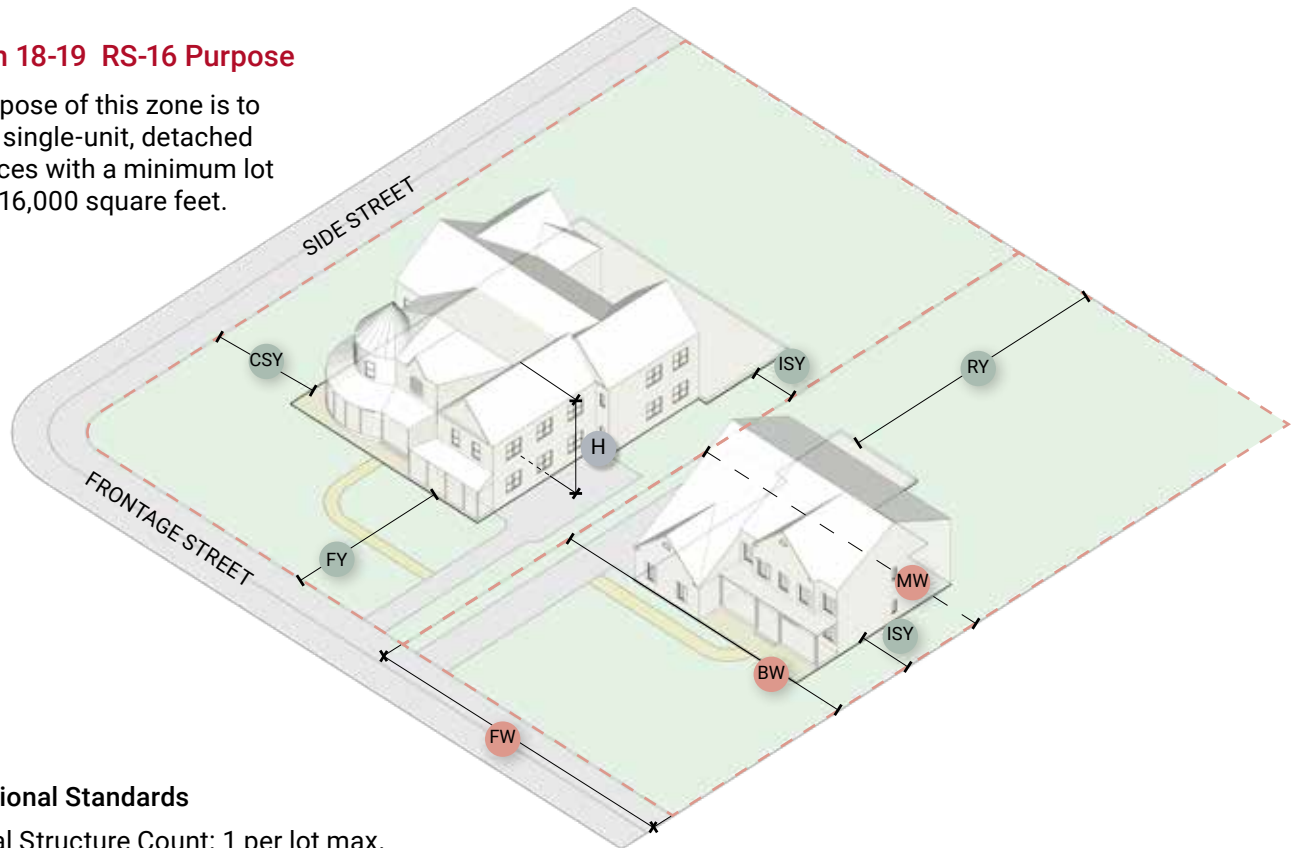
Section 18-18 Regulation of Lots and Structures by Zones and Districts

Provisions for the regulation of lots and structures in each zone or district are set forth in the following sections.

2. RESIDENTIAL - LARGE LOT ZONE (16,000 SQ. FT.) (RS-16)

Section 18-19 RS-16 Purpose

The purpose of this zone is to provide single-unit, detached residences with a minimum lot area of 16,000 square feet.



Dimensional Standards

Principal Structure Count: 1 per lot max.

BUILDABLE LOT DIMENSIONS		
	Lot Area Per Dwelling Unit	16,000 sq. ft. min.
FW	Lot Width at Front Lot Line	50 ft. min.
BW	Lot Width at Front Building Line	65 ft. min.
MW	Lot Width at Midline	90 ft. min.
BUILDING STANDARDS		
H	Building Height	35 ft. max.
	Number of Stories	2.5 max.
RESIDENTIAL COVERAGE		
		TBD
BUILDING PLACEMENT STANDARDS		
FY	Front Yard Setback	35 ft. min. from front property line, including after any required dedication
ISY	Interior Side Yard Setback	Principal dwelling structures: 15 ft. min. Accessory structures of 14 ft. height or shorter: 1 ft. min. Accessory structures over 14 ft. in height: 10 ft. min. All other structures: 30 ft. min.
CSY	Corner Side Yard Setback	Accessory structures: must meet minimum required front setback or corner side yard setback applicable to principal structures on nearest adjacent lot. All other structures: 25 ft. min.
RY	Rear Yard Setback	Accessory structures of 14 ft. height or shorter: 1 ft. min. Accessory structures over 14 ft. in height: 10 ft. min. Decks: 25 ft. min. All other structures: 35 ft. min.

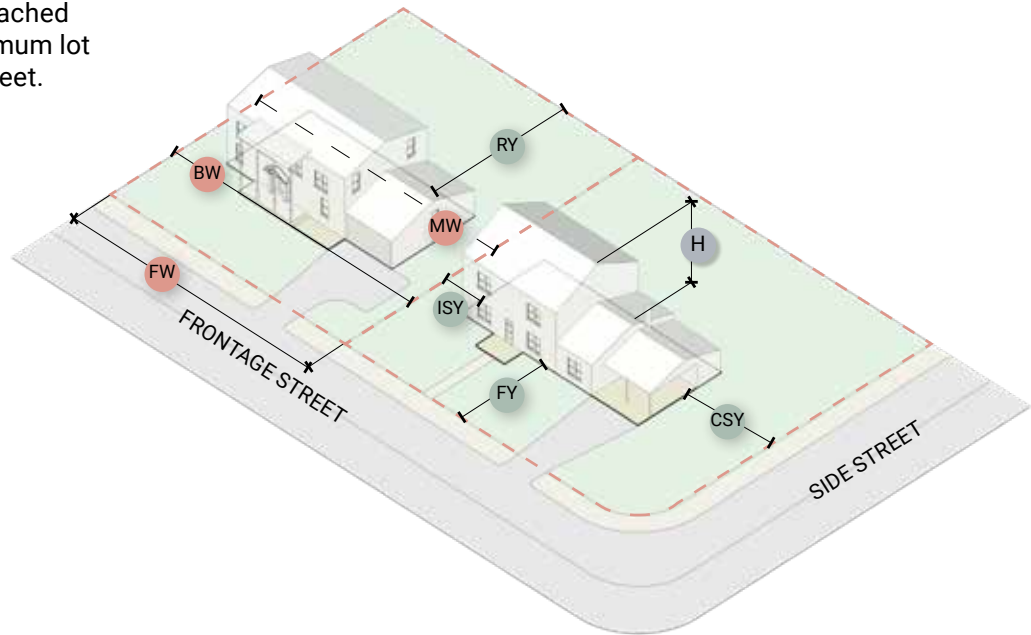
Reference to Other Standards

Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.

3. RESIDENTIAL - MEDIUM LOT ZONE (12,500 SQ. FT.) (RS-12.5)

Section 18-20 RS-12.5 Purpose

The purpose of this zone is to provide single-unit, detached residences with a minimum lot area of 12,500 square feet.



Dimensional Standards

Principal Structure Count: 1 per lot max.

BUILDABLE LOT DIMENSIONS		
	Lot Area Per Dwelling Unit	12,500 sq. ft. min.
FW	Lot Width at Front Lot Line	50 ft. min.
BW	Lot Width at Front Building Line	65 ft. min.
MW	Lot Width at Midline	80 ft. min.
BUILDING STANDARDS		
H	Building Height	35 ft. max.
	Number of Stories	2.5 max.
RESIDENTIAL COVERAGE		TBD
BUILDING PLACEMENT STANDARDS		
FY	Front Yard Setback	30 ft. min. from front property line, including after any required dedication
ISY	Interior Side Yard Setback	Principal dwelling structures: 15 ft. min. Accessory structures of 14 ft. height or shorter: 1 ft. min. Accessory structures over 14 ft. in height: 10 ft. min. All other structures: 30 ft. min.
CSY	Corner Side Yard Setback	Accessory structures: must meet minimum required front setback or corner side yard setback applicable to principal structures on nearest adjacent lot. All other structures: 25 ft. min.
RY	Rear Yard Setback	Accessory structures of 14 ft. height or shorter: 1 ft. min. Accessory structures over 14 ft. in height: 10 ft. min. Decks: 25 ft. min. All other structures: 35 ft. min.

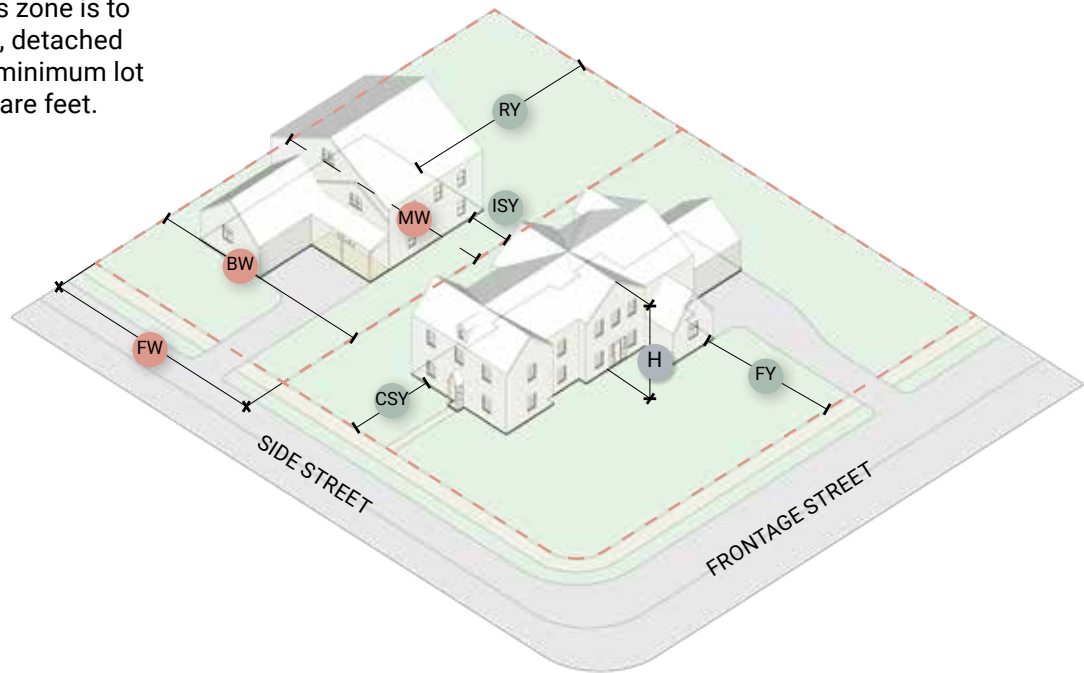
Reference to Other Standards

Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.

4. RESIDENTIAL - SMALL LOT ZONE (10,000 SQ. FT.) (RS-10)

Section 18-21 RS-10 Purpose

The purpose of this zone is to provide single-unit, detached residences with a minimum lot area of 10,000 square feet.



Dimensional Standards

Principal Structure Count: 1 per lot max.

BUILDABLE LOT DIMENSIONS		
	Lot Area Per Dwelling Unit	10,000 sq. ft. min.
FW	Lot Width at Front Lot Line	45 ft. min.
BW	Lot Width at Front Building Line	60 ft. min.
MW	Lot Width at Midline	75 ft. min.
BUILDING STANDARDS		
H	Building Height	35 ft. max.
	Number of Stories	2.5 max.
RESIDENTIAL COVERAGE		
		TBD
BUILDING PLACEMENT STANDARDS		
FY	Front Yard Setback	25 ft. min. from front property line, including after any required dedication
ISY	Interior Side Yard Setback	Principal dwelling structures: 12 ft. min. Accessory structures of 14 ft. height or shorter: 1 ft. min. Accessory structures over 14 ft. in height: 10 ft. min. All other structures: 30 ft. min.
CSY	Corner Side Yard Setback	Accessory structures: must meet minimum required front setback or corner side yard setback applicable to principal structures on nearest adjacent lot. All other structures: 25 ft. min.
RY	Rear Yard Setback	Accessory structures of 14 ft. height or shorter: 1 ft. min. Accessory structures over 14 ft. in height: 10 ft. min. Decks: 25 ft. min. All other structures: 35 ft. min.

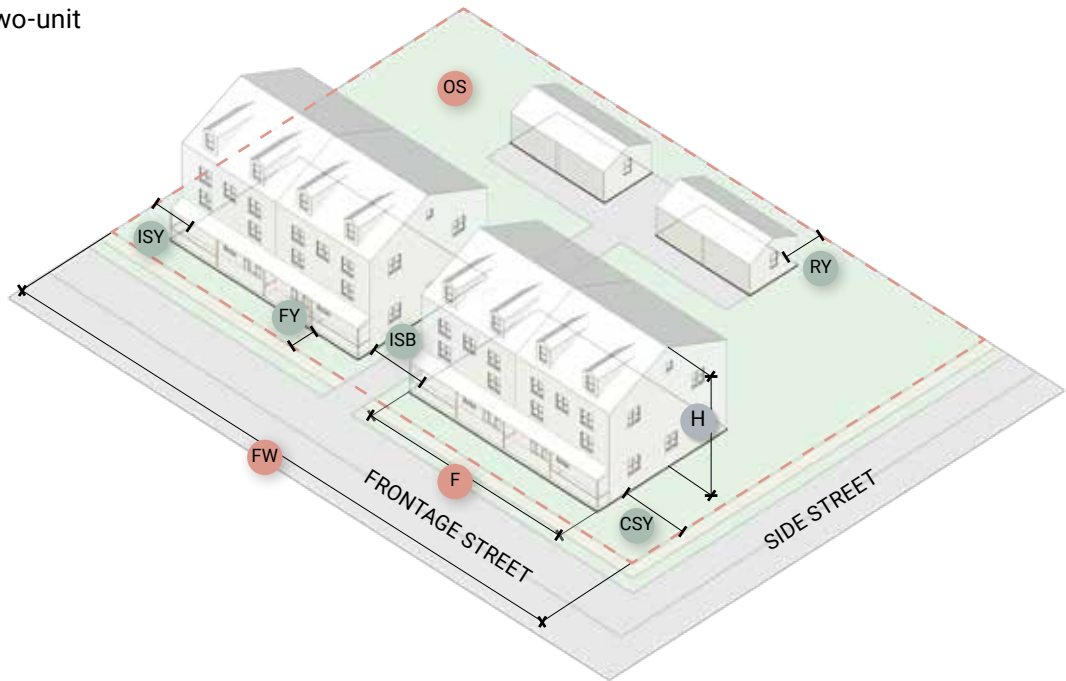
Reference to Other Standards

Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.

5. A. RESIDENTIAL - MULTI-UNIT ZONE (RMU) TWO-UNIT ATTACHED DWELLINGS / DUPLEXES

Section 18-22 RMU Purpose

The purpose of this zone is to provide standards for two-unit attached residences.



Dimensional Standards

SITE DEVELOPMENT STANDARDS

	Development Site	10,000 sq. ft. min.
F	Development Site Frontage	70 ft. min.
FW	Lot Width at Front Lot Line of Development Site	70 ft. min.
	Units Per Gross Acre	20 max.
	Contiguous Series/Row of Attached Units	2 max.
OS	Open Space	35% min.

BUILDING STANDARDS

H	Building Height	35 ft. max.
	Number of Stories	3 max.

BUILDING PLACEMENT STANDARDS

FY	Front Yard Setback	20 ft. min. from front property line
ISY	Interior Side Yard Setback	Dwellings and their accessory structures: 15 ft. min.
RY	Rear Yard Setback	35 ft. min.
CSY	Corner Side Yard Setback	25 ft. min.
ISB	Internal Setbacks Between Buildings on Same Lot	Minimum required by Virginia Uniform Statewide Building Code

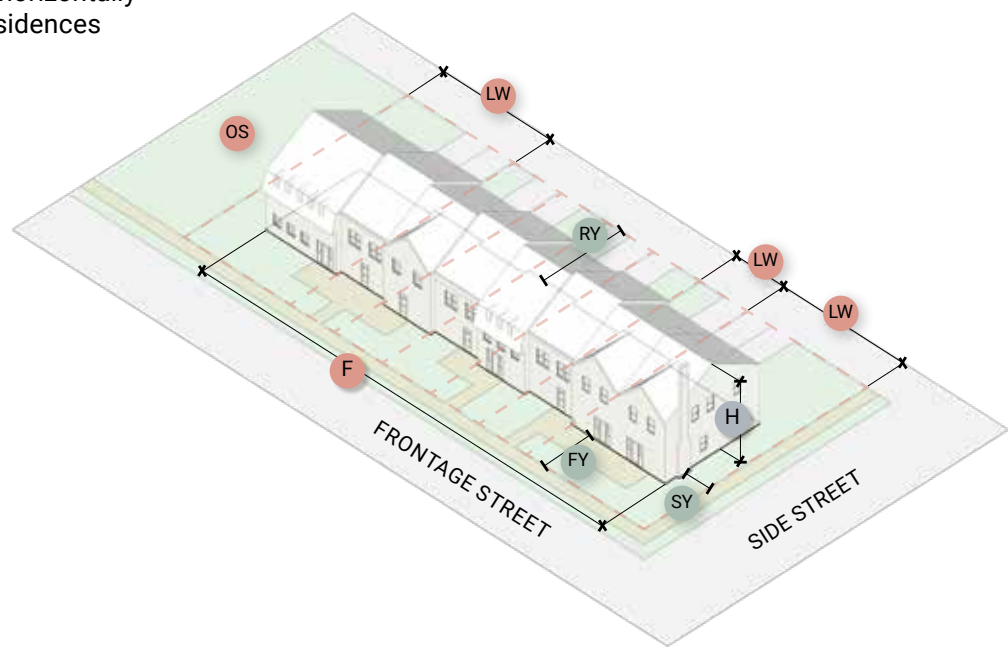
Reference to Other Standards

Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.

5. B. RESIDENTIAL - MULTI-UNIT ZONE (RMU)
TOWNHOMES

Section 18-23 RMU Purpose

The purpose of this zone is to provide standards for horizontally attached multi-unit residences such as townhomes.



Dimensional Standards

SITE DEVELOPMENT STANDARDS		
F	Site Frontage	70 ft. min.
LW	Individual Unit Width	16 ft. min.
	Units Per Gross Acre	20 max.
	Contiguous Series/Row of Attached Units	10 max.
OS	Open Space Set Aside Per Development	30% of total development gross acreage; private yards may count toward open space calculations for the development

BUILDING STANDARDS		
H	Building Height	40 ft. max.
	Number of Stories	3 max.

BUILDING PLACEMENT STANDARDS		
FY	Front Yard Setback	20 ft. min. and 25 ft. average from lot line; no more than two units in a row may have the same front setbacks
SY	Side Yard Setback	15 ft. min. for end lots
RY	Rear Yard Setback	Decks: 25 ft. min. All other structures: 35 ft. min.

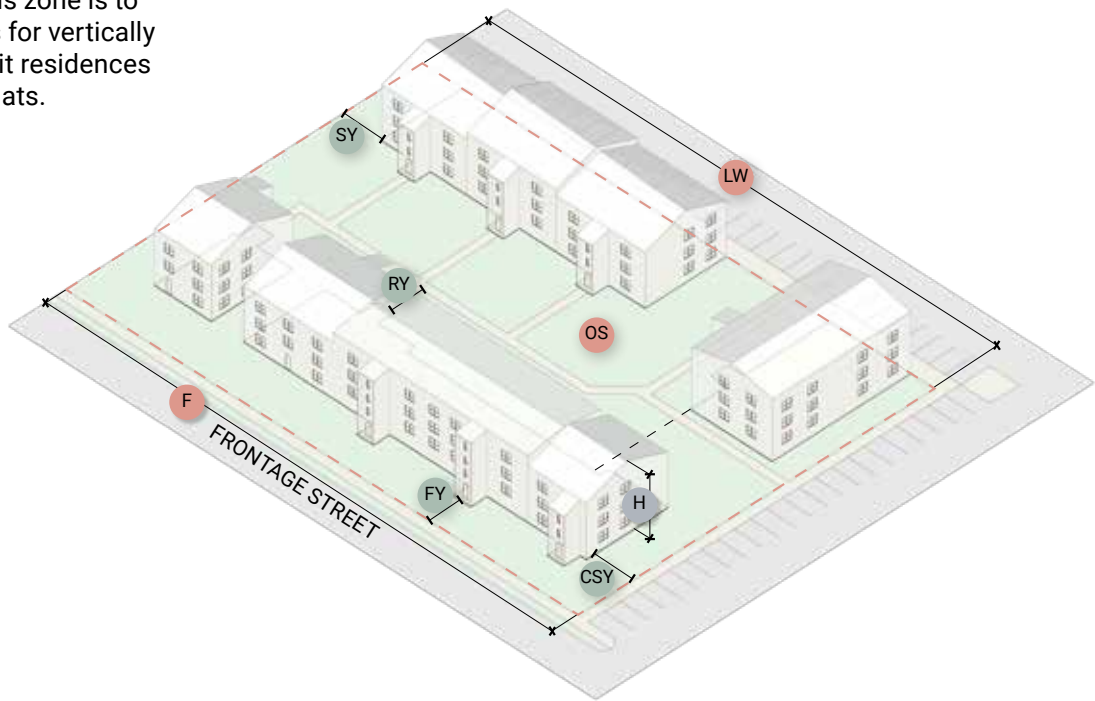
Reference to Other Standards

Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.

5. C. RESIDENTIAL - MULTI-UNIT ZONE (RMU) MULTI-UNIT BUILDINGS AND COMPLEXES

Section 18-24 RMU Purpose

The purpose of this zone is to provide standards for vertically attached multi-unit residences such as stacked flats.



Dimensional Standards

SITE DEVELOPMENT STANDARDS

F	Development Site Frontage	70 ft. min.
	Units Per Gross Acre	30 max.
OS	Open Space Set Aside Per Development Site	30% of total development gross acreage

BUILDING STANDARDS

H	Building Height	40 ft. max.
	Number of Stories	3 max.

BUILDING PLACEMENT STANDARDS

FY	Front Yard Setback	20 ft. min. from front property line
SY	Side Yard Setback	Dwellings and their accessory structures: 15 ft. min.
RY	Rear Yard Setback	35 ft. min.
CSY	Corner Side Yard Setback	25 ft. min.

Reference to Other Standards

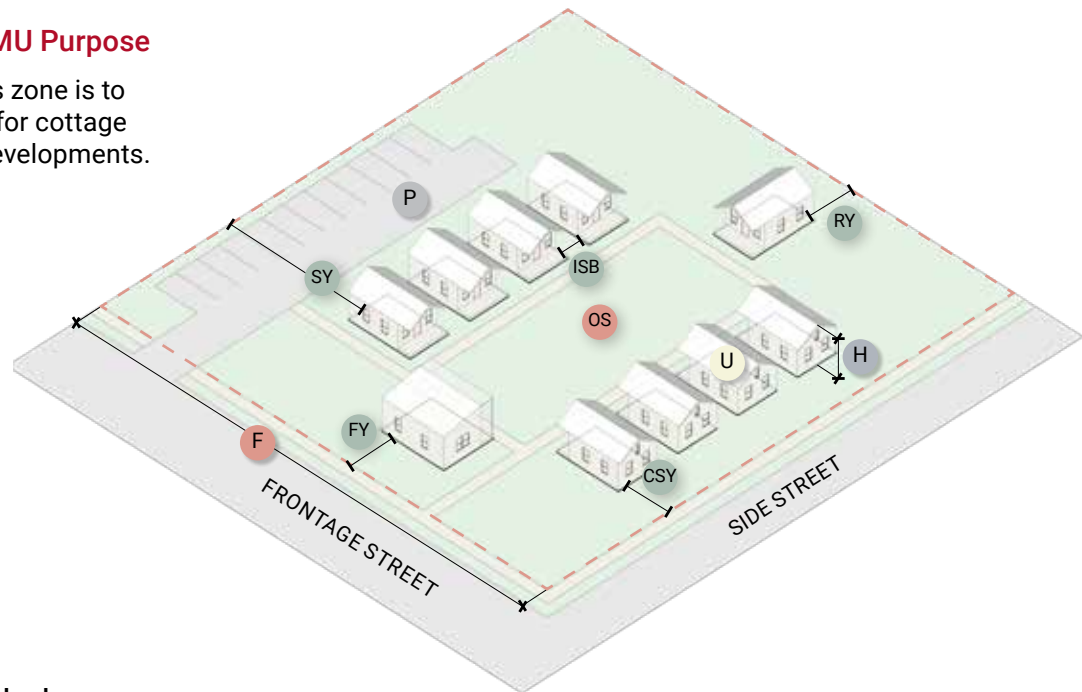
Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.

New Housing Type Proposed,
not included in current code

5. D. RESIDENTIAL - MULTI-UNIT ZONE (RMU) COTTAGE COURTS

Section 18-25 RMU Purpose

The purpose of this zone is to provide standards for cottage court residential developments.



Development Standards

SITE DEVELOPMENT STANDARDS

	Development Site	1/2 acre min.
F	Development Site Frontage	70 ft. min.
	Units Per Gross Acre	10 max.; not more than 20 units total per development site
OS	Open Space Set Aside Per Development	40% min.

BUILDING STANDARDS

H	Building Height	28 ft. max.
	Number of Stories	1.5 stories max.

UNIT SIZE

U	Unit Size	1,800 sq. ft. max.
	Building footprint	1,200 sq. ft. max.

BUILDING PLACEMENT STANDARDS

FY	Front Yard Setback	20 ft. min. from front property line
SY	Side Yard Setback	15 ft. min. each side
RY	Rear Yard Setback	20 ft. min.
CSY	Corner Side Yard Setback	20 ft. min.
ISB	Internal Setbacks Between Buildings on Same Lot	Minimum required by Virginia Uniform Statewide Building Code.

ENCROACHMENT

Decks and patios	May encroach up to 5 feet of side or rear yard setback.
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PARKING

P	Parking Area	May be located in side or rear yards. 5 ft. min. setback from lot line to allow for landscaped buffer. Parking area may be covered.
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Reference to Other Standards

Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4.

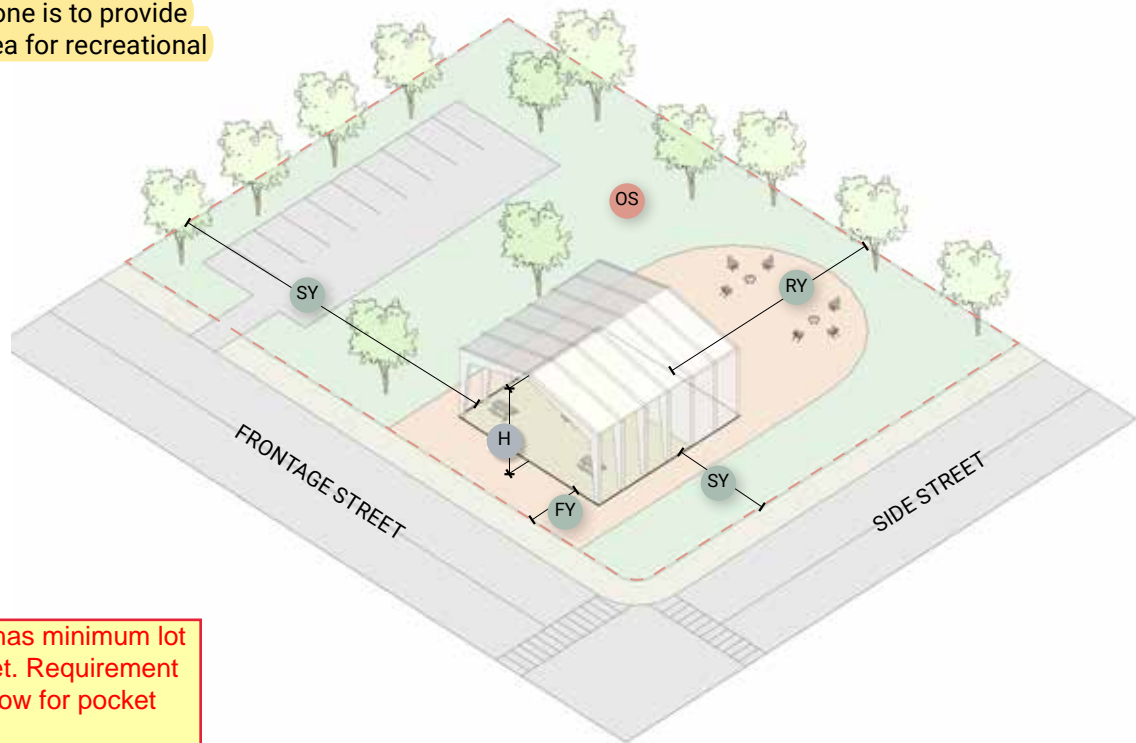
Building Height revised per
5.26.21 Work Session
discussion and clarifying
language added for
encroachments.

New Housing Type Proposed,
not included in current code

6. PARKS AND RECREATIONAL ZONE (PR)

Section 18-26 PR Purpose

The purpose of the Parks and Recreational Zone is to provide a protective area for recreational uses.



Current code has minimum lot width of 75 feet. Requirement removed to allow for pocket parks.

Dimensional Standards

LOT STANDARDS

OS	Open Space	60% min., which may include structures, such as but not limited to bleachers, playground equipment, in-ground permanent swimming pools, picnic structures, trails, tennis courts, and playing fields.
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BUILDING PLACEMENT STANDARDS

FY	Front Yard Setback	15 ft. min.
SY	Side Yard Setback	15 ft. min.
RY	Rear Yard Setback	25 ft. min.

BUILDING STANDARDS

H	Building Height	40 ft. max.
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Current code limits height to 2.5 stories or 35 feet. Recommend 40 feet to match height proposed in RMU

Reference to Other Standards

Uses and Use Standards: See Article 3; Administration & Procedures: See Article 8.

7. PARKS AND CONSERVATION ZONE (PC)

Simplified purpose statement

Section 18-27 PC Purpose

The purpose of the Parks and Conservation Zone is to preserve or restore land to a natural, undisturbed, and undeveloped state.



Dimensional Standards

LOT STANDARDS

Lot Area	5 ac. min. if not abutting another lot in the PC Zone; no min. if abutting another lot in the PC Zone
FW Lot Width at Front Lot Line	75 ft. min.
OS Open Space	90% min.

BUILDING STANDARDS

H Building Height	14 ft. max.
Aggregate area of buildings	150 sq. ft. max.

Current code has front, side and rear yard setbacks, propose removing as only accessory structures of 150 square feet are permitted in this zone

Revised height from 2.5 stories and 35 feet in current code to 14 feet to match the nature of the accessory structures permitted. Aggregate area of buildings is from current code.

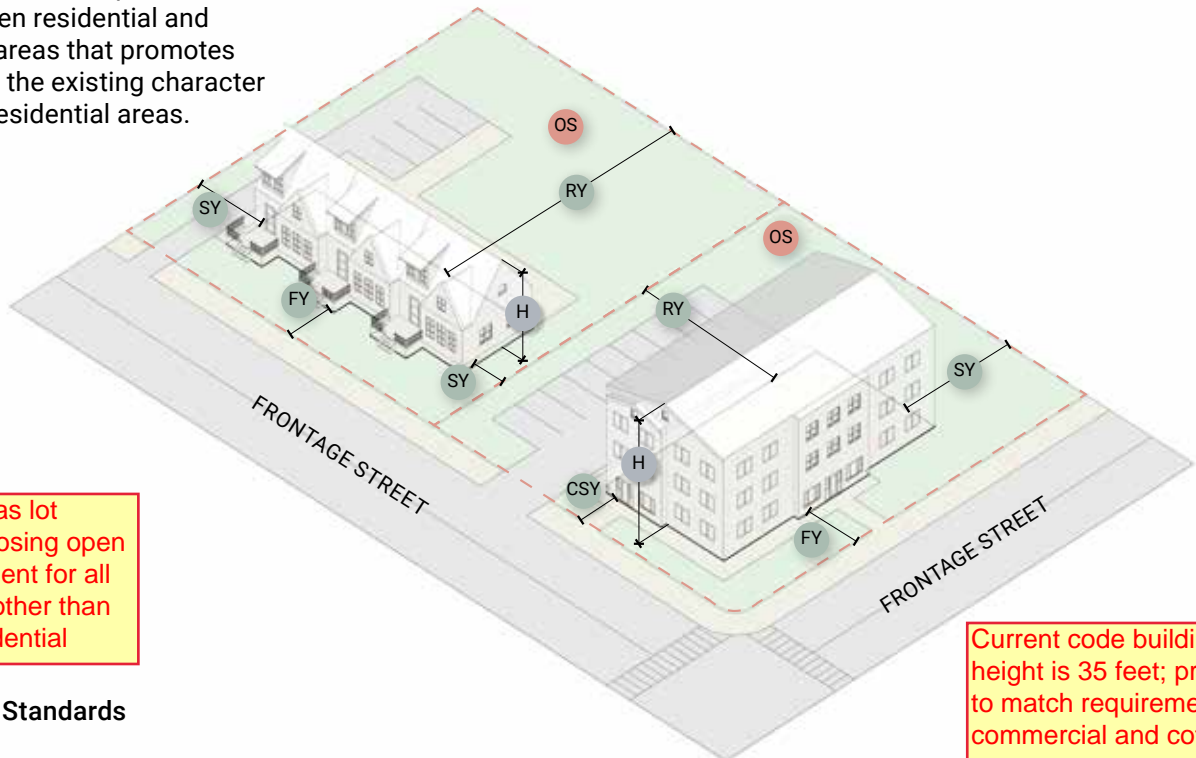
Reference to Other Standards

Uses and Use Standards: See Article 3; Administration & Procedures: See Article 8.

8. NEIGHBORHOOD TRANSITIONAL ZONE (NT)

Section 18-28 NT Purpose

The purpose of the Neighborhood Transitional Zone is to provide a buffer between residential and commercial areas that promotes and respects the existing character of adjacent residential areas.



Current code has lot coverage; proposing open space requirement for all developments other than single-unit residential

Current code building height is 35 feet; proposed to match requirements for commercial and cottage court uses

Dimensional Standards

LOT STANDARDS

OS Open Space 25% min.

BUILDING PLACEMENT STANDARDS

FY Front Yard Setback 15 ft. min.

SY Side Yard Setback 12 ft. min.

RY Rear Yard Setback 20 ft. min.

CSY Corner Side Yard Setback 20 ft. min.

Setbacks proposed are generally similar to C-1

BUILDING STANDARDS

H Building Height 28 ft. max. for cottage court residential uses.
42 ft. max. for all other uses.

PARKING LOCATION

Side or rear yard only

Parking screening requirements to be addressed in Article 5

Reference to Other Standards

Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4; Development Standards - Non-Residential: See Article 5.

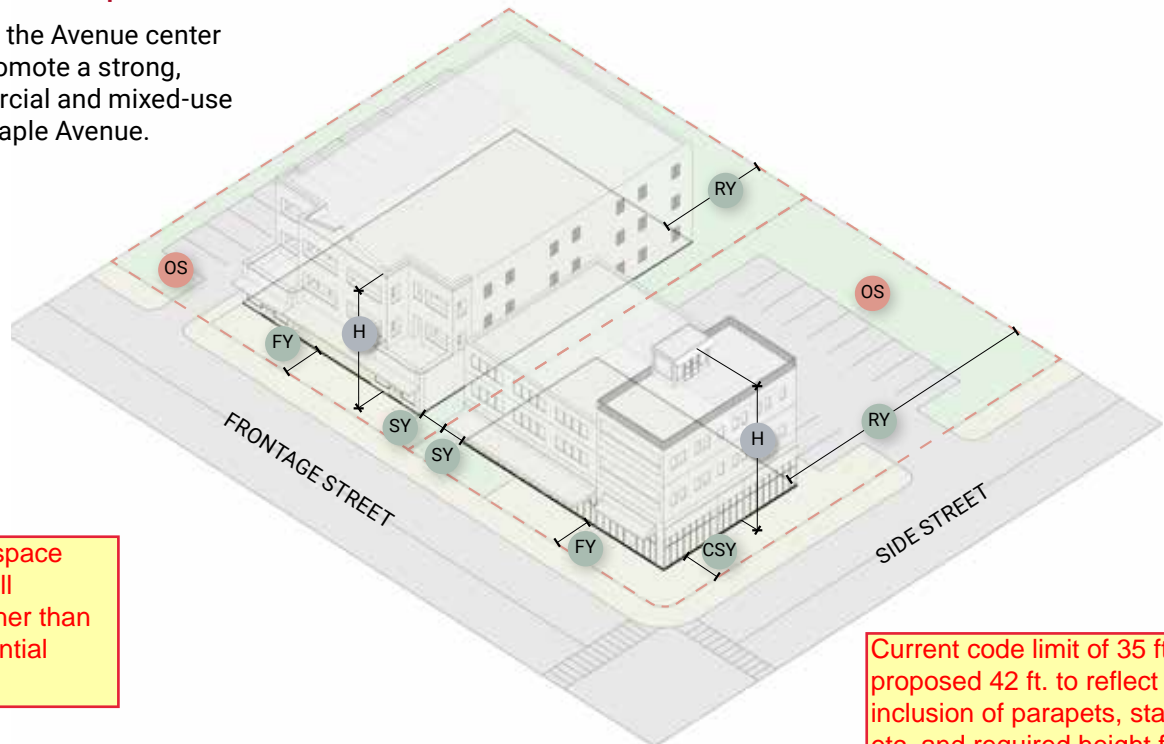
9. AVENUE CENTER DISTRICT (AC)

Section 18-29 AC Purpose

The purpose of the Avenue center District is to promote a strong, vibrant commercial and mixed-use center along Maple Avenue.

New district proposed based on unique development patterns, character and uses

Currently C-1 Local Commercial, C-1A Special Commercial, C-2 General Commercial,



Proposing open space requirement for all developments other than single-unit residential

Current code limit of 35 ft. to proposed 42 ft. to reflect inclusion of parapets, stairwells, etc. and required height for ground floor retail.

Dimensional Standards

LOT STANDARDS

OS Open Space 15% min.

BUILDING PLACEMENT STANDARDS

FY Front Yard Setback 15 ft. min.

SY Side Yard Setback 0 ft. except as determined by building code.

RY Rear Yard Setback 10 ft. min.
30 ft. min. if property abuts a residential zone or residential use.

CSY Corner Side Yard Setback 15 ft. min.

BUILDING STANDARDS

H Building Height 42 ft. max.
42 ft. max. plus rooftop use area (not to exceed 12 ft. in height) if located in the Avenue Center Amenity Overlay District (see page 2-30)

PARKING LOCATION

Side or rear yard only

Amenity overlay area proposed to allow for rooftop amenities and access. The area is proposed in locations not adjacent to residential zones or uses.

Dimensional standards generally align with current C-2 standards, with provision for greater setback when abutting residential

Parking proposed to not be allowed in front of building as currently allowed in code. Screening requirements to be addressed in Article 5

Reference to Other Standards

Avenue Center Amenity Overlay: See page 30; Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4; Development Standards - Non-Residential: See Article 5.

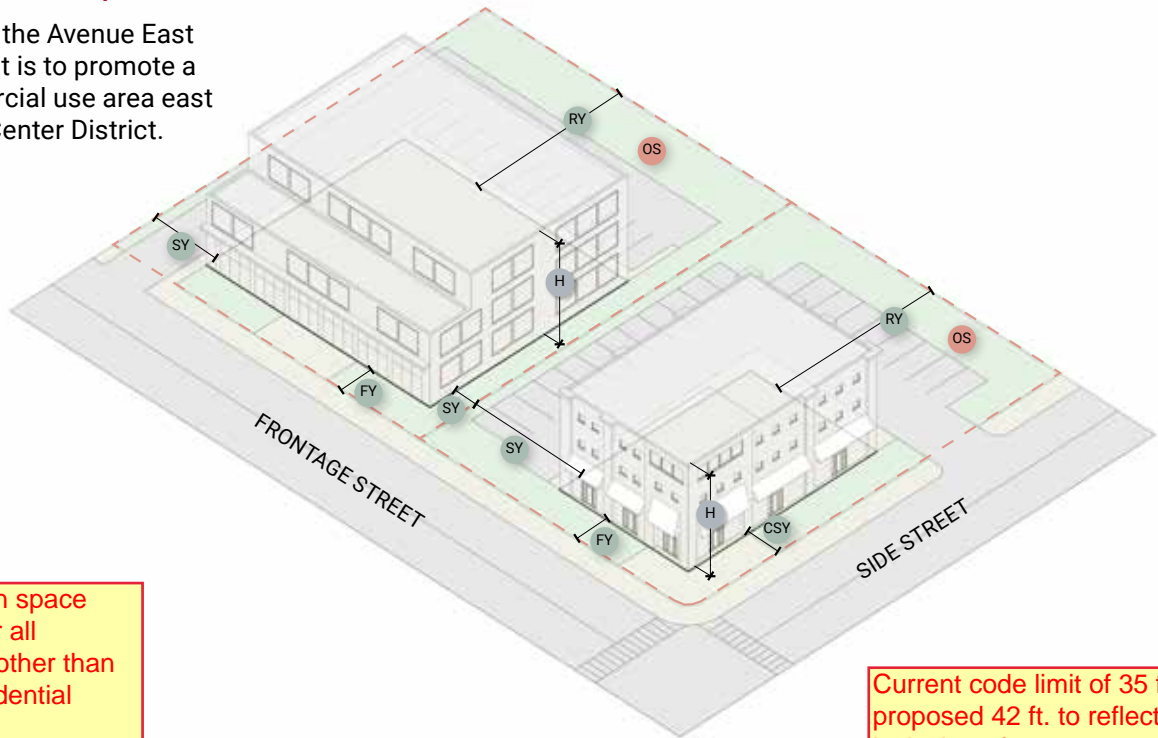
10. AVENUE EAST GATEWAY DISTRICT (AE)

New district proposed based on unique development patterns, character and uses

Currently C-1 Local Commercial, C-1A Special Commercial

Section 18-30 AE Purpose

The purpose of the Avenue East Gateway District is to promote a vibrant commercial use area east of the Avenue Center District.



Proposing open space requirement for all developments other than single-unit residential

Current code limit of 35 ft. to proposed 42 ft. to reflect inclusion of parapets, stairwells, etc. and required height for ground floor retail.

Dimensional Standards

LOT STANDARDS

OS Open Space 15% min.

BUILDING PLACEMENT STANDARDS

FY Front Yard Setback 15 ft. min.

SY Side Yard Setback 10 ft. min.
0 ft. min. if no windows or doors are located on that side of the building

RY Rear Yard Setback 20 ft. min.
30 ft. min. if property abuts a residential zone or residential use.

CSY Corner Side Yard Setback 15 ft. min.

Dimensional standards generally align with current C-1 & C-1A standards, with provision for greater setback when abutting residential

BUILDING STANDARDS

H Building Height 42 ft. max.

PARKING LOCATION

Side or rear yard only

Parking proposed to not be allowed in front of building as currently allowed in code. Screening requirements to be addressed in Article 5

Reference to Other Standards

Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4; Development Standards - Non-Residential: See Article 5.

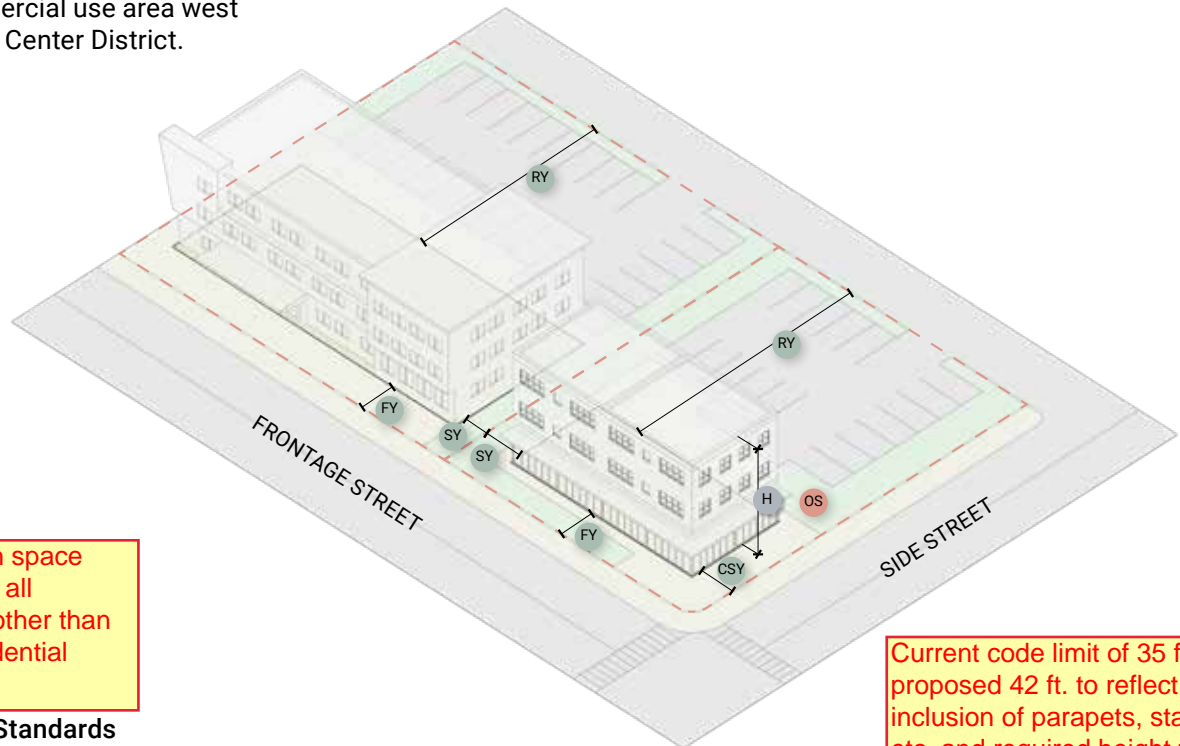
11. AVENUE WEST GATEWAY DISTRICT (AW)

Section 18-31 AW Purpose

The purpose of the Avenue West Gateway District is to promote a vibrant commercial use area west of the Avenue Center District.

New district proposed based on unique development patterns, character and uses

Currently C-1 Local Commercial, C-1A Special Commercial, C-2 General Commercial,



Proposing open space requirement for all developments other than single-unit residential

Dimensional Standards

LOT STANDARDS

OS Open Space 15% min.

BUILDING PLACEMENT STANDARDS

FY Front Yard Setback 15 ft. min.

SY Side Yard Setback 10 ft. min.
0 ft. min. if no windows or doors are located on that side of the building

RY Rear Yard Setback 20 ft. min.
30 ft. min. if property abuts a residential zone or residential use.

CSY Corner Side Yard Setback 15 ft. min.

BUILDING STANDARDS

H Building Height 42 ft. max.

PARKING LOCATION

Side or rear yard only

Current code limit of 35 ft. to proposed 42 ft. to reflect inclusion of parapets, stairwells, etc. and required height for ground floor retail.

Parking proposed to not be allowed in front of building as currently allowed in code. Screening requirements to be addressed in Article 5

Dimensional standards generally align with current C-1 & C-1A standards, with provision for greater setback when abutting residential

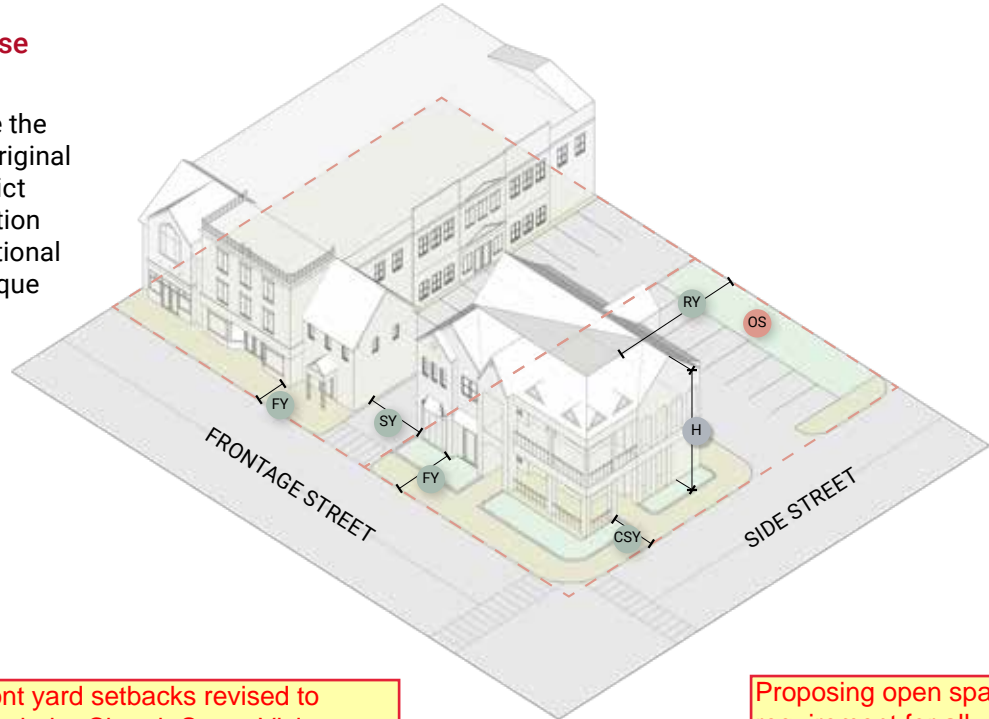
Reference to Other Standards

Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4; Development Standards - Non-Residential: See Article 5.

12. CHURCH STREET DISTRICT (CSD)

Section 18-32 CSD Purpose

The purpose of the Church Street District is to recognize the distinctive character of the original Old Vienna commercial district and to provide for the protection and preservation of the traditional image and history of this unique area.



Dimensional Standards

Front yard setbacks revised to match the Church Street Vision requirements for front yard setbacks

Proposing open space requirement for all developments other than single-unit residential

BUILDING PLACEMENT STANDARDS

FY	Front Yard Setback	Interior lots must alternate front yard setbacks using one of the following: 5 ft.; 7 ft., 8 in.; or 10 ft., 4 in. Corner lots must have a front yard setback of at least 10 ft. No front yard setback may be continuously extended for more than 40 linear ft., whether that is across a single or adjoining lot.
SY	Side Yard Setback	10 ft. min. 0 ft. min. if no windows or doors are located on that side of the building.
RY	Rear Yard Setback	10 ft. min. 0 ft. min. if no windows or doors are located on the rear of the building.
CSY	Corner Side Yard Setback	15 ft. min.

LOT STANDARDS

OS	Open Space	10% min.
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BUILDING STANDARDS

H	Building Height	42 ft. max. 50 ft. max for municipal parking structures
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PARKING LOCATION

Side or rear yard only

Current code limit of 35 ft. to proposed 42 ft. to reflect inclusion of parapets, stairwells, etc. and required height for ground floor retail.

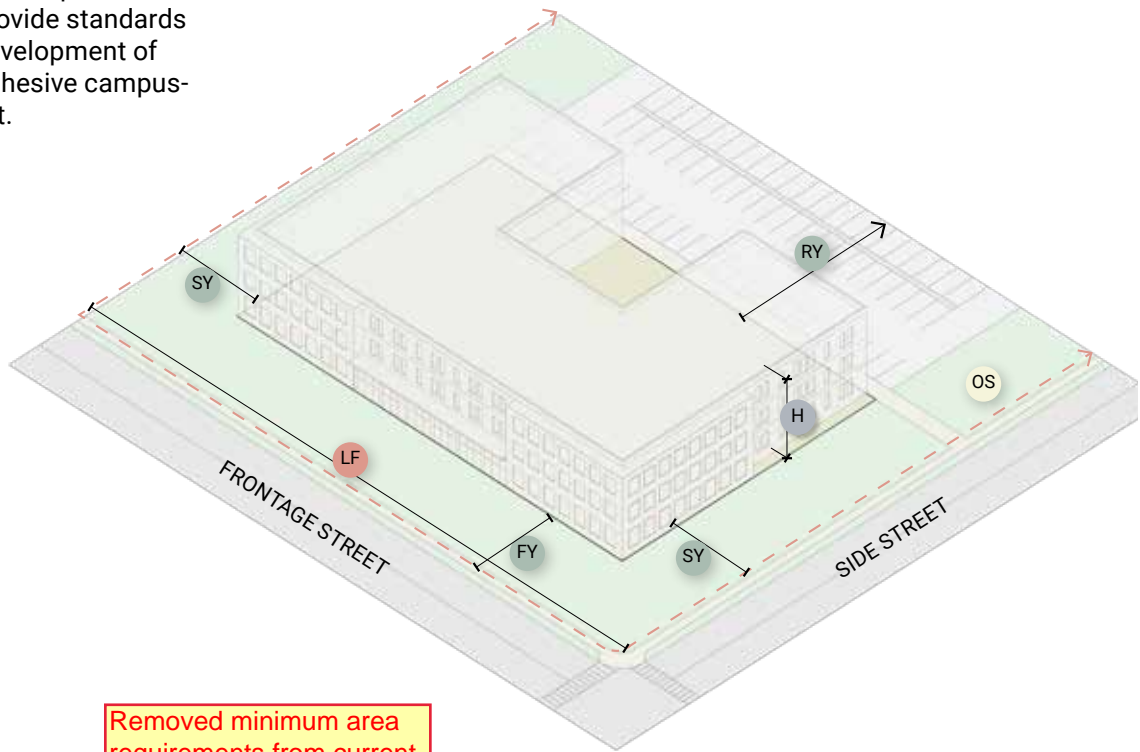
Reference to Other Standards

Church Street Vision Incentive Overlay: See page 31; Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4; Development Standards - Non-Residential: See Article 5.

13. CORPORATE PARK DISTRICT (CP)

Section 18-33 CP Purpose

The purpose of the Corporate Park Zone is to provide standards for the use and development of properties as a cohesive campus-style development.



Dimensional Standards

Removed minimum area requirements from current code and simplified lot frontage requirements

LOT STANDARDS			BUILDING PLACEMENT STANDARDS		
LF	Lot Frontage	150 ft. min.; or 100 ft. min. for lots on cul-de-sac or on street curves	FY	Front Yard Setback	50 ft. min.; 100 ft. min. if abuts a residential zone
			SY	Side Yard Setback	50 ft. min. (each side); 100 ft. min. if abuts a residential zone
			RY	Rear Yard Setback	50 ft. min.; 100 ft. min. if abuts a residential zone
				Distance from Street Right-of-Way (R.O.W.)	50 ft. min.
BUILDING STANDARDS					
H	Building Height	45 ft. max.			
OPEN SPACE					
OS	Open Space	30% min.			

Proposing open space requirement for all developments other than single-unit residential

Simplified language from current code which has setback requirements from highways

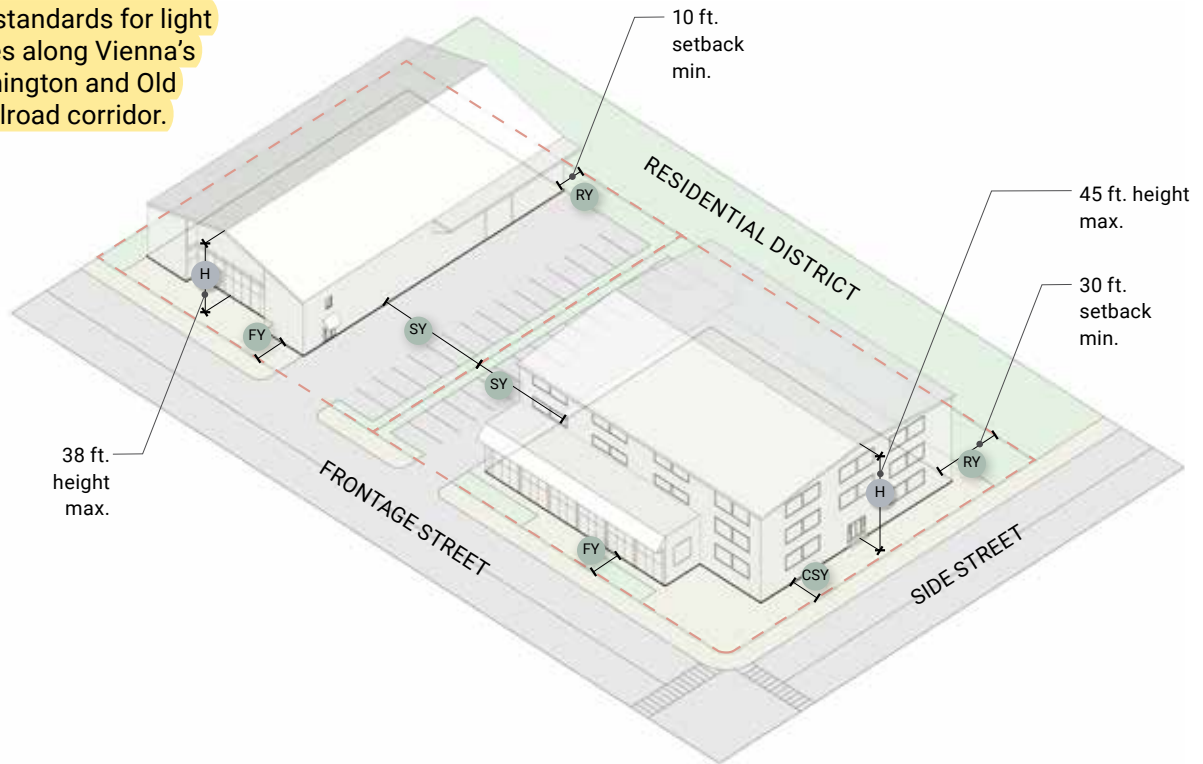
Reference to Other Standards

Uses and Use Standards: See Article 3; Development Standards - Non-Residential: See Article 5; Administration & Procedures: See Article 8.

14. MILL DISTRICT (MD)

Section 18-34 MD Purpose

The purpose of the Mill District is to provide standards for light industrial uses along Vienna's historic Washington and Old Dominion Railroad corridor.



Dimensional Standards

BUILDING PLACEMENT STANDARDS

FY	Front Yard Setback	15 ft. min.
SY	Side Yard Setback	Minimum required by Virginia Uniform Statewide Building Code.
RY	Rear Yard Setback	10 ft. min. If rear yard abuts a residential district the minimum is 10 ft. when building height is limited to 38 ft. If rear yard abuts a residential district the minimum is 30 ft. when building height is limited to 45 ft.
CSY	Corner Side Yard Setback	15 ft. min.

BUILDING STANDARDS

H	Building Height	45 ft. max. 38 ft. max. if lot abuts a residential district and rear yard setback of less than 30 ft. is provided.
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Added provisions for greater setback or reduced height when abutting residential

Reference to Other Standards

Uses and Use Standards: See Article 3; Development Standards - Residential: See Article 4; Development Standards - Non-Residential: See Article 5.

15. AVENUE CENTER AMENITY OVERLAY (AC-O)

Amenity overlay area proposed to allow for rooftop amenities and access. The area is proposed in locations not adjacent to residential zones or uses.

Section 18-35 AC-O Purpose

The purpose of the Avenue Center Amenity Overlay District is to accommodate rooftop amenities that may exceed the building height regulations applicable to the base zone or district in which the structure is located, while respecting and promoting the small-town character of Vienna.

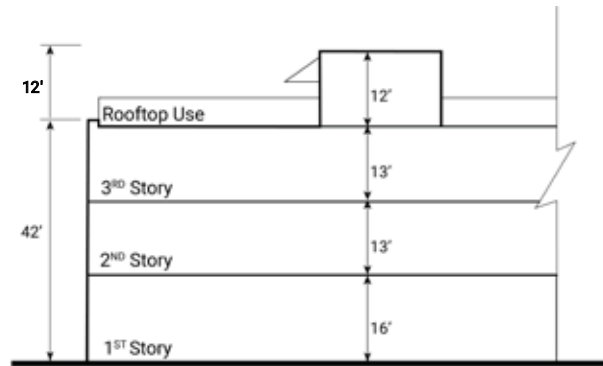
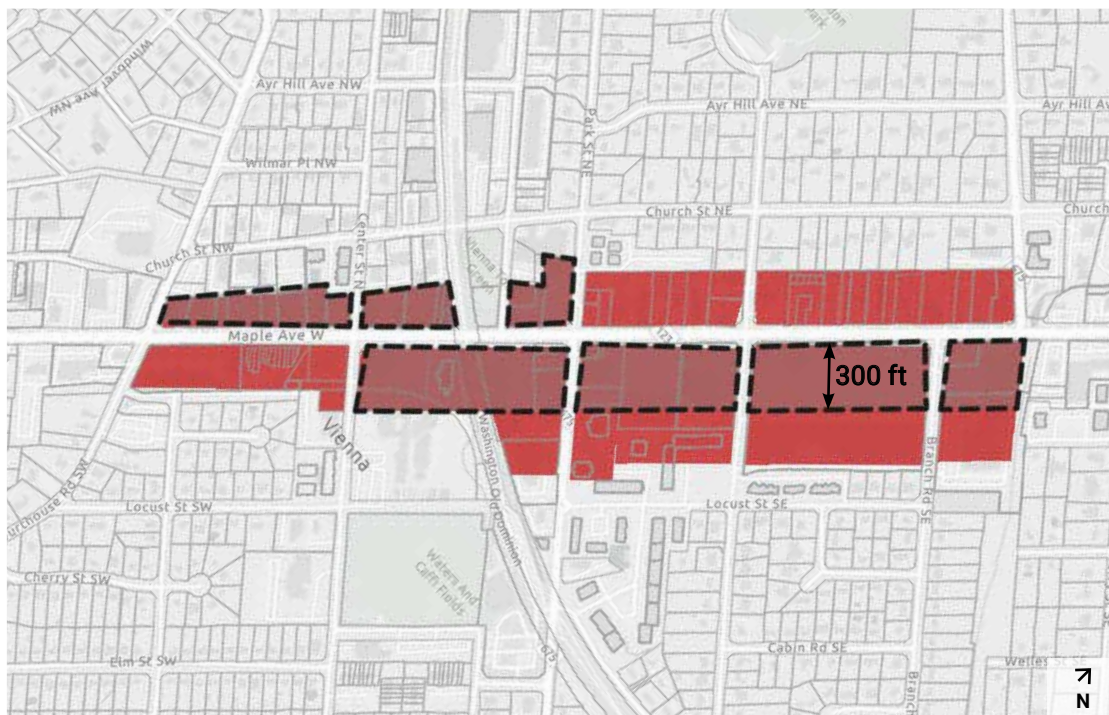


FIGURE 2.K.
Example building section with a rooftop use as permitted within the Avenue Center Amenity Overlay District.



--- Amenity Overlay
■ Avenue Center District

FIGURE 2.L.
Reference map of the Avenue Center Amenity Overlay District.

Dimensional Standards

BUILDING STANDARDS

H	Building Height	42 ft. max. For any structure with a publicly accessible rooftop use (i.e. rooftop dining), up to 12 additional feet is permitted
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16. CHURCH STREET VISION INCENTIVE OVERLAY (CS-O)

Church Street Vision included as an overlay district

Formatting, graphics, etc to be updated

Section 18-36 Building and plan design features

1. In furtherance of the legislative intent of the CSD zone and to project continuity in harmony of character in the area, there are hereby adopted the following building design features and site plan features which are declared acceptable for use in development in the CSD zone in satisfaction of the provisions of section 18-87.4.
2. These features were in their entirety approved by the Board of Architectural Review pursuant to the requirements of chapter 4 prior to their adoption herein and any repeal or amendment of the same in this section must undergo prior review by the board pursuant to chapter 4.
3. The zoning administrator shall present all proposed amendments to this section to the Board of Architectural Review for the board's recommendation to the Town Council prior to presentation of the same to the council. The Board of Architectural Review shall report its recommendations thereon to the council within 30 days of notification by the zoning administrator, and failure to report in such time shall constitute approval of the board.
 - A. Conceptual architectural renderings.
 - i. The renderings contained herein represent a conceptual illustration of the acceptable architecture design and development standards. In brief, adjoining buildings are to be constructed at staggered setbacks along the front property line, parking is to be open between the lots, accessed from a common drive and located behind the buildings, and the architecture shall be reminiscent of turn-of-the-century Vienna, emphasizing street level design and pedestrian oriented spaces.
 - ii. Each development shall be proportionate to the other in terms of height, scale and massing. While each building and site is developed independently and may incorporate many eclectic styles and design elements, the overall effect shall be a cohesive and comprehensive architectural area.
 - iii. These renderings are not to be interpreted as working drawings, binding illustrations or specific requirements for any building or lot. The written guideline text is the applicable medium and, in the event of conflict between elements in any rendering and the written guideline text, the written guideline text shall prevail.
 - B. Building design features. These design guidelines illustrate ways

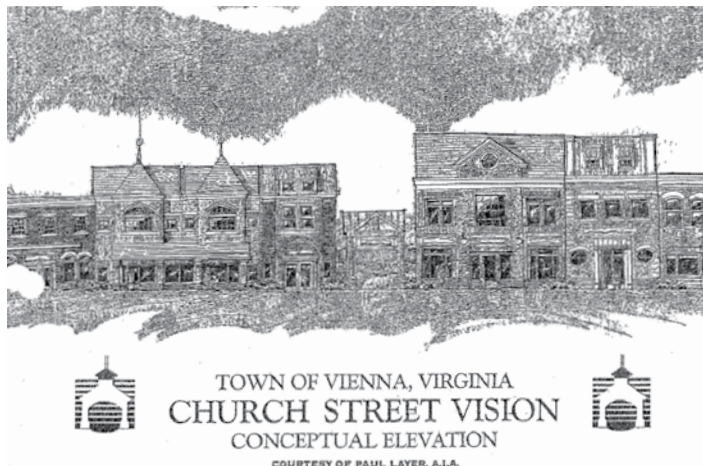


FIGURE 2.M.
Example of
a conceptual
architectural
rendering.

construction may occur which will complement and enhance the Town's character. They are not intended to dictate a particular style but rather offer guidance to the development theme desired in the CSD Zone. Buildings and developments within the CSD zone shall incorporate Virginia vernacular and enhance architectural styles that are reminiscent of the Town's history between 1890 and 1930.

- i. Design goal: To coordinate the visual and architectural characteristics in the CSD Zone, emphasize Vienna's heritage, and create a pedestrian oriented streetscape.
- ii. Design objectives:
 - a. Preserve the character of the adjacent residential neighborhoods
 - b. Encourage reinvestment in the area by private property owners and merchants
 - c. Provide for at-grade separation of pedestrian and vehicular traffic through the use of on-street parking, centralized parking and clearly defined walkways.
 - d. Integrate and enhance pedestrian walkways between commercial properties and public parks and lands
 - e. Maintain the character and heritage of the original historic Presbyterian Church, Freeman House and the Washington and Old Dominion (W&OD) Trail area as an enhanced public focal point and corridor gateway
 - f. Focus commercial activities, store fronts and signage at the pedestrian level
- iii. Design policies:
 - a. Continue the undergrounding of individual building utility connections
 - b. Coordinate private development with the municipal Church Street streetscape project design elements
 - c. Encourage shared and public automobile parking facilities and non-motorized transportation alternatives
- iv. General design requirements:
 - a. Architectural styles for new buildings or the remodeling or renovation of existing buildings will be chosen from recommended characteristics shown in the conceptual architectural renderings appearing herein at [\[section\] 18-87.5](#) A and Town history and enhance the character of the Church Street corridor.
 - b. Building additions shall be compatible with the conceptual architecture and provide compatible details, scale, voids, materials and colors.
 - c. The lower level of buildings shall offer a front design that is conducive to pedestrian activity and interest.
 - d. Visual interest shall be provided along the street and pedestrian ways, such as entrances, display windows, landscape areas and outdoor seating.
 - e. Primary customer entrances shall be designed and focused on the street front. Such entrances must be maintained and accessible as an entrance at all times. Any secondary entrance must mimic the materials and design of the primary entrance.
 - f. Arcades are encouraged along the first floor of corner buildings but may not be used more frequently than every three store fronts or 80 feet.
 - g. Solid walls, dull or minimal facades will not be designed along streets or pedestrian ways.
 - h. Building heights shall be compatible with adjacent buildings and the topography of the site and in compliance with the conceptual architectural renderings.

- i. Building setbacks of in-fill structures shall be consistent with neighboring structures and in compliance with staggered setback requirements.
 - j. The width and proportion of building facades shall be compatible with the overall scale of the neighborhood. Where multiple developments are proposed, the development proposal shall create the feeling of architectural proportionality through exterior facade design.
 - k. Courtyard style arrangements of buildings are encouraged along the W&OD Trail and at other suitable locations to emphasize pedestrian access and minimize automobile importance.
 - l. Parking shall be designed to the rear of the lot when possible. When adjoining another lot with abutting parking, the lots will be integrated and opened to each other when practical.
 - m. Landscaping shall be included around the parking facilities to ease their appearance in compliance with the submitted landscape plan.
 - n. Landscape areas shall be used to enhance the buildings situation and orientation on a lot.
 - o. Safe, convenient walkways shall be identified by paver materials that coordinate with the public sidewalks within the public street right-of-way.
 - p. Lots in the CSD zone on the southern side of Church Street shall encourage pedestrian access to Maple Avenue by sidewalks or paths through the lots, tying the commercial corridors together both visually and physically.
 - q. Signs shall be integrated into the design of the building. They shall not interfere with the architectural integrity or features of the building and meet the sign design guidelines of this section.
 - r. Exposed neon shall not be visible from the street, regardless of form, size or interior location; it shall not be used as a building detail, decorative accent or signage.
 - s. Materials used for construction will be consistent with the provisions of [\[section\] 18-87.5 I.](#)
 - t. Vinyl siding may not be used below the second floor on any wall or surface visible from a public way. Aluminum siding and buildings primarily of glass are prohibited.
 - u. Awnings or canopies may only be used in restaurant areas with outdoor patron seating.
 - v. Awnings and/or canopies will be made of fabric. Vinyl or plastic awnings or canopies are not permitted.
 - w. Building equipment, such as generators and air conditioning units shall be screened from view in a manner compatible with the site and using materials similar to the building and harmonious with the design.
- C. Conceptual plan. The following rendering is a conceptual site plan with identified design elements satisfying section 18-87.5 B. It should not be interpreted as a working drawing, binding illustration or specific requirement for any building or lot. The written guideline text is the applicable medium and in the event of any conflict between elements in the conceptual site plan and the written guideline text, the written guideline text shall prevail.

- D. Building setbacks and siting. Buildings shall be constructed to meet the following setbacks and siting criteria:
- i. Buildings shall be placed forward on a lot to create a continuous street block. Buildings shall have a relationship to adjacent buildings and facades that creates a staggered building line along the street, consistent with the following criteria.
 - ii. All setbacks shall be measured from the property line.



FIGURE 2.N.
Example of a
conceptual plan.

- a. Front yard setbacks:
 1. Corner lots must have a front yard setback of at least ten feet from the street. Interior lots must alternate the front yard setbacks using one of the following:
 - I. Five feet;
 - II. Seven feet, eight inches; or
 - III. Ten feet, four inches.
 2. The nearest two feet to the face of the building shall be used as a landscape strip or planter, except when the front yard is designed as a courtyard or patio.
 3. No front yard setback may be continuously extended for more than a distance of 40 linear feet, whether such distance is across a single or adjoining lot.
- b. Side yard setbacks: Corner lots must have a side yard setback of at least five feet from the street. Interior lots may have a zero side yard along the street level, provided there are no windows on the side walls at the street level.
- c. Front setback and landscape area requirement:
 1. A five-foot brick sidewalk shall be constructed along the front property line adjoining the public planter and sidewalk to create a divided double sidewalk. A landscaped area may be used instead, if a double sidewalk is inappropriate to the intended use of the building.

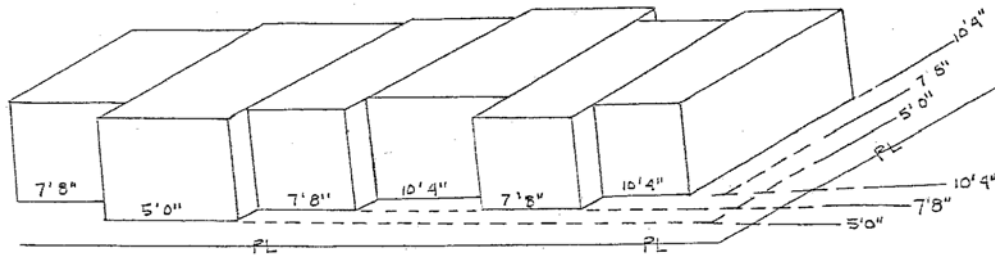


FIGURE 2.O.
Illustration of
setbacks measured
from the property
line.

2. Except when the front yard is designed as a courtyard or patio, a landscape strip or planter shall be constructed between the building and the above-mentioned sidewalk. For buildings with the minimum setback, the planter or landscape strip must be at least two feet in width and placed adjacent to the building. The intent of this requirement is to create a green space of varying width between the sidewalks and the building.
- E. Facade proportion and street level continuity. The width and proportion of building facades (the relationship of a building's width to its height) shall be consistent with adjacent buildings. Buildings with a street front longer than 40 feet shall be architecturally designed and situated on the site to create the impression of multiple facades with staggered setbacks as set out in [section 18-87.5 D](#). Buildings should not be set back beyond the front building setbacks established in [section 18-87.5 D](#) nor be situated to create a street front setback longer than 40 feet.

Siting

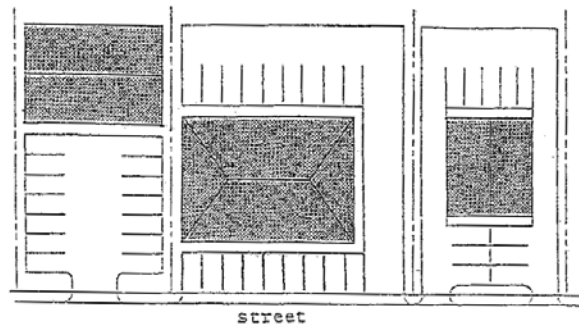


FIGURE 2.P.
Illustration of a
siting that is NOT
recommended,
where parking is
located in front of
the buildings.

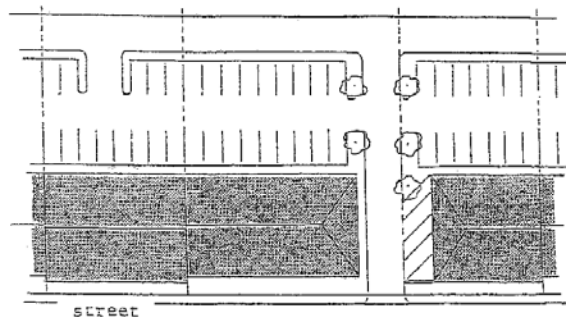


FIGURE 2.Q.
Illustration of a
siting that is IS
recommended.

Parking is located behind the buildings which are pushed forward on the lot; Parking along the side of the building is screened by a wall; Parking is shared between properties and parking lots cross property lines.

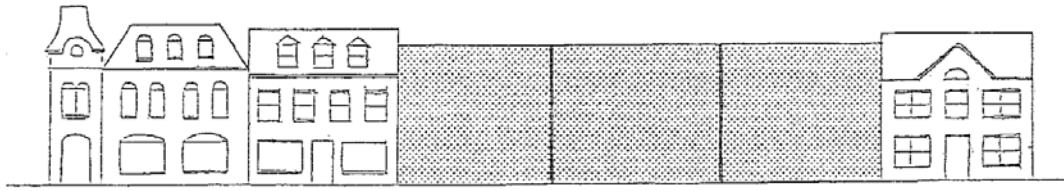


FIGURE 2.R.
Illustration of a
recommended
facade design which
features compatible
facade proportion.

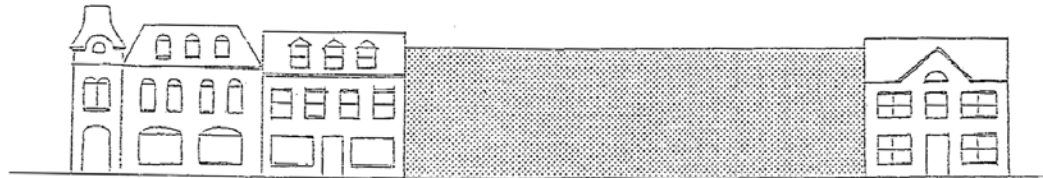


FIGURE 2.S.
Illustration of a
facade design
that is NOT
recommended given
its proportions that

- F. Street level vitality. The street level of new and in-fill buildings, plazas, courtyards or other space and structures that face the street shall provide a primary pedestrian access and orient their design toward the street.
- G. Specific design requirements.
 - i. First-story roofs shall have a minimum slope of 6:12.
 - ii. Window centerlines shall be aligned whenever possible.
 - iii. Cornices shall be aligned whenever possible.
 - iv. Stucco may be used no nearer than two feet, eight inches to the base of the building. The building base, up to a height of two feet eight inches above grade, should be constructed of brick or stone with a water table; split face block is acceptable upon review.
 - v. EIFS, or any like material, may only be used above the first floor.
 - vi. Mansard roofs are not permitted.
- H. Floor to area ratio.
 - i. The maximum floor to area ratio (FAR) shall not exceed 0.7 for any lot and only upon accommodating both site and building design criteria.
 - ii. Floor to area ratio is defined as the ratio of total floor area on a lot divided by the total lot area (FAR = total floor area/total lot area).
 - iii. Total floor area is defined as the interior space of all floors of a building minus stairways, elevators, and attics or cellars with a ceiling height of six feet or less.

42 feet matches proposed height in the Church Street District

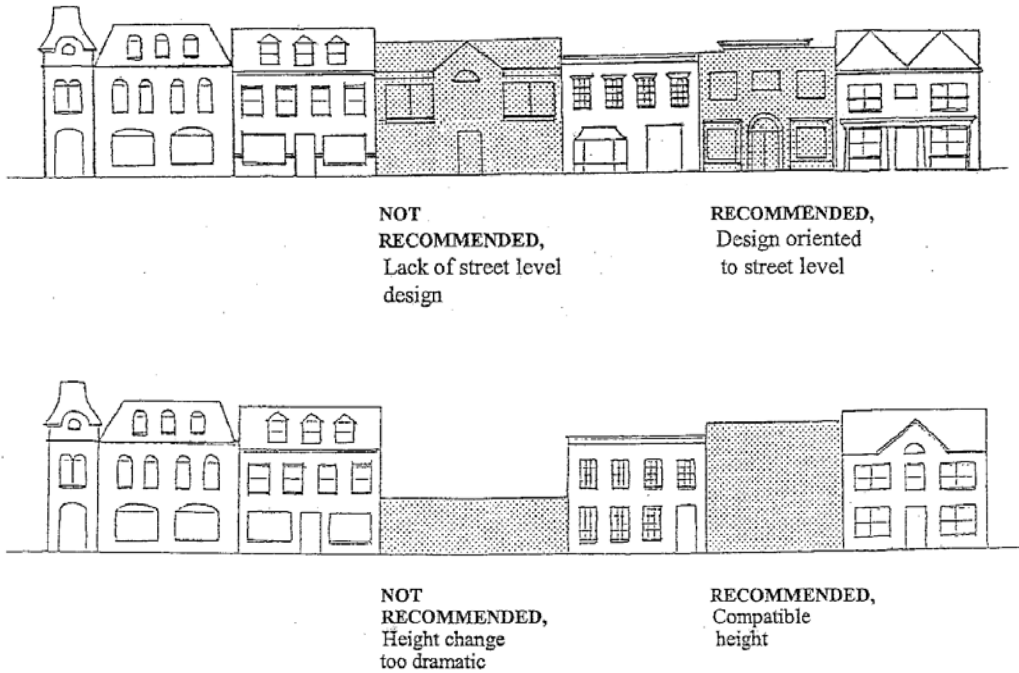


FIGURE 2.T.
Maximum height is 42 feet measured from the average grade of the lot. In-fill buildings shall be of a compatible height with adjacent buildings whenever possible.

- I. Building materials. The following rendering identifies construction materials and architectural elements included in the CSD zone. It shall not be interpreted as a working drawing, binding illustration or specific requirement for any building or lot. The written guideline text is the applicable medium and in the event of any conflict between elements in any rendering and the written guideline text by the written guideline text shall prevail.

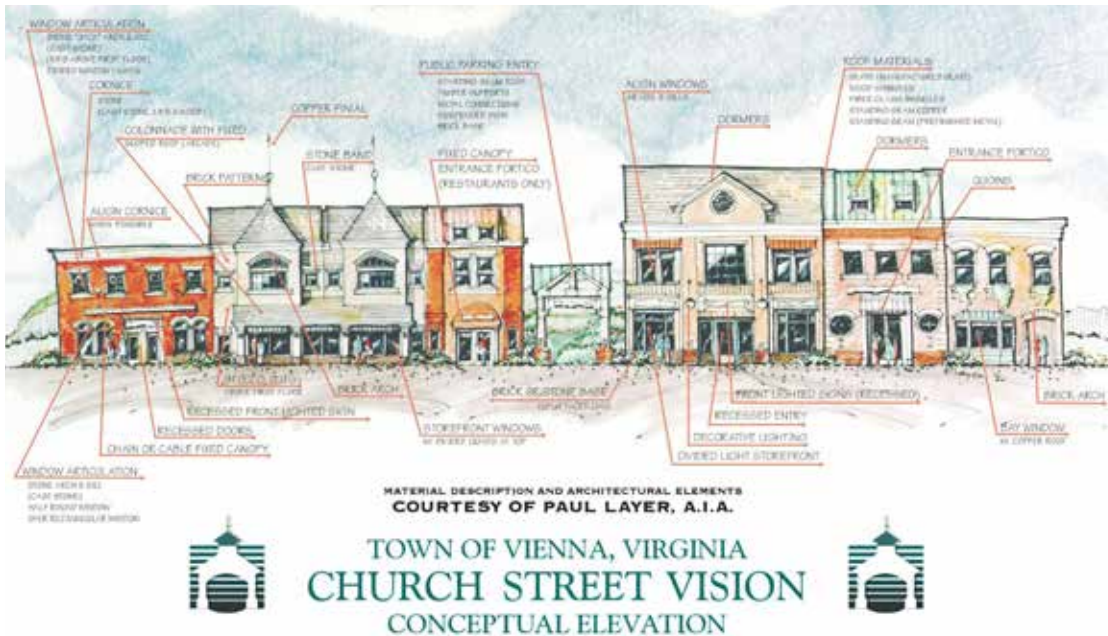


FIGURE 2.U.
Material description and architectural elements.

J. Parking and circulation requirements.

Parking shall be designed to the rear of the lot when possible. Where parking can only be located on the side of building, it must be screened from the principal pedestrian way by a low wall that integrates into the adjoining building or by the use of low hedges or other appropriate landscaping.

When adjoining another lot with abutting parking, the lots shall be integrated and opened to each other. In order to achieve the requirements of this section, reserved parking may be prohibited by site plan approval except for one reserved space for the owner or manager of the site.

These requirements shall in no way be permitted to delete otherwise lawfully required handicapped spaces.

Landscaping shall be included around the parking facilities to ease their appearance when possible.

All lots developed as part of the CSD zone using the approved design guidelines shall provide shared parking with other lots developed under the CSD zone design guidelines unless prevented by an adjoining lot or lots not developed under the approved design guidelines.

i. Standard parking spaces:

- a. All parking shall be provided at a net ratio of one space per 600 square feet of total floor area.
- b. Standard parking spaces shall measure nine by 18 feet.
- c. Parking aisles shall have a minimum width of 22 feet.

ii. Compact parking spaces:

- a. 40 percent of provided parking spaces may be compact in size.
- b. Compact parking spaces shall measure seven feet six inches by 16 feet.

iii. Access ways and easements:

- a. Access ways shall be developed within existing rights-of-way when possible, including existing, undeveloped alleys within the CSD zone. When public rights-of-way or alleys are not available, access ways shall be established through dedicated public access easements specifying they are for public access purposes.
- b. Access easements shall meet fire codes and standards for one- and two-way traffic as determined and identified on the access way map.
- c. Additional public access easements may be required adjacent to existing rights-of-way or alleys to meet the fire code standards.

iv. Lighting: Lighting standards shall be no more than ten feet in height above grade and shall be so arranged and hooded as to confine all direct light rays entirely within the boundaries of the parking areas. Lighting fixture designs shall be harmonious with the general architectural nature of the building or site.

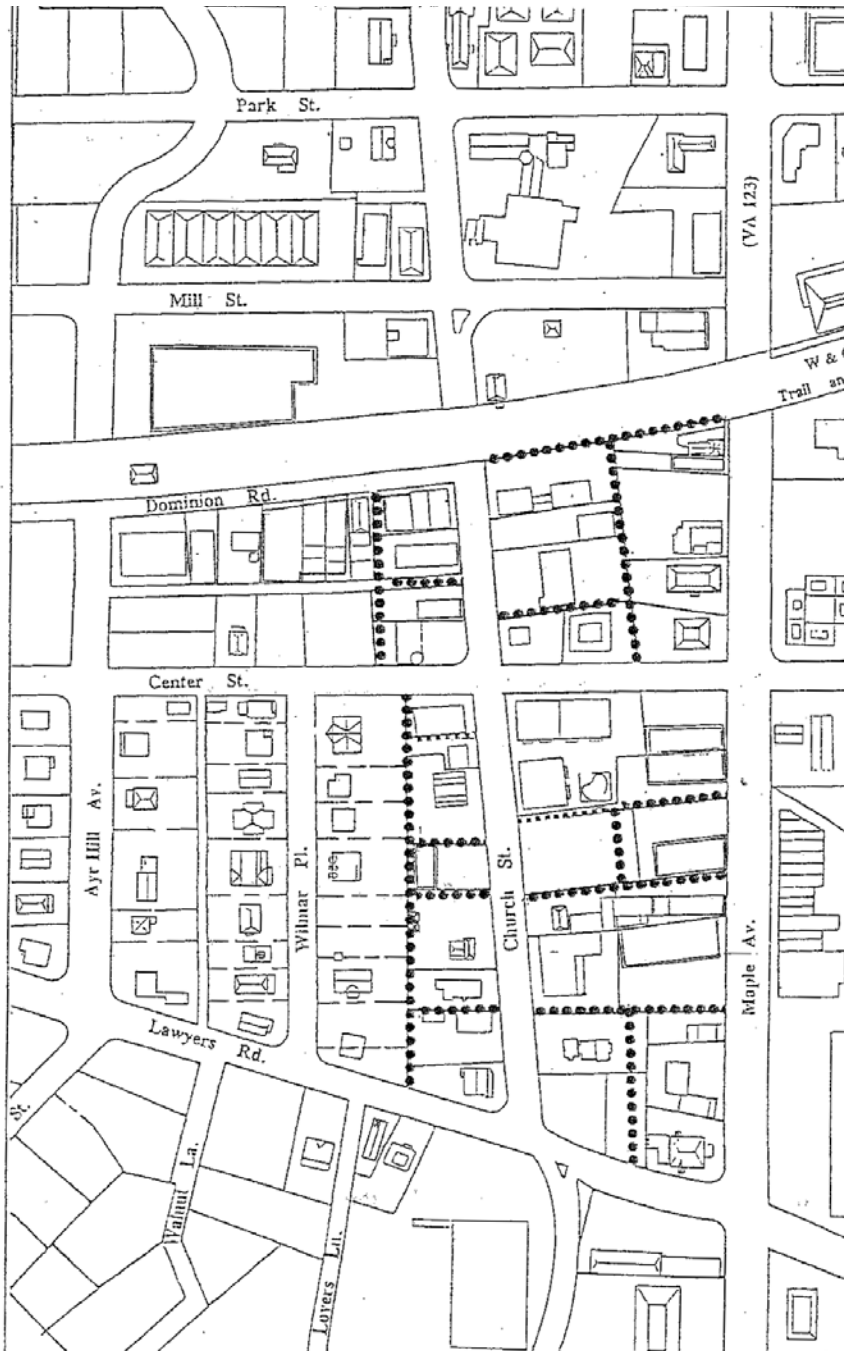


FIGURE 2.V.
Access ways.

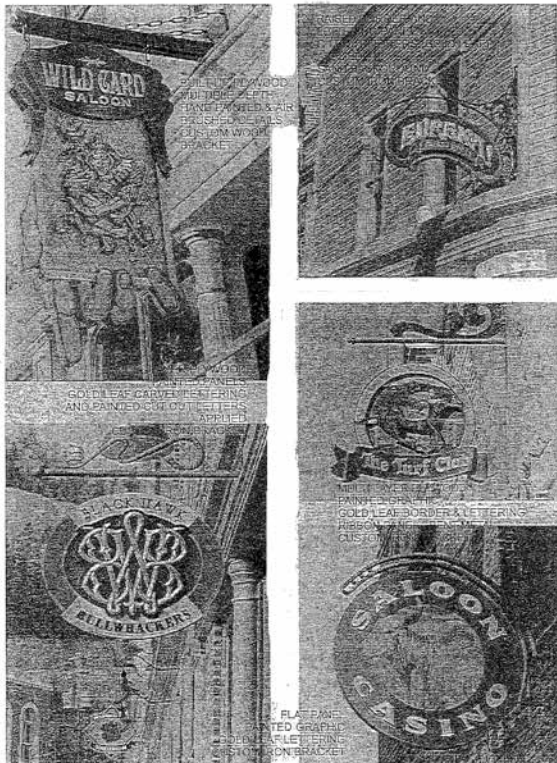
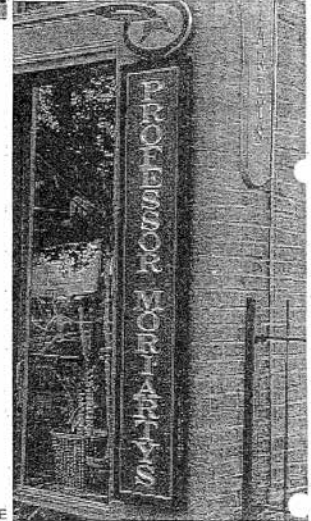
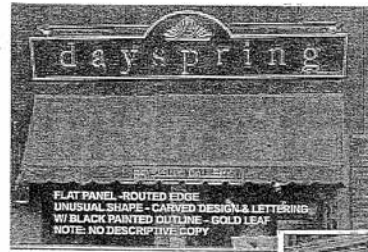
- K. Design guidelines for signs. Signs shall provide a coordinated image between signs and buildings and provide adequate exposure for the businesses.
- i. General sign design requirements.
 - a. Signs shall be integrated into the design of the building and shall not interfere with the architectural integrity or features of the building.
 - b. Exterior signs shall face public thoroughfares or rear parking lots.
 - c. Signs may not be placed nearer to a window or door than a distance equal to the width of any molding surrounding the window or door. In the event there is no molding, the sign shall not be placed nearer to the edge of a window or door than four inches.
 - d. Multiple panel signs shall be designed to create a harmonious overall impression.
 - e. Exterior signs shall have an element of "three-dimensionality."
 - ii. Content and layout.
 - a. Sign text may only include the business name as the same is stated on the business license, except that a "trading as" (T/A) or "doing business as" (DBA) identity is acceptable. Either a tag line or three descriptive or informational items are also permitted. A trademark, or logo may be incorporated into the sign design provided the same conforms as to this provision. Telephone and facsimile numbers, Internet and electronic mail (E-mail) addresses, and prices may not be displayed on any sign.
 - b. Sign design and copy shall serve the primary purpose of business identification. Colors shall be used appropriately for the architecture, business identification and design elements. Designs and colors shall not be used for product advertisement.
 - c. Store hours may only be posted on an additional unilluminated sign no larger than 1½ square feet and placed adjacent to any public entrance.
 - d. Sign layouts shall be centered within the sign area such that there is a border space around the entire sign with a width equal to ten percent of the total sign width.
 - e. Sign designs and letter forms shall be professionally prepared.
 - iii. Materials.
 - a. Materials for signs will be consistent with the building architecture and section 18-87.5 I.
 - b. Signs shall be made of predominately natural materials such as wood, metal or stone.
 - c. Synthetic materials, including plastic and sign foam, may be used only when it is finished to appear as a natural material.
 - d. Unpainted plastic, molded plastic letters and vinyl leaf shall not be used.
 - e. Glass beads or sand maybe used to add texture.
 - f. Only genuine metallic leaf products in gold or silver and Palladium leaf (a.k.a. Dutch Metal) may be used.

- iv. Lighting.
 - a. Signs may be illuminated by reflected light only.
 - b. Signs may not be internally illuminated or use any exposed neon tubing.
 - c. Signs may be illuminated only by external spot lighting; such light fixtures to be architecturally part of the structure.
- v. Open signs.
 - a. Each business may place one sign reading "open" in a store window facing a public thoroughfare or parking lot. d[b]."Open" signs may not exceed 1½ square feet, may not be internally illuminated and may not be made of neon.
- vi. Window signs. Only the following window signs will be permitted:
 - a. One permanent window sign for each business, lettered on the inside of the glass with no background color, no larger than 25 percent of each window area of the window in which it is placed and made of either gold leaf, silver leaf or white individual letters.
 - b. The area of a window sign will be calculated by measuring the outer edge of the overall sign image.
 - c. Temporary window signs may not cover more than ten percent of any window area in which it is placed. Temporary window signs may not stay up for more than 30 days at one time and there may be no more than four such signs posted in any one calendar year.
- vii. Facade signs.
 - a. Facade signs may not interfere with or interrupt building details or openings and shall be designed in coordination with the structure. Facade signs include any wall mounted sign facing the front street, rear customer entrance or other public way.
 - b. A total of two square feet of facade signage is permitted for each linear foot of building frontage. Such sign area is to be shared by all tenants or tenant spaces within the building.
 - c. Facade signs may be placed flat or perpendicular against any building side that fronts a parking lot or public thoroughfare.
 - d. Facade signs must be permanently and securely attached to the building.
 - e. Facade signs must be reinforced with a continuous metal band around the outer edge of the sign.
 - f. Facade signs shall be below the trim fascia or gutter line.
 - g. Facade signs shall not eclipse the roofline.
 - h. Facade signs may be illuminated only by external spot lighting; such light fixtures to be architecturally part of the structure.
 - i. Perpendicular signs may not project more than four feet from the building facade, may not over-hang the property line, and may not interfere with pedestrian traffic or the building's architectural elements.
- viii. Canopy signs. Canopy signs may only be placed flat along the canopy valance.

- ix. Freestanding signs.
 - a. More than one freestanding sign may be erected per building but may not over-hang the property line or interfere with pedestrian traffic or the building's architectural elements
 - b. A freestanding sign may be no larger than 24 square feet per building.
 - x. Sign prohibitions. The following signs are prohibited:
 - a. A-frame or sandwich board signs
 - b. Billboards
 - c. Signs which involve motion or rotation of any part, or display flashing, strobe, or intermittent lights
 - d. Signs generating amplified sound, smoke, vapor particle emission or objectionable odors
 - e. Standards, banners, flags, streamers and similar devices, except for national, state or local governmental flags and temporary banners approved by the zoning administrator pursuant to section 18-178 A.6
 - f. Exposed neon visible from the street regardless of form, location or message, including signs reading "open"
 - g. Shopping center style directory signs for multiple tenants.
 - xi. Additional sign restrictions.
 - a. Signs shall not be placed or used to compete for automobile visibility.
 - b. Real estate, "for sale" and "for rent" signs may only be placed in the windows of the building to which the signs pertain. Such signs may not be placed in outdoor locations and may be up only so long as the space is for rent or sale.
 - c. Signs may not use fluorescent colors, paint additives such as "pearl" or "metal flake" reflective sheeting, or refractive metallic films, including gold leaf vinyl sheeting.
 - d. Signs may not be placed or erected upon the roof of any building.
 - e. Signs may not be plainly offensive to human sensibilities or otherwise provide a reasonably foreseeable detriment to the community.
 - xii. Sign examples. The following pages provide examples of signs that illustrate the design elements, styles, colors and materials required in the CSD zone.
- L. Design guidelines for open space.



SIGN SAMPLES



PROJECTING SIGN SAMPLES



PROJECTING SIGN SAMPLES

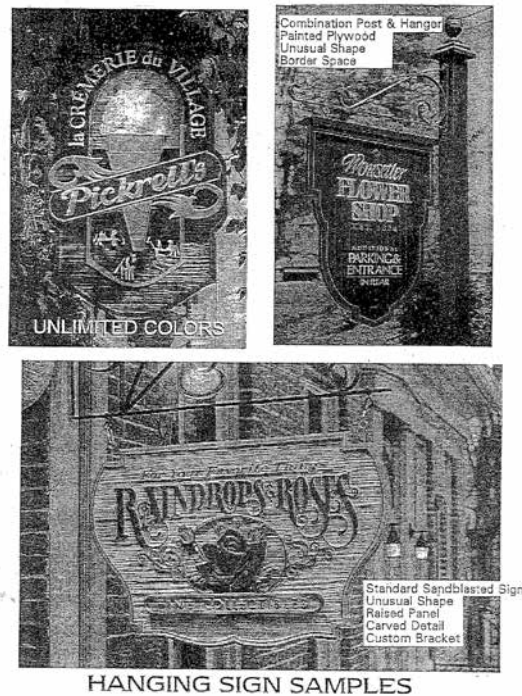


FIGURE 2.W.
Sign examples

- i. Outside display.
 - a. Vending machines. Vending machines may not be placed outside of a wholly enclosed building or shelter.
 - b. Dumpsters. Trash, recycling and any other refuse collection dumpsters shall be located at the rear of the property and either screened, enclosed or otherwise blocked from public view. Such screening or enclosure shall be designed in conjunction with the primary building, shall use similar materials and shall provide complete obscurity of the dumpster. The screen or enclosure shall have double doors. Chainlink fencing may not be used.
- ii. Sidewalks.
 - a. Sidewalks in the identified CSD zone area shall be paved with coordinating pavers and designed to match the existing pattern established along the Church Street corridor.
 - b. Brick pavers shall be used in a coordinating pattern to widen the public sidewalk as they adjoin private sidewalks.
 - c. Sidewalks in the public right-of-way shall be constructed the full width of the lot and shall connect with existing sidewalk sections.
 - d. Sidewalks shall be clearly identified and shall connect the building entrance with the public sidewalks.
 - e. Whenever possible, sidewalk patterns and pavers shall extend between the CSD zone area and adjoining commercial properties to provide a visual connection between the commercial areas of Town and clearly delineating pedestrian space from automobile space.
 - f. A five-foot brick sidewalk shall be constructed along the front property line adjoining the public planter and sidewalk to create a divided double sidewalk. A landscaped area may be used instead, if a double sidewalk is inappropriate to the intended use of the building.

- g. Except when the front yard is designed as a courtyard or patio, a landscape strip or planter shall be constructed between the building and the above-mentioned sidewalk. For buildings with the minimum setback, the planter or landscape strip must be at least two feet in width and placed adjacent to the building. The intent is to create a green space of varying width between the sidewalk and the building.
- iii. Landscaping and trees.
 - a. Landscape islands shall use "mountable" curbs with a three to four inch curb rise.
 - b. Landscape islands shall be a minimum of four feet in width and edged by a "mountable" curb.
 - c. Trees shall be used to enhance the open space areas and parking lots and shall be maintained in good condition by the property owner.
 - d. Trees shall be selected so that they are resilient to pollution and drought, do not produce berries or fruit and have deep root growth so they do not upheave the sidewalks or planters.
 - e. Every landscape island five feet or more in length shall hold at least one tree and additional trees shall be planted within the island, for the full length of the island, so the ten-year canopy of each tree will touch edge-to-edge.
 - f. Tree plants shall be a minimum of four inch caliper and meet the specifications of the American Association of Nurserymen.
 - g. Forty percent of the landscape island area shall be planted with vegetation in addition to trees and shall be maintained in good condition by the property owner.
 - h. The planting of trees shall be done in accordance with either the standardized landscape specifications jointly adopted by the Virginia Nurserymen's Association, the Virginia Society of Landscape Designers and the Virginia Chapter of the American Society of Landscape Architects, or the road and bridge specifications of the Virginia Department of Transportation.
- iv. Lighting. Lighting standards shall be no more than ten feet in height above grade and shall be so arranged and hooded as to confine all direct light rays entirely within the boundaries of the property. Indirect and low ground-oriented lighting

Curb Detail, Mountable and Non-mountable:

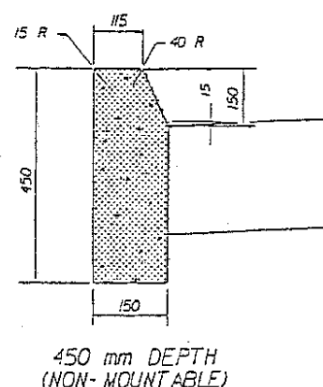
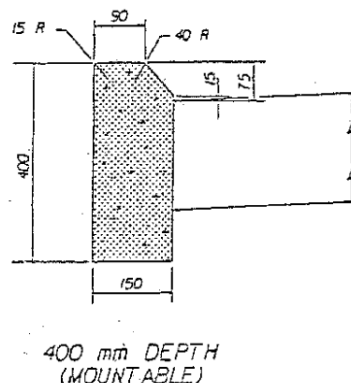


FIGURE 2.X.
Curb detail.

PORTLAND CEMENT CONCRETE CURB

should be used whenever possible. Lighting fixture designs shall be harmonious with the general architectural nature of the building or site.

v. Retaining walls and fences.

- a. All retaining walls, fences, and screening between zoning districts shall be constructed to the following required design using the following required materials and colors.
- b. A six-foot-tall masonry wall is required between any lot zoned single-family residential and any commercially zoned property, including lots and public access ways in the CSD zone. Such wall shall be constructed and maintained along the property line but on the side of the commercial land or access way. Such wall shall be constructed by the developer and maintained as part of the property.

NOTE: The following drawing represents the required design style for a masonry wall. The drawing should not be interpreted to be structurally detailed. Any masonry screen or retaining wall should reflect the same exterior design detail but will require additional structural engineering by an appropriately licensed professional.

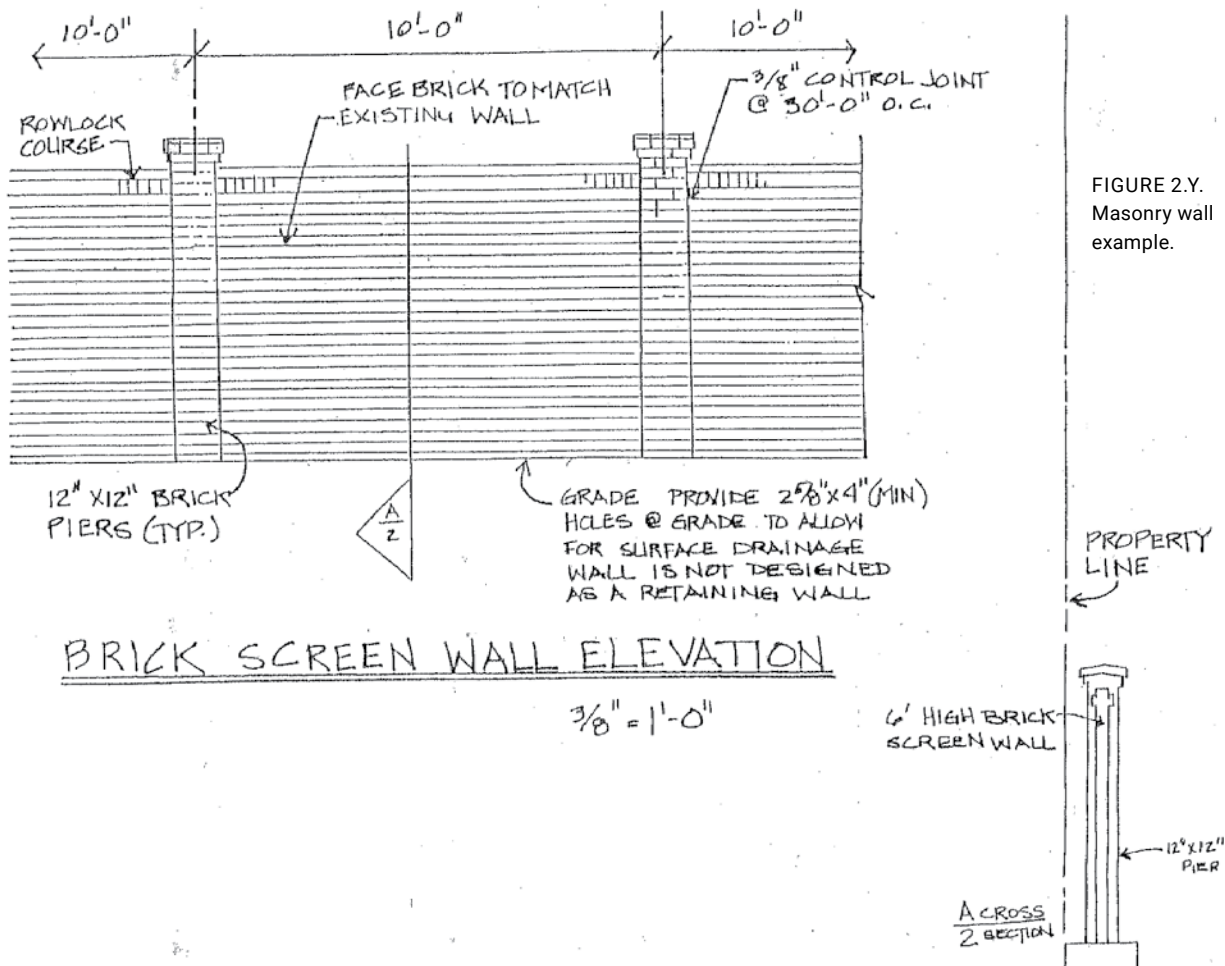


FIGURE 2.Y.
Masonry wall
example.

17. WINDOVER HEIGHTS HISTORIC OVERLAY D (WH-O)

Reformatted as an overlay district but no substantive change

Section 18-37 Purpose

The purpose of the Windover Heights Historic Overlay District is to recognize and designate by an overlay to the zoning map of the Town of Vienna, the Windover Heights Historic Overlay District of the Town, which district contains buildings and places in which historic events occurred and which have special public value because of notable architectural features and other features which relate to the cultural and artistic heritage of Vienna, and to provide for the preservation of that district and sites therein; the Town Council recognizing that the district is a single-family residential neighborhood which has changed little since the turn of the century, which consists mostly of older homes, open spaces and meandering streets lined with mature trees and shrubs which constitutes one of the original residential sections of historic old Vienna and which housed citizens who were prominent in the development of the Town.



FIGURE 2.Z.
Reference map
of the Windover
Heights Historic
Overlay District.

--- Overlay
boundary

Section 18-38 Public Improvements Controls

1. No new construction projects, the purpose of which shall be the installation of new public improvements and publicly-owned utilities not in existence at the time of the adoption of the ordinance, shall be commenced in the Windover Heights Historic Overlay District until the Town Council shall first conduct an advertised public hearing concerning the necessity of the improvement, at which hearing the recommendations of the Windover Heights Board of Review, if available, shall be included in the record.

2. The provisions of this section shall not be applicable to maintenance or repair of existing public improvements or utilities.

Section 18-39 Certification of Appropriateness Required

1. A certificate of appropriateness shall be required before any of the following, except as provided in subsection ii. of this section, may be performed within the district:
 - A. Erection of a building, accessory building, structure, fence or sign.
 - B. Changing or altering the exterior architectural character of an existing building, accessory building, or structure to that degree which requires obtaining a building permit.
2. A certificate of appropriateness shall not be required in the following cases:
 - A. Repair or replacement of any part of an existing building, including accessory building, structure, fence or sign when using substantially similar materials and maintaining the same architectural features.
 - B. Repair or replacement of a roof on an existing building or accessory building even if different colors or materials are used. However, any change to the existing roofline or profile of the roof shall require a certificate of appropriateness.
 - C. Repair or replacement of existing stoops, porches, entryways, windows, or doors; or the repair, replacement or addition of screens, storm doors, or storm windows.
 - D. Erection of a shed or other accessory structure which does not require a building permit.
 - E. Construction of an in-ground swimming pool. However, a pool constructed so that any part, excepting handrails or diving boards, is more than 18 inches above ground shall require a certificate of appropriateness.
 - F. The painting or repainting of an existing building, accessory building, structure, fence or sign.
 - G. Erection, alteration or reconstruction of buildings, accessory buildings, structures, fences or signs when no part of such improvement is subject to public view at any time of the year from a public street, way or place.

Section 18-40 Administration and Procedures

See Section 8.

18. CHESAPEAKE BAY PRESERVATION AREAS OVERLAY (CB-O)

Section 18-41 Purpose

The purpose of the Chesapeake Bay Preservation Areas Overlay District is to protect, improve and enhance the water quality of the Chesapeake Bay, its tributaries and other state waters. These regulations are issued under authority of Code of Virginia, §§ 62.1-44.15:74 and 15.2-2283 and regulations of 9VAC25-830-10 et seq.

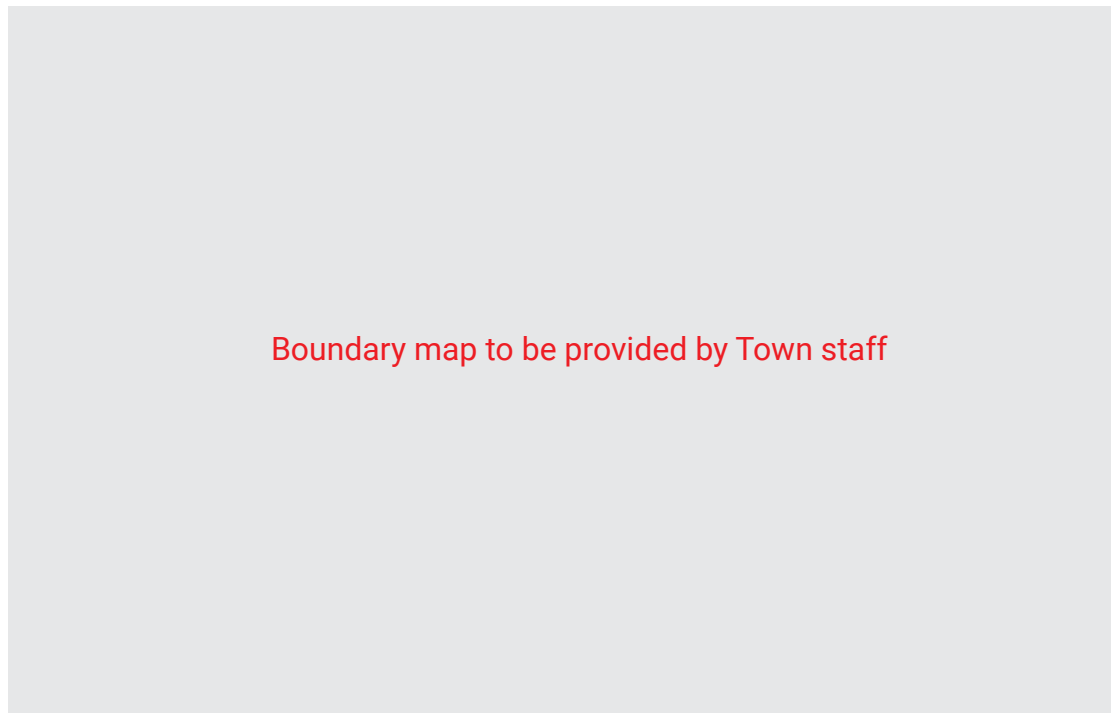


FIGURE 2.AA.
Reference map of
the Chesapeake Bay
Preservations Areas
Overlay District.

DPW staff reviewing Article 21.1 Sections 18-216.1.1 -18-216.1.5
for compliance with State Code.